

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	19 Grafton St., Chevy Chase	<b>Meeting Date:</b>	6/26/2019
<b>Resource:</b>	<b>Outstanding Resource</b> Chevy Chase Village Historic District	<b>Report Date:</b>	6/19/2019
<b>Applicant:</b>	Joshua Bonnie (Jenn Heller, Agent)	<b>Public Notice:</b>	6/12/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	35/13-19V	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b> Hardscape alterations and garage alterations.			

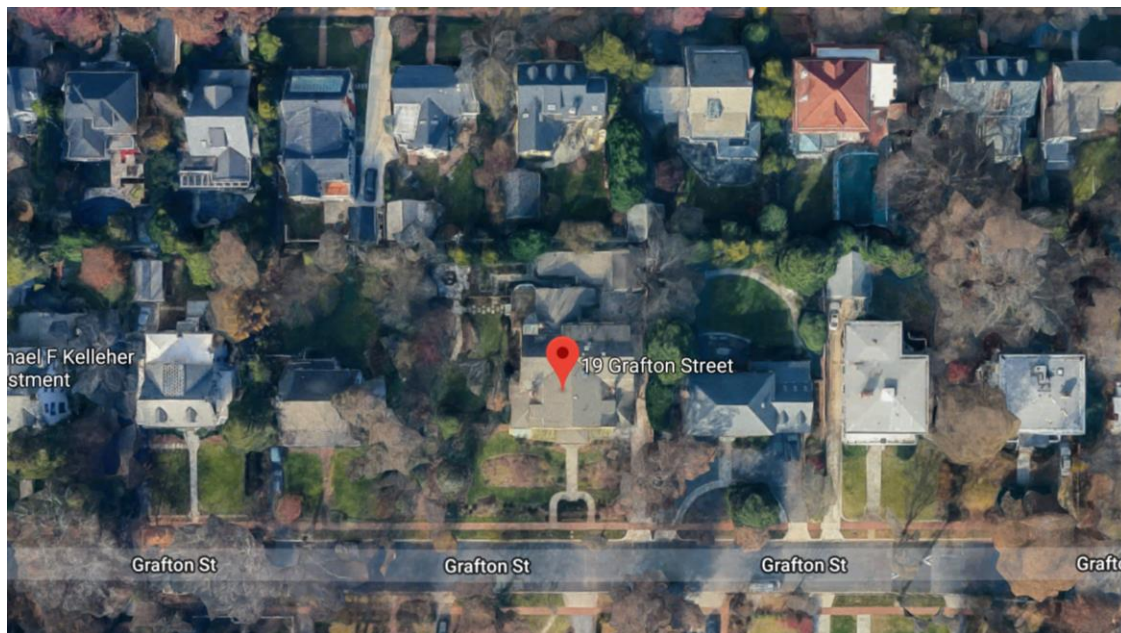
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**STAFF RECOMMENDATION:**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource  
**STYLE:** Shingle  
**DATE:** c. 1892-1916



***Fig. 1: Subject property.***

**PROPOSAL:**

The applicant proposes the following work items:

- Extension of the existing rear patio, adding a stone-clad built-in grill and decorative wall.
- Addition of three windows to the 6-over-6 SDL wood windows to the front/south elevation of the existing non-historic garage.
- In-kind replacement of the existing wood doors on the left/west side of the existing non-historic garage.

**APPLICABLE GUIDELINES:**

**Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.

*Montgomery County Code; Chapter 24A-8*

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: jheller@musearchitects.com Contact Person: JENN HELLER  
Daytime Phone No.: (301) 718-8118  
Tax Account No.: 00456456  
Name of Property Owner: JOSHUA BONNIE Daytime Phone No.: (301) 718-8118  
Address: 19 CHEVY CHASE GRAFTON STREET 20815  
Street Number City State Zip Code  
Contractor: TO BE DETERMINED Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: (301) 718-8118

## LOCATION OF BUILDING/PREMISE

House Number: 19 Street: GRAFTON STREET  
Town/City: CHEVY CHASE Nearest Cross Street: CEDAR PARKWAY  
Lot: 4 Block: 24 Subdivision: 009  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF MAINTENANCE AND USE

### 1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ TO BE DETERMINED

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

6/5/17  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is a detached non-historic garage adjacent to the historic resource single family dwelling constructed in 1908. The house is located within the Chevy Chase Village historic district.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed work is to expand the existing rear stone patio area, adding a stone-clad built-in grill & decorative wall to match the existing main house stone base. Renovations to the garage building would include adding three wood double-hung windows to match existing garage windows, and replacing existing exterior doors with new wood doors to match existing to remain garage doors. There will be no change in footprint of the existing buildings.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> JOSHUA BONNIE 19 GRAFTON STREET CHEVY CHASE, MD 20815	<b>Owner's Agent's mailing address</b> MUSE ARCHITECTS 7401 WISCONSIN AVE SUITE 500 BETHESDA, MD 20814
<b>Adjacent and confronting Property Owners mailing addresses</b>	
DUANE AND PAULA GIBSON 21 GRAFTON STREET CHEVY CHASE, MD 20815	KRISTINA AND THOMAS SCHENDT 17 GRAFTON STREET CHEVY CHASE, MD 20815
JOSHUA HOROWITZ 30 GRAFTON STREET CHEVY CHASE, MD 20815	J. AND TIMOTHY BROAS 28 GRAFTON STREET CHEVY CHASE, MD 20815
JOANNA TAYLOR AND PETER HAMPTON 26 GRAFTON STREET CHEVY CHASE, MD 20815	MARGARET AND ROBERT MARCUS 22 HESKETH STREET CHEVY CHASE, MD 20815

E. AND JOHN DUGAN  
20 HESKETH STREET  
CHEVY CHASE, MD 20815

JUDITH AND PERRY LINDER TRUSTEE  
18 HESKETH STREET  
CHEVY CHASE, MD 20815

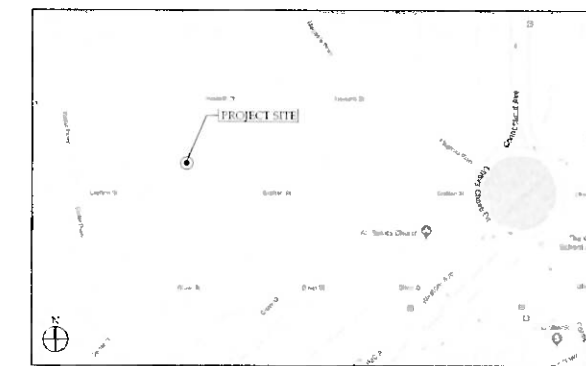
## KEY TO MATERIALS & DRAWING SYMBOLS

WOOD FRAMED WALL	BATT INSULATION	FINISH WOOD	BRICK
CONTINUOUS WOOD FRAMING	RIGID INSULATION	SYNTHETIC BOARD	CONCRETE MASONRY UNIT
WOOD BLOCKING	SPRAY FOAM INSULATION	FERROUS METAL	CONCRETE
PLYWOOD	GYPSONUM WALL BOARD	STONE	EARTH/ SOIL
ELEMENT CENTERLINE	INT. FL.	FL. 000	SPOT FL. EL.
BREAKLINE	WALL SECTION	REVISION NUMBER	WINDOW TYPE
DETAIL CALLOUT	BUILDING EL./SECTION	FIXTURE/APPLIANCE TYPE	DOOR TYPE

## LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
IX	One-inch nominal thickness	F.D.O	Furnished By Owner	FART	Plumbing
2X	Two inch nominal thickness	F.D.	Floor Drain	PLUMB.	Plumbing
AI	Air	F.F.	Finish Floor	PLYWD	Physicist
A/C	Air Conditioning	FDN	Foundation	PVMT	Pavement
A.F.F.	Above Finish Floor	GLASS	1 deglass	PREL. AS	Prelocated
ABV	Above	1 IN	1 inch	PREL. IN	Prelocated
ADJ.	Adjustable	FEET	Feet	PSF	Pounds Per Square Foot
ALN	Align	FLASHING	Flashing	PSI	Pounds Per Square Inch
ALT.	Alternate	FL.	Floor	P.T.	Pressure Treated
ALUM.	Aluminum	FLRG	Flooring	PTD	Paved
ANCH.	Anchor	FLVOR	Floorvent	PVC	Polyvinyl Chloride
APPROX.	Approximate	F.O.	Face of	QTY	Quantity
ARCH.	Architect (or Architectural)	F.O.S.	Face of Structure (or Stud)	R.	Raised
AVG.	Average	F.O.M.	Face of Masonry	RAD.	Radius
RO.F.	Roof of Trussing	FRMG.	Forming	RCP	Reflected Ceiling Plan
ED.	End or Thread	F.P.	Fireplace	RECPY	Receptacle
WDRM	Bedroom	F.I.	Foot	RK	Relinquish
BTW.	Between	F.I.G.	Footing	REIN.	Reinforcing
BLDG.	Building	FURG.	Furring	REPL.	Replace
BLKG.	Blocking	FURN.	Furniture	REQD.	Required
BL.	Beam	GA.	Gauge	REV.	Revision
BLT.	Bolt	GALV.	Galvanized	RH	Right Hand
BOT.	Bottom	G.C.	General Contractor	RM	Room
BRL.	Bearing	GI	General Fuel Interrupter	R.O.	Rough Opening
BRK.	Brick	GL	Glass	SCHED.	Schedule
BSMT.	Basement	GWB	Gypsum Wall Board	SCHED. CONC.	Schedule Concrete
BTY.	Bay	GTY	Gypsum	SCR.	Screen
C.	Corner	H.B.	Flow Bolt	S.D.	Siding
CAB.	Cabinet, Cabinetry	HD	Hard	S.D.L.	Standard Divided Line
CEM.	Cement	HDR.	Header	SGL.	Single
CEM.	Cement	HDW.	Hardware	SHT.	Sheet
C.J.	Control Joint	HDWD.	Hardwood	SHTG.	Sheathing
C.L.	Centerline	HORIZ.	Horizontal	SHWR.	Shower
CLADG.	Cladding	HIT	Height	SM	Smaller
CLG.	Ceiling	HTR.	Heater	SPEC.	Specification
CLOS.	Close	HVAC	Heating/Ventilation/Air Conditioning	SQ.	Square
CLR.	Clear	H.W.	Hot Water	S.S.	Stainless Steel
CMU	Concrete Masonry Unit	LRC	International Building Code	STD.	Standard
C.O.	Cased Opening	I.G.	Insulated Glass	STL.	Steel
COL.	Column	IN	Inch	STOR.	Storage
COORD.	Coordinate, Coordination	INCL.	Included	STRUC.	Structure(s)
CONC.	Concrete	INSUL.	Insulation	SUBFL.	Subfloor
CONST.	Construction	INT.	Interior	SURF.	Surface
CONT.	Continuous	IRC	International Residential Code	SW.	Switch
CPI	Cup	JST	Joint	S.W.M.	Storm Water Management
CPR.	Copper	JT	Joint	SYM.	Symbol
CRU.	Crawl	KIT	Kitchen	SYN.	Synthetic
CBS	Cover	LAM.	Lamination	T	Trade(s)
CSK.	Countersink	LAV.	Lavatory	T&G	Tongue and Groove
CSMT.	Casement	LEV.	Level	T.B.S.	To Be Specified
C.T.	Ceramic Tile	LH	Left Hand	T.D.L.	True Divided Line
C.TOP	Countertop	LJ	Light	TEMP.	Temperature
CUR.	Center	LJG.	Lighting	THK.	Thickness
CTRD.	Controlled	LVL.	Laminated Veneer Lumber	T.J.	True Joint
L.W.	Cold Water	M	Master	T.O.	Top of
D.	Dryer	MAS.	Masonry	T.O.F.	Top of Footing
DBL	Double	MAT.	Material	T.O.S.	Top of Slab
DDMO	Double Density Overlay	MAX.	Maximum	T.O.SI.	Top of Structure
DET. DETL.	Detail	MDO	Medium Density Overlay	T.O.W.	Top of Wall
DIA.	Diameter	MID.	Medium Density Fiberboard	T.O.W.	Top of Wall
DIM.	Dimension	MISC.	Miscellaneous	T.O.W.	Top of Wall
DISP.	Disposal	MED. CAB.	Medicine Cabinet	TRD.	Trade
DN.	Down	MEN.	Mechanical	TYP.	Typical
DR.	Door	MFR.	Manufacturer(s)	U.C.	Under-counter
DS	Downspout	M.O.	Masonry Opening	UNFIN.	Unfinished
D.W.	Downspout	MN.	Masonry	UNID.	Unless Noted Otherwise
DWG.	Drawing	MISC.	Miscellaneous	UTL.	Utility
E.	Each	MILG.	Milling	V.B.	Vapor Barrier
E.I.	Expansion Joint	MIL.	Metal	VEN.	Ventilation
EL.	Electrical	MNT.	Mount	VEST.	Vent
ELC.	Electrical	M.W.	Micro-wave	V.F.	Vent in Field
ELV.	Electrical	N.E.C.	National Electric Code	W	Water
EPS	Expanded Polystyrene	N.L.C.	Not In Contact	W.	Water
EPXY	Epoxy	N.O.	Not On	W.A.	Water
FQ	Foot	N.T.S.	Not To Scale	W.C.	Water Closet
EQUIP.	Equipment	O.A.	Overall	W.D.	Water
EST.	Estimated	O.C.	On Center	W.D.W.	Water
EX. EXIST.	Existing to Remain	OFF	Offset	W.H.	Water Heater
EXT.	Exterior	O.H.	Overhang	W.P.	Waterproof
		OPNG.	Opening	W.P.G.	Waterproofing
		OPP.	Opposite	W.S.	Weather Stripping
				WT	Weight
				YD.	Yard

## VICINITY MAP



## DESIGN PARAMETERS

MONTGOMERY COUNTY

GROUND SNOW LOAD	30 PSF
WIND SPEED	115 mph
SEISMIC DESIGN CATEGORY	B
WEATHERING	Severe
FROST LINE DEPTH	30 inches
TERMITES	Moderate to Heavy
DECAY	Slight to Moderate
WINTER DESIGN TEMP.	13 deg. Fahrenheit
ICF SHIELD UNDERLAYMENT REQD.	Yes
FLOOD HAZARDS	July 2, 1979
AIR FREEZING INDEX	300
MEAN ANNUAL TEMP.	55 deg. Fahrenheit

## ZONING SUMMARY

Zone R-60

Lot 4	Block 24	Plat 106
Total Assessed Area	17,500 sq. ft.	
Existing Lot Coverage	No change to existing	
Proposed Lot Coverage	No change to existing	
Maximum Building Height	No change to existing	
Building Setbacks	No change to existing	
Structure built in	1908	

## INDEX OF DRAWINGS

Sheet	Drawing Title
A002	COVER SHEET + SITE PLAN
A102	POOL HOUSE PLANS
A106	SITE PHOTOS

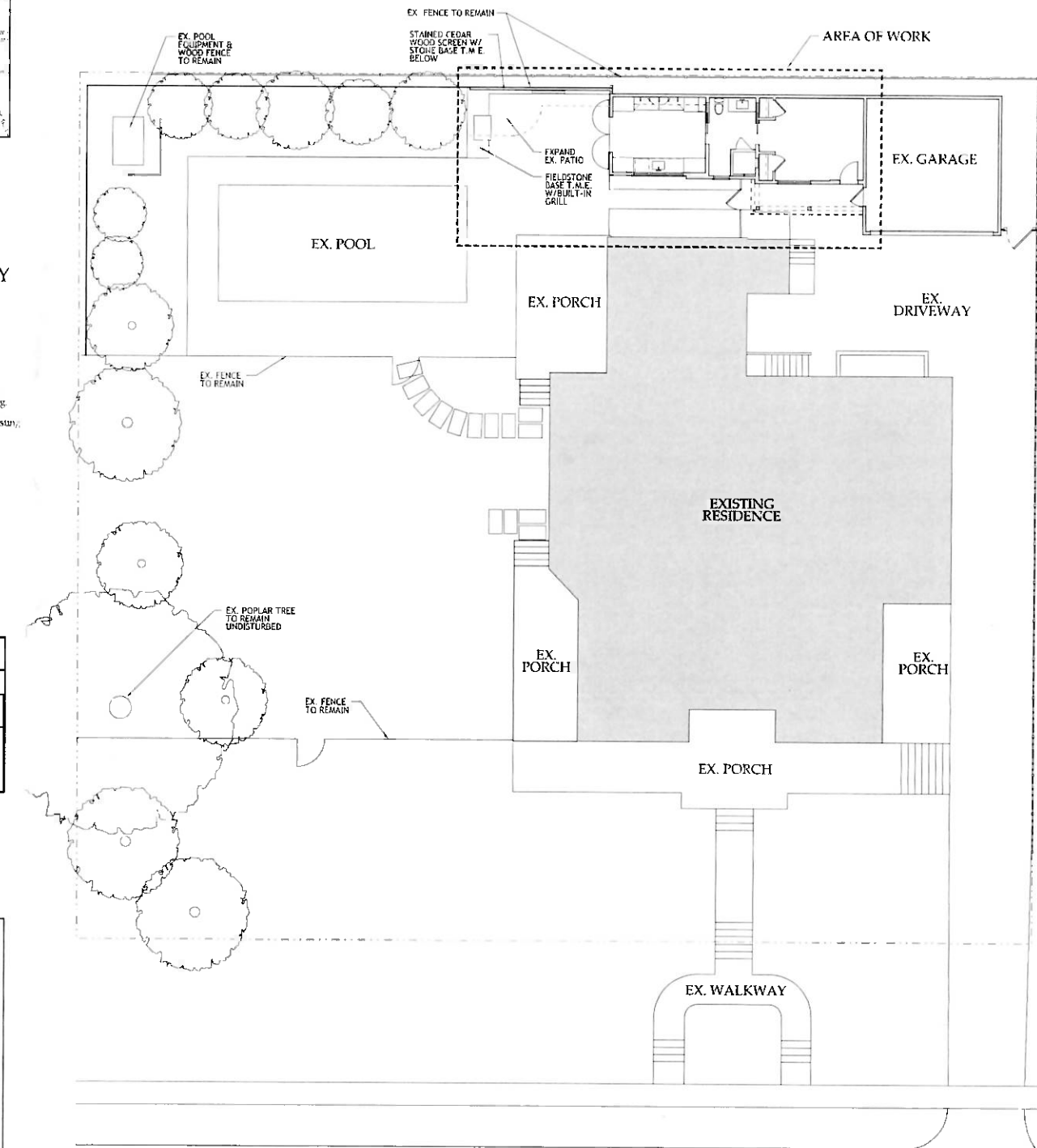
## GENERAL NOTES

The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX OF DRAWINGS on this sheet.

- The Contractor shall field verify all dimensions.
- DO NOT SCALE THE DRAWINGS to obtain dimensions.
- Dimensions shown are to face of structure (i.e. face of stud, masonry, concrete) unless noted otherwise on the drawings.
- All construction resulting from the execution of this work shall conform to the current 2015 International Residential Code (IRC) with amendments, and the Maryland Building Performance Standards (MBPS), and with any other requirements established by Montgomery County and the state of Maryland.
- All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes.
- The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
- The Contractor shall comply with current requirements for Montgomery County & the state of Maryland for radon mitigation.

# THE BONNIE RESIDENCE

## 19 GRAFTON STREET CHEVY CHASE, MD 20815



GRAFTON STREET

1 SITE PLAN  
A002 SCALE: 1" = 10'-0"



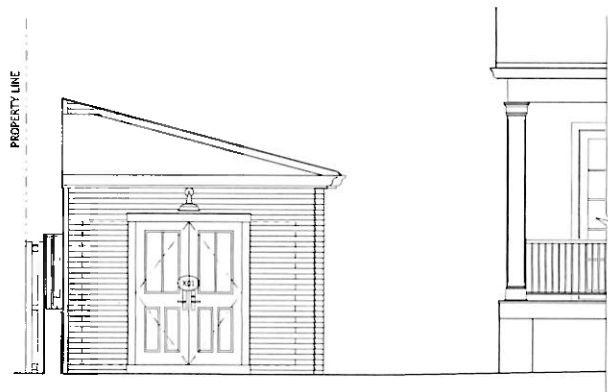


DOOR SCHEDULE							
Mark	Location	Type / Material	Single / Pair	Size (each leaf / opening)	Thk.	Hardware Set	Remarks
P02A	Poolhouse Bath P02	Wood Panel	single	3'-0" x 6'-8"	1-3/4"	Privacy	Pocket door. Install TS1000 w/ remain edge sticking and flat panel
P02B	Poolhouse Bath P02	Wood Panel	single	3'-0" x 6'-8"	1-3/4"	Privacy	Pocket door. Install TS1000 w/ remain edge sticking and flat panel
P05A	Poolhouse Closet P05	Wood Panel	single	2'-4" x 6'-8"	1-3/4"	Passage	Install TS1000 w/ remain edge sticking and flat panel
P06A	Poolhouse Closet P06	Wood Panel	single	2'-4" x 6'-8"	1-3/4"	Passage	Install TS1000 w/ remain edge sticking and flat panel
EX	Existing to remain						

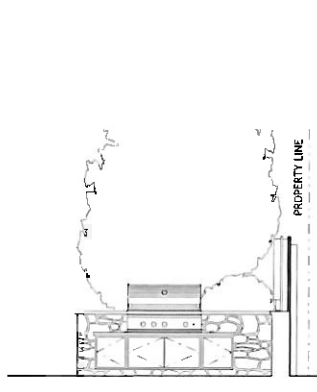
WINDOW SCHEDULE				
Mark	Description	R.O.	Light Cut	Remarks
A	Marvin Ultimate Double Hung Next Generation Wood Operable Double Hung	7'-1" x 4'-5" O.A. 2'-3" X 4'-5" EACH	3W x 4H each	Window size to match existing for Poolhouse Bath w/ 2 inch wide mull. 7/8" sm. dw. lite with spacer bar. Factory primed, to be painted to match main house. Primed white interior color. Low-E2 argon insulated glazing.
EX	Existing window to remain			

EXTERIOR DOOR SCHEDULE				
Mark	Description / Material	Size (each leaf / opening)	Hardware	Remarks
X01	Hinged outswing door / Panicked wood w/ Half lite glass.	2'-6" x 6'-8" (pair)	Entry	Height to match existing opening. Lite pattern to match ex. entry door to remain. Low-E2 argon insulated glazing. Narrow ex. opening width, repair siding as req'd.

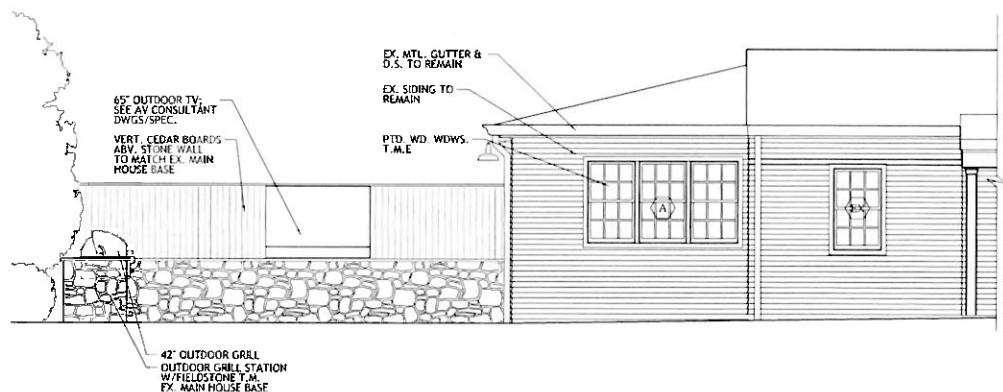
- NOTES:**
- 1 Contractor to verify all dimensions in field prior to placing order, typical.
  - 2 Contractor shall provide shop drawings for architect's review prior to placing order.
  - 3 All windows to have simulated divided lites - 7/8" muntin bar with internal spacer bar.
  - 4 Window swings are indicated on plans & elevations.
  - 5 Provide safety/tempered glass per IRC / local code.
  - 6 Provide screens at all operable windows to match exterior finish.
  - 7 Contractor shall coordinate window & door rough openings to achieve trim arguments reflected on interior elevations.
  - 8 Exterior facing hardware shall be oil rubbed bronze finish, typical. Interior facing hardware & hinges shall be white, typical.



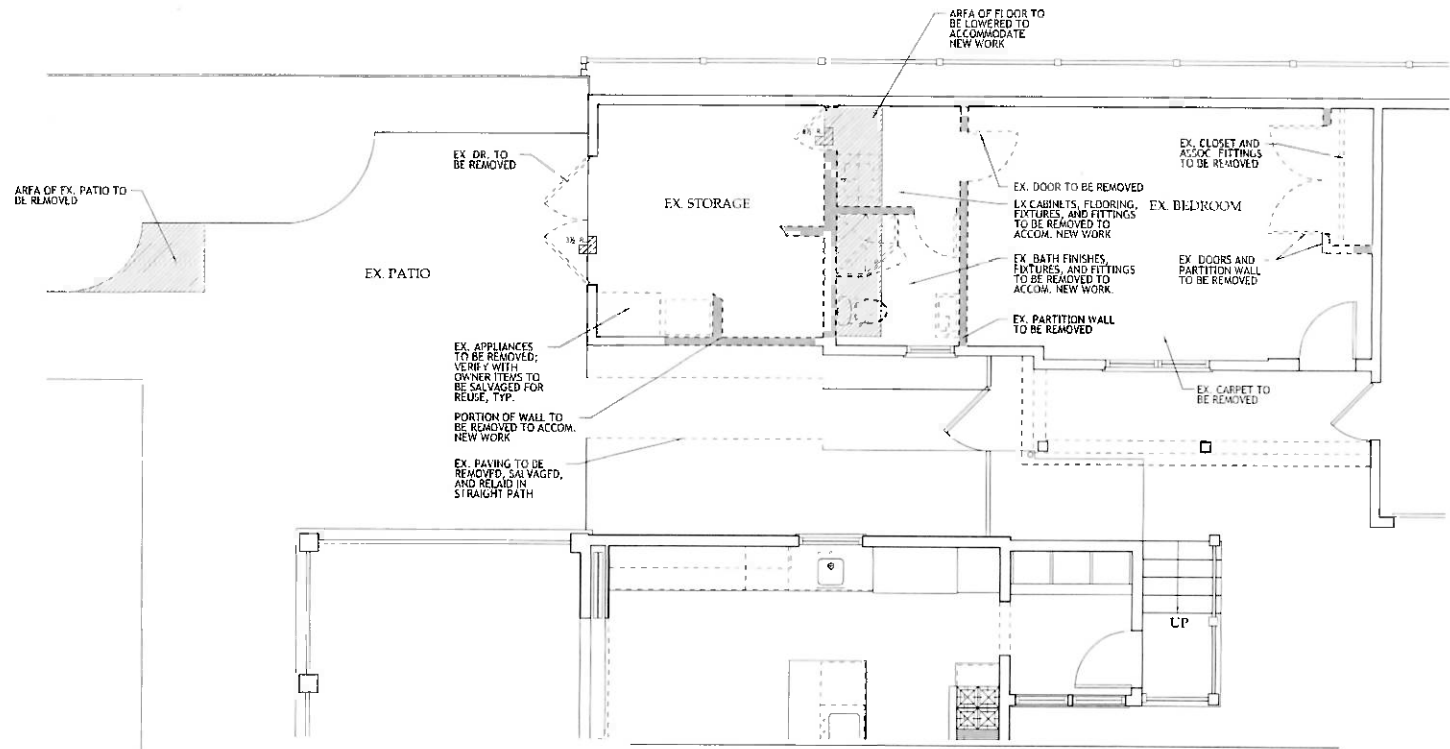
4  
A102  
**PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



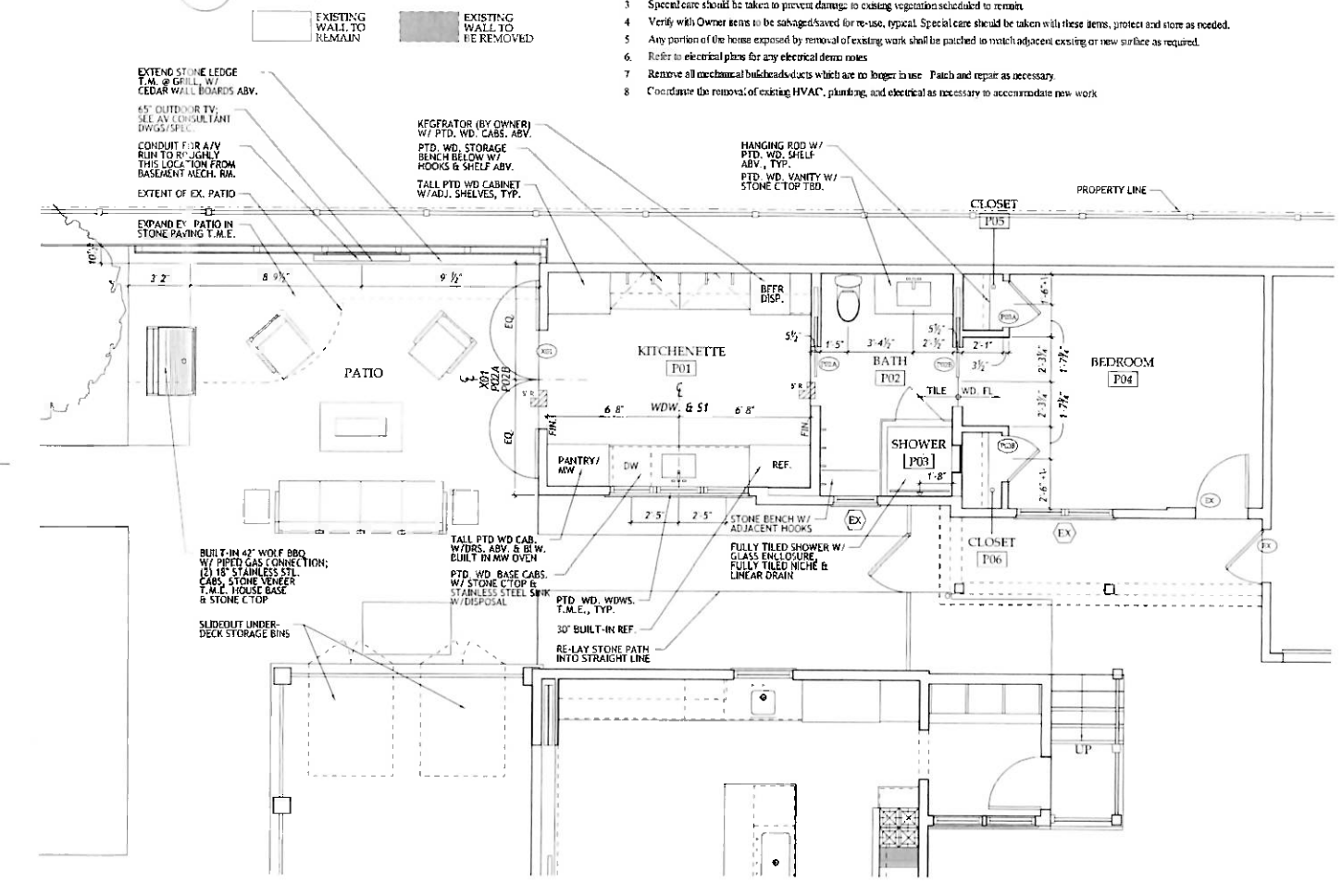
5  
A102  
**OUTDOOR GRILL ELEVATION**  
SCALE: 1/2" = 1'-0"



3  
A102  
**PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



1  
A102  
**DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



2  
A102  
**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
- 1 Remove dotted and/or hatched portion of existing wall as required to accommodate new work, typical.
  - 2 Special care should be taken to prevent damage to existing construction scheduled to remain.
  - 3 Special care should be taken to prevent damage to existing vegetation scheduled to remain.
  - 4 Verify with Owner items to be salvaged/saved for re-use, typical. Special care should be taken with these items, protect and store as needed.
  - 5 Any portion of the house exposed by removal of existing work shall be patched to match adjacent existing or new surface as required.
  - 6 Refer to electrical plans for any electrical demo notes.
  - 7 Remove all mechanical buildouts which are no longer in use. Patch and repair as necessary.
  - 8 Coordinate the removal of existing HVAC, plumbing, and electrical as necessary to accommodate new work.

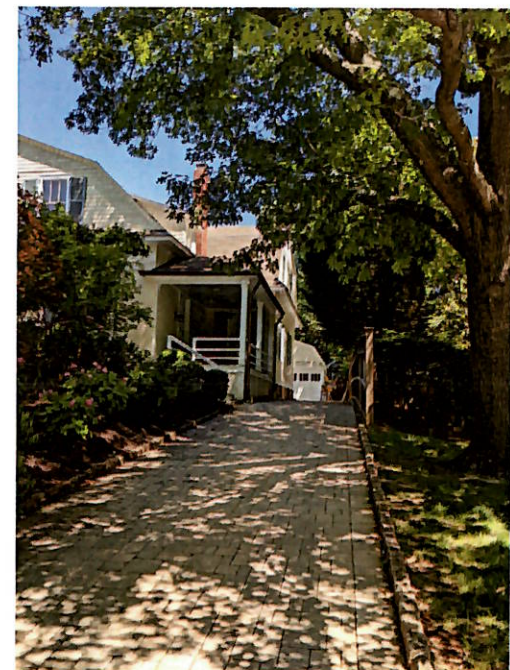




1 VIEW FROM PUBLIC SPACE - SW LOT CORNER  
A106 SCALE: NTS



2 VIEW FROM PUBLIC SPACE - FRONT  
A106 SCALE: NTS



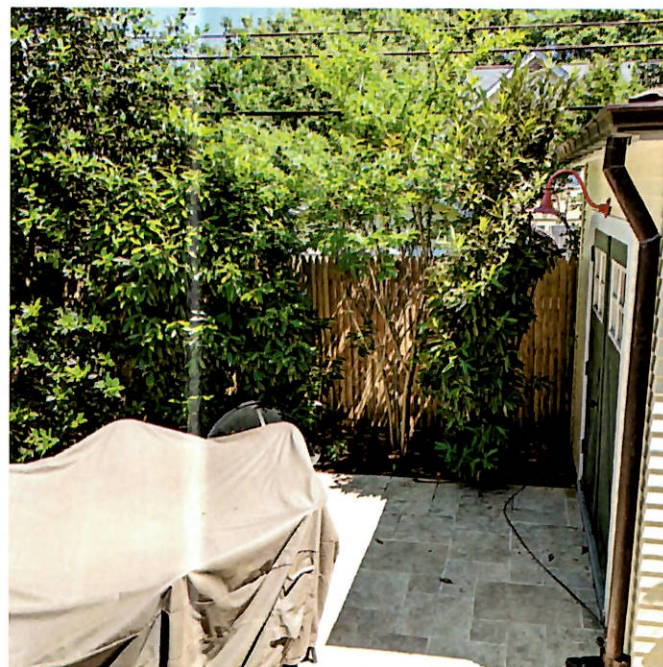
3 VIEW FROM PUBLIC SPACE - DRIVEWAY  
A106 SCALE: NTS



4 EX. WINDOWS T.B. MATCHED  
A106 SCALE: NTS



5 EX. DOOR T.B. MATCHED  
A106 SCALE: NTS



6 EXISTING REAR PATIO AREA  
A106 SCALE: NTS



7 EXISTING REAR PATIO AREA  
A106 SCALE: NTS