

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5417 Mohican Rd., Bethesda	<b>Meeting Date:</b>	6/12/2019
<b>Resource:</b>	Master Plan Site 35/29-2 <b>R.A. Charles Castle</b>	<b>Report Date:</b>	6/5/2019
<b>Applicant:</b>	Jian-Li Yang and Jie Cao Ross McNair, Agent	<b>Public Notice:</b>	5/29/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	35/29-19A	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Revision – Accessory Structure Construction		

---

**STAFF RECOMMENDATION**

Staff recommends the HPC **approve with one condition** the HAWP application:

1. The north side of the proposed accessory structure should be partially screened with vegetation. Plans showing this condition need to be submitted for review and approval prior to permitting with final approval authority delegated to Staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Individual Master Plan Site (35/29-2)  
**STYLE:** Queen Anne  
**DATE:** 1883

From *Places from the Past*:

“This residence was built the same years as the more elaborate and larger scale Baltzley Castle, yet was also built of locally quarried stone, continuing the theme envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi and diamond pane windows, hipped roof and polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The *Manufacture’s Record* of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.”

In 2015, the HPC approved the demolition of a non-historic garage and the construction of a new garage, fencing, and paving at the rear of the R.A. Charles Castle.



Figure 1: The R.A. Charles Castle sits to the southeast of the larger Baltzley Castle.

## **PROPOSAL**

The applicant proposes to change the location of the previously approved garage.

## **APPLICABLE GUIDELINES**

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of the Interior's Standards for Rehabilitation (*the Standards*). Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The pertinent information in these documents is outlined below.

### ***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

### **Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

On December 2, 2015, the HPC approved a HAWP for work at the R.A. Castle (attached) that included the demolition of a c.1970s non-historic garage, the construction of a new garage on the site, fence construction, and new hardscaping. The proposed 1 ½ story, three-car garage was to be located to the southeast of the house, with a rubble-stone water table veneer, clad in fiber-cement siding in a 5 ½" reveal, with wood trim details, with an asphalt shingle roof, and a parking pad constructed of cobblestones. The half-story above will be accessed by an exterior set of wood stairs. The 2015 HAWP found that the proposed "materials, features, size, scale, and massing of the proposed garage are compatible with the R.A. Charles Castle" and "the garage is appropriately sited with relation to the historic resource, the driveway and parking pad are compatibly designed."

The applicant proposes changing the location of the garage southeast of the house to the northwest. The change in location will also require rotating the garage by 90°.

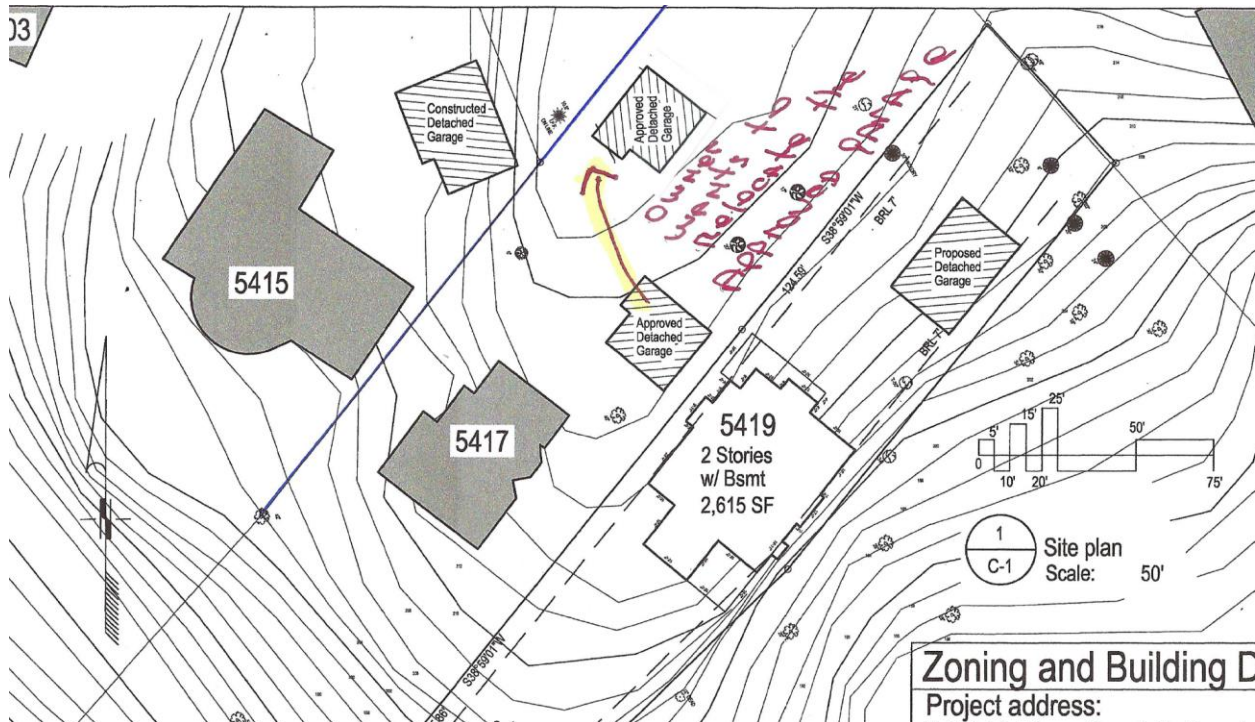


Figure 2: partial site plan showing the approved and proposed location for a three-car garage at 5417 Mohican Rd.

As the design of the building was already approved by the HPC, Staff is only evaluating the impact the new location and reorientation will have on the R.A. Charles Castle and its associated environmental setting. The new proposed location is now further away from the historic resource at the location where the non-historic garage was demolished following the approval of the 2015 HAWP. The new garage will meet the current zoning ordinance requirements of a 15' (fifteen foot) side setback. Staff recognizes that the grade will rise approximately 5' (five feet) from the rear of the Charles Castle to the proposed garage site. However, the Mohican façade is a secondary elevation in terms of the level of detail and prominence. The applicant has notified Staff that because this is a "pass-through lot" with frontage on two streets, the zoning inspectors consider the Mohican elevation to be the "front" for purposes of accessory building placement. A variance will be required to place any structure between the house and Mohican Rd.





Figure 3: This detail of the 2015 aerial photograph shows the location of the now demolished non-historic garage.

Staff finds that this change in location will not adversely impact the historic character of the resource. However, Staff also finds that some vegetative screening on the north side of the structure would minimize the impact of the new structure from the public right-of-way and recommends conditioning approval on undertaking some plant screening between the garage and Mohican Rd. Staff supports approval of the proposed building location, with the identified condition, under the same rationale as the 2015 HAWP approval, 24A-8(b)(2) and Standards 9 and 10.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with one condition** the HAWP application:

1. The north side of the proposed accessory structure should be partially screened with vegetation. Plans showing this condition need to be submitted for review and approval prior to permitting with final approval authority delegated to Staff;

and with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable). After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field

Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

## APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: ROSSMCMANIR1@GMAIL.COM Contact Person: ROSS MCMANIR  
Daytime Phone No.: 301-219-0380  
Tax Account No.: 00508312  
Name of Property Owner: J. ROSS MCMANIR Daytime Phone No.: 301-219-0380  
Address: 5415 MATHICAN RD Bethesda MD 2086  
Street Number City State Zip Code  
Contractor: MANAR BUILDERS Phone No.: 301-228-8343  
Contractor Registration No.: 4126545  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING PREMISE

House Number: 5417 Street: MATHICAN RD  
Town/City: Bethesda Nearest Cross Street: MACARTHUR BLVD  
Lot: PART C Block: 3 Subdivision: 91st AVE HEIGHTS  
Liber: 40953 Folio: 265 Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

#### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☒ Fence/Wall (complete Section 4) ☐ Other: GARAGE + FENCE

1B. Construction cost estimate: \$ 28,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6' feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J. Ross McManir  
Signature of owner or authorized agent

10-26-15  
10-26-15  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

735175

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

DETACHED GARAGE, RIGHT CORNER OF LOT  
COMPLIES WITH COUNTY SETBACK RECESSARY  
50' FENCE

REMOVE A NON HISTORIC (c 1970)  
ONE STORY GARAGE

See A COMPANING PAGE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



APPLICATION FOR HISTORIC AREA WORK PERMIT

9-14-2015

R.A. Charles Master Plan # 35 / 29 - 2

J. Ross McNair

5417 Mohican Rd

Bethesda MD 20816

On 8-21-13 the HPC approved case number 35/29-13A

Part of the scope of work was a detached 2 car carport, an (18 x 20) addition, a hyphen connector link (9 x 11'4") and a cobblestone entry court. We decided not to build the approved addition to the historic resource or the 2 car carport. All work is on the rear of the property.

REMOVE

Remove a circa 1970 non historic 2 car garage

GARAGE

Construct a 2 story 2 car detached garage at the rear right of the lot. The location complies with the County setback and height requirements for accessory structures. Material for the garage consists of a metal roof, stone wainscot and wood siding. The garage will be accessed via an existing driveway from Mohican Rd. We have consulted with a MD State Professional Registered Forester and a Board Certified Arborist to protect the roots of the oak tree.

FENCE

Erect approx 50 lin ft fence 6 ft high around 2 sides of the garage

COBBLESTONE

Cobblestone edged driveway with pea gravel

Cobblestone entry court set in bluestone in front of the proposed garage with a path to the house.

<b>HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING</b>
--

OWNER'S MAILING ADDRESS	HISTORIC SITE ADDRESS
-------------------------	-----------------------

J. Ross McNair  
5415 Mohican Rd  
Bethesda Md 20816

5417 Mohican Rd  
Bethesda Md 20816

<b>ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES</b>
---

Miguel Otero  
5301 Mohican Rd  
Bethesda MD 20816

Chris White  
5409 Mohican Rd  
Bethesda MD 20816

Maureen Jeffreys and Michael Bergsman  
5303 Mohican Rd  
Bethesda MD 20816

Miklos Gaal  
5407 Mohican Rd  
Bethesda MD 20816

Matthew Byrne  
5405 Mohican Rd  
Bethesda MD 20816

Stephen Seeber  
5309 Mohican Rd  
Bethesda MD 20816

William Barlow  
5311 Mohican Rd  
Bethesda MD 20816

Patrick Gates  
5421 Mohican Rd  
Bethesda MD 20816

Ned Miltenberg  
5410 Mohican Rd  
Bethesda MD 20816

John Lentz  
5424 Mohican Rd  
Bethesda MD 20816

Joy Brown  
5408 Mohican Rd  
Bethesda MD 20816

Whittington Lewis  
5404 Mohican Rd  
Bethesda MD 20816

Nathaniel Kendall  
5420 Mohican Rd  
Bethesda MD 20816

William Coolidge  
5423 Mohican Rd  
Bethesda MD 20816

James Ross  
5425 Mohican Rd  
Bethesda MD 20816

Philip Warker  
5428 Mohican Rd  
Bethesda MD 20816

5303

5421

5415

5417

5419

2 Stories  
w/ Bsmt  
2,625 SF

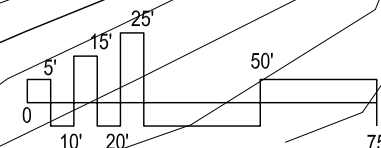
Constructed  
Detached  
Garage

Approved  
Detached  
Garage

Proposed  
Detached  
Garage

Proposed  
Open  
Pergola

LOT B  
GLEN ECHO  
HEIGHTS  
PBBP44



1  
C-1  
Site plan  
Scale: 50'

## Zoning and Building Data

Project address:  
5419 Mohican Road, Bethesda, MD  
Location:  
Lot B Glen Echo Heights PBBP44  
Plat data:  
Liber 40953 Folio 265  
Zoning: R-90  
Lot area:  
20,853 Square Feet +/- (.48 Acres)  
Allowable lot coverage  
30% = 6,256 Square Feet +/-  
First Floor Square Feet:  
2,615 SF

11

5303

5421

5415

5417

5419

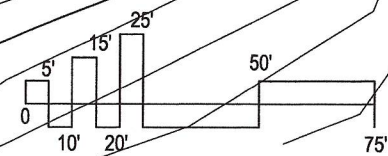
2 Stories  
w/ Bsmt  
2,615 SF

Constructed  
Detached  
Garage

Approved  
Detached  
Garage

Proposed  
Detached  
Garage

*Owner wants to  
Relocate the  
Approved Garage*



1  
C-1 Site plan  
Scale: 50'

## Zoning and Building Data

Project address:

5419 Mohican Road, Bethesda, MD

Location:

Lot B Glen Echo Heights PBBP44

Plat data:

Liber 40953 Folio 265

Zoning: R-90

Lot area:

20,853 Square Feet +/- (.48 Acres)

Allowable lot coverage

30% = 6,256 Square Feet +/-

First Floor Square Feet:

2,615 SF

**12**

# 2015 Garage HAWP Approval, Staff Report and Application



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address</b>	5417 Mohican Drive, Bethesda, Maryland	<b>Meeting Date</b>	12/02/2015
<b>Resource</b>	Individually Designated Master Plan Site (#35/29), R.A. Charles Castle	<b>Report Date</b>	11/19/2015
<b>Applicant</b>	Ross McNair, Owner	<b>Public Notice</b>	11/18/2015
<b>Review</b>	Historic Area Work Permit	<b>Tax Credit</b>	None
<b>Case Number</b>	35/29-15A	<b>Staff</b>	Matt Bowling
<b>PROPOSAL</b>	<b>Non-historic garage demolition. New garage and fence construction at 5417 Mohican Drive, Bethesda.</b>		

---

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** this HAWP application with **ZERO (0)** conditions.

**ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Individually Designated Master Plan Site (#35/29)  
 STYLE/FORM: Queen Anne  
 DATE: Circa 1890  
 GUIDELINES: *The Secretary of the Interior's Standards for Rehabilitation*

In her book, *Places from the Past*, Clare Kelly (architectural historian) notes:

*This residence was built the same year as the more elaborate and larger scale Baltzley Castle [next door], yet was also built of locally quarried stone, continuing the theme of the envisioned Rhineland on the Potomac, both residences were built to take advantage of a dramatic view of the Potomac River. With its multi- and diamond-pane windows, hipped roof polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone.*

*R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The Manufacturer's Record of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.*

**BACKGROUND**

The applicant completed a Preliminary Consultation on Wednesday, October 7, 2015. The Commission recommended that the applicant re-design the balusters on the exterior stairway and balcony. **The applicant has switched the balusters on the exterior stairway and balcony from a turned design to a simplified, square design.** The only other changes to the plans from what the HPC saw during the Preliminary Consultation, is a cost-based change in window style and a change in roof cladding. The windows will still be double-hung, sash windows, but now will be one-over-one and the roof will be clad with asphalt shingles to match those found on the castle.

The applicant originally proposed multi-light, double-hung, sash windows for the garage. The majority of Commissioners expressed preference for such a design, although there were Commissioners who thought a more simplified configuration would be better suited for the project. The R.A. Charles Castle has both styles of windows – both multi-light and one-over-one windows. The material of the windows was unspecified in the Preliminary Consultation, but the applicant is now proposing a clad wood window. The Commission may require, by condition, that the widows be solid wood construction to match those found on the castle.

***Subject Property Highlighted – Proposed Garage Location Noted (Not to Scale)***



**PROPOSAL**

The applicant is proposing the following **THREE (3)** work items:

1. Non-historic, circa 1970 garage will be demolished;
2. Wood, board fence, measuring 50' in length and 6' in height, will be constructed on the rear/side property line; and
3. Detached, two-car garage will be constructed.
  - Garage will have a rubble-stone water table veneer (stone to match rubble-stone of the castle);
  - Garage will be clad with fiber-cement clapboards with 5 ½" reveal;
  - Garage will feature wood trim details, wood balusters and wood handrails and will have copper flashing and gutters;
  - Garage roof will be clad with asphalt shingles to match those found on the castle;
  - Walkway leading from house to garage will be stone slabs set in mortar;
  - Parking pad will be constructed of cobblestone set in bluestone dust; and
  - Driveway will be pea gravel edged with cobblestone.

In August 2013, the applicant received approval for the construction of an 18' x 20' rear addition to be connected to the R.A. Charles Castle by a metal and glass hyphen. In addition, the applicant received approval for the construction of a two-car (24' x 24') detached carport.

**As part of this current proposal, the applicant has officially withdrawn this aspect of the application - it will no longer be built.** Please see Circle 9 for the applicant's statement reflecting this change to the approved scope of work for the R.A. Charles Castle.

## **APPLICABLE GUIDELINES**

In accordance with Section 1.5 of the *Historic Preservation Commission Rules, Guidelines, and Procedures* (Regulation No. 27-97) ("Regulations"), the Commission in developing its decision when reviewing a Historic Area Work Permit Application for an undertaking involving an individually designated Master Plan Site uses *Chapter 24A-8* of the *Montgomery County Code* ("Chapter 24A"), *The Secretary of the Interior's Standards and Guidelines for Rehabilitation* (Standards), and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance shall take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below

### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

### ***The Secretary of the Interior's Standards for Rehabilitation***

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, and scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **STAFF DISCUSSION**

In light of the fact that the applicant has formally withdrawn the addition and the carport from the scope of work for their Historic Area Work Permit application approved in August 2013, staff is in full support of the applicant's proposal.

The existing circa 1970s garage is architecturally incompatible with R.A. Charles Castle and its removal will actually benefit the historic resource's environmental setting. The proposed fence is compatibly designed alteration to the property and is easily reversible should the existing homeowner or a future homeowner decide to remove it in the future.

The materials, features, size, scale, and massing of the proposed garage are compatible with the R.A. Charles Castle. The garage is appropriately sited with relation to the historic resource and the driveway and parking pad are compatibly designed.

The applicant responded to the feedback and recommendations made by the Commission and made appropriate/compatible changes to their original concept.

## **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the Historic Area Work Permit Application under the Criteria for Issuance in Chapter 24A-8 § (b)(2), having found the proposed work is consistent with:

1. Chapter 24A-8 of the Montgomery County Code; and
2. *The Secretary of the Interior's Standards for Rehabilitation.*

Finding that the proposed work –non-historic garage demolition. New garage and fence construction– will not adversely affect the R.A. Charles Castle in any respect; the proposed work will not remove or alter distinctive features, spaces, or spatial relationships that characterize the property, the surrounding streetscape, or the historic resource as a whole; the new construction is compatible with the R.A. Charles Castle's materials, features, size, and scale and proportion, and massing; and the new construction could be removed in the future without impairing the character of the resource.

And with the general condition that the applicant shall present **three (3) permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

And with the general condition that the applicant shall notify HPC staff if they propose to make **any alterations** to the approved plans;



And with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at HPC staff's discretion.

Once the work is completed the applicant will contact the Matt Bowling at 301-563-3400 or [matt.bowling@mongtomeryplanning.org](mailto:matt.bowling@mongtomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

## APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: ROSSMCMANIS1@GMAIL.COM Contact Person: ROSS MCMANIS  
Daytime Phone No.: 301-219-0380  
Tax Account No.: 00508312  
Name of Property Owner: J. ROSS MCMANIS Daytime Phone No.: 301-219-0380  
Address: 5415 MCKINLEY RD Bethesda MD 20814  
Street Number City State Zip Code  
Contractor: MANAGE BUILDERS Phone No.: 301-228-8343  
Contractor Registration No.: 4126545  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING PREMISE

House Number: 5417 Street: MCKINLEY RD  
Town/City: Bethesda Nearest Cross Street: MACARTHUR BLVD  
Lot: PART C Block: 3 Subdivision: 9100 ECHO HEIGHTS  
Liber: 40953 Folio: 265 Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

#### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☒ Fence/Wall (complete Section 4) ☐ Other: GARAGE + FENCE

1B. Construction cost estimate: \$ 28,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6' feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J. Ross McManis  
Signature of owner or authorized agent

10-26-15  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

735175

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Detached GARAGE, RIGHT CORNER OF LOT  
Complies with County SetBACK RE Necessary  
50' Fence

Remove A NON Historic (c 1970)  
ONE STORY GARAGE

See

A COMPANING PAGE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

APPLICATION FOR HISTORIC AREA WORK PERMIT

9-14-2015

R.A. Charles Master Plan # 35 / 29 - 2

J. Ross McNair

5417 Mohican Rd

Bethesda MD 20816

On 8-21-13 the HPC approved case number 35/29-13A

Part of the scope of work was a detached 2 car carport, an (18 x 20) addition, a hyphen connector link (9 x 11'4") and a cobblestone entry court. We decided not to build the approved addition to the historic resource or the 2 car carport. All work is on the rear of the property.

REMOVE

Remove a circa 1970 non historic 2 car garage

GARAGE

Construct a 2 story 2 car detached garage at the rear right of the lot. The location complies with the County setback and height requirements for accessory structures. Material for the garage consists of a metal roof, stone wainscot and wood siding. The garage will be accessed via an existing driveway from Mohican Rd. We have consulted with a MD State Professional Registered Forester and a Board Certified Arborist to protect the roots of the oak tree.

FENCE

Erect approx 50 lin ft fence 6 ft high around 2 sides of the garage

COBBLESTONE

Cobblestone edged driveway with pea gravel

Cobblestone entry court set in bluestone in front of the proposed garage with a path to the house.

## **HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

### **OWNER'S MAILING ADDRESS**

J. Ross McNair  
5415 Mohican Rd  
Bethesda Md 20816

### **HISTORIC SITE ADDRESS**

5417 Mohican Rd  
Bethesda Md 20816

## **ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES**

Miguel Otero  
5301 Mohican Rd  
Bethesda MD 20816

Chris White  
5409 Mohican Rd  
Bethesda MD 20816

Maureen Jeffreys and Michael Bergsman  
5303 Mohican Rd  
Bethesda MD 20816

Miklos Gaal  
5407 Mohican Rd  
Bethesda MD 20816

Matthew Byrne  
5405 Mohican Rd  
Bethesda MD 20816

Stephen Seeber  
5309 Mohican Rd  
Bethesda MD 20816

William Barlow  
5311 Mohican Rd  
Bethesda MD 20816

Patrick Gates  
5421 Mohican Rd  
Bethesda MD 20816

Ned Miltenberg  
5410 Mohican Rd  
Bethesda MD 20816

John Lentz  
5424 Mohican Rd  
Bethesda MD 20816

Joy Brown  
5408 Mohican Rd  
Bethesda MD 20816

Whittington Lewis  
5404 Mohican Rd  
Bethesda MD 20816

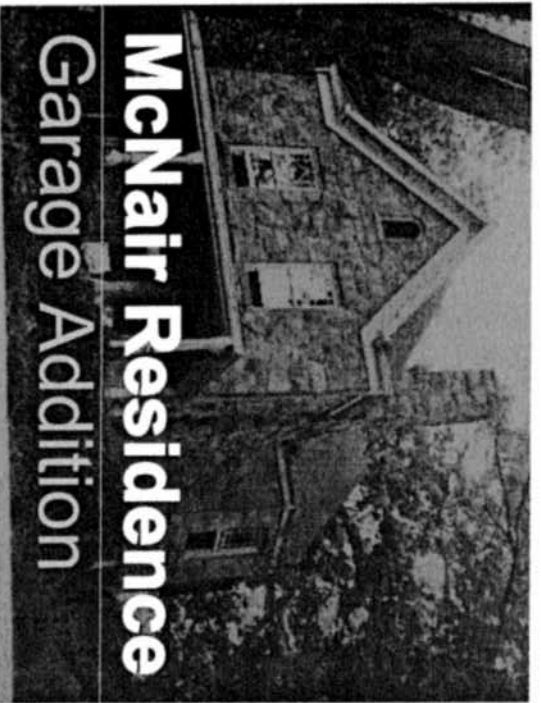
Nathaniel Kendall  
5420 Mohican Rd  
Bethesda MD 20816

William Coolidge  
5423 Mohican Rd  
Bethesda MD 20816

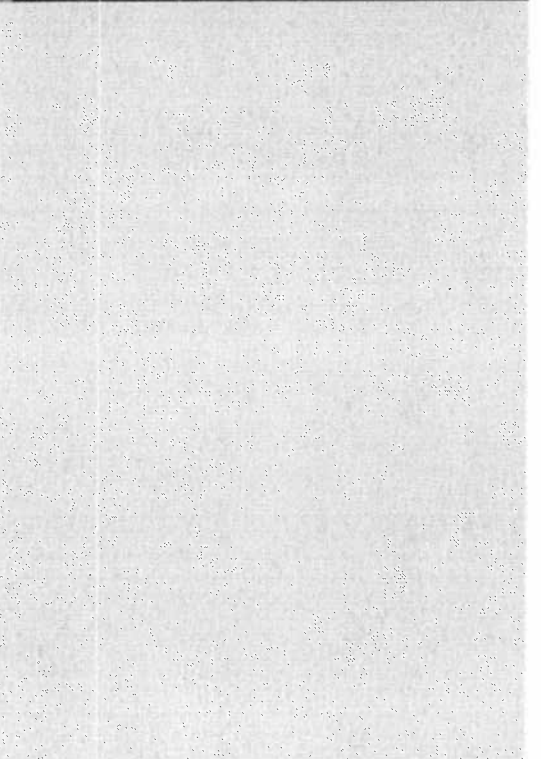
James Ross  
5425 Mohican Rd  
Bethesda MD 20816

Philip Warker  
5428 Mohican Rd  
Bethesda MD 20816





# McNair Residence Garage Addition



Project Name  
Owner

Location  
Address

Project Description  
Project Status

Project Budget  
Project Timeline

Project Team  
Project Manager

Project Goals  
Project Objectives

Project Risks  
Project Challenges

Project Deliverables  
Project Milestones

Project Stakeholders  
Project Sponsors

Project Communication  
Project Reporting

Project Evaluation  
Project Review

Project Conclusion  
Project Summary

Project Appendix  
Project Glossary

Project Index  
Project Table of Contents

Project Acknowledgments  
Project Credits

Project References  
Project Bibliography

Project Notes  
Project Comments

Project Attachments  
Project Documents

Project Signatures  
Project Approvals

Project Dates  
Project History

Project Version  
Project Revision

Project Footer  
Project Copyright

McNair Residence  
Garage

5477 McNair Road  
Baltimore, MD 21215

McNair Residence  
5477 McNair Road  
Baltimore, MD 21215

Project Budget  
Project Timeline

Project Team  
Project Manager

Project Goals  
Project Objectives

Project Risks  
Project Challenges

Project Deliverables  
Project Milestones

Project Stakeholders  
Project Sponsors

Project Communication  
Project Reporting

Project Evaluation  
Project Review

Project Conclusion  
Project Summary

Project Appendix  
Project Glossary

Project Index  
Project Table of Contents

Project Acknowledgments  
Project Credits

Project References  
Project Bibliography

Project Notes  
Project Comments

Project Attachments  
Project Documents

Project Signatures  
Project Approvals

Project Dates  
Project History

Project Version  
Project Revision

Project Footer  
Project Copyright

A.000

# Schedules

## Door Schedule

NO.	WIDTH	HEIGHT	FINISH	DESCRIPTION	HANDLING
MAIN FLOOR					
1	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Hinged Door	For Owner Selection
2	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
3	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
SECOND FLOOR					
4	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Hinged Door	For Owner Selection
5	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection

## Window Schedule

NO.	WIDTH	HEIGHT	FINISH	DESCRIPTION	HANDLING
SECOND FLOOR					
1	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Hinged Door	For Owner Selection
2	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
3	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
4	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
5	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
6	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection
7	3'-0"	8'-0"	1/2" x 1/2"	GLASS DOOR, Side Entry Storage Door	For Owner Selection

For that window for the main floor to be installed, please refer to the window schedule for the main floor.

Note: See also for the main floor details and dimensions. See also for the main floor details and dimensions. See also for the main floor details and dimensions.

# Symbols

1. REIL NORTH	2.001. EXTERIOR WINDOW NUMBER	3.001. EXTERIOR CASED OPENING NUMBER
4.001. EXTERIOR WINDOW NUMBER	5.001. EXTERIOR DOOR NUMBER	6.001. EXTERIOR DOOR NUMBER
7.001. EXTERIOR CASED OPENING NUMBER	8.001. EXTERIOR CASED OPENING NUMBER	9.001. EXTERIOR CASED OPENING NUMBER

# Material Legend

1. CONCRETE	2. POLYWOOD	3. GAST STONE
4. CONCRETE	5. POLYWOOD	6. GAST STONE
7. CONCRETE	8. POLYWOOD	9. GAST STONE
10. CONCRETE	11. POLYWOOD	12. GAST STONE
13. CONCRETE	14. POLYWOOD	15. GAST STONE
16. CONCRETE	17. POLYWOOD	18. GAST STONE
19. CONCRETE	20. POLYWOOD	21. GAST STONE
22. CONCRETE	23. POLYWOOD	24. GAST STONE
25. CONCRETE	26. POLYWOOD	27. GAST STONE
28. CONCRETE	29. POLYWOOD	30. GAST STONE
31. CONCRETE	32. POLYWOOD	33. GAST STONE
34. CONCRETE	35. POLYWOOD	36. GAST STONE
37. CONCRETE	38. POLYWOOD	39. GAST STONE
40. CONCRETE	41. POLYWOOD	42. GAST STONE
43. CONCRETE	44. POLYWOOD	45. GAST STONE
46. CONCRETE	47. POLYWOOD	48. GAST STONE
49. CONCRETE	50. POLYWOOD	51. GAST STONE
52. CONCRETE	53. POLYWOOD	54. GAST STONE
55. CONCRETE	56. POLYWOOD	57. GAST STONE
58. CONCRETE	59. POLYWOOD	60. GAST STONE
61. CONCRETE	62. POLYWOOD	63. GAST STONE
64. CONCRETE	65. POLYWOOD	66. GAST STONE
67. CONCRETE	68. POLYWOOD	69. GAST STONE
70. CONCRETE	71. POLYWOOD	72. GAST STONE
73. CONCRETE	74. POLYWOOD	75. GAST STONE
76. CONCRETE	77. POLYWOOD	78. GAST STONE
79. CONCRETE	80. POLYWOOD	81. GAST STONE
82. CONCRETE	83. POLYWOOD	84. GAST STONE
85. CONCRETE	86. POLYWOOD	87. GAST STONE
88. CONCRETE	89. POLYWOOD	90. GAST STONE
91. CONCRETE	92. POLYWOOD	93. GAST STONE
94. CONCRETE	95. POLYWOOD	96. GAST STONE
97. CONCRETE	98. POLYWOOD	99. GAST STONE
100. CONCRETE	101. POLYWOOD	102. GAST STONE

# Abbreviations

1. ANCHOR BOLT	2. FIRE RATED	3. ON CENTRAL
4. ANCHOR BOLT	5. FIRE RATED	6. ON CENTRAL
7. ANCHOR BOLT	8. FIRE RATED	9. ON CENTRAL
10. ANCHOR BOLT	11. FIRE RATED	12. ON CENTRAL
13. ANCHOR BOLT	14. FIRE RATED	15. ON CENTRAL
16. ANCHOR BOLT	17. FIRE RATED	18. ON CENTRAL
19. ANCHOR BOLT	20. FIRE RATED	21. ON CENTRAL
22. ANCHOR BOLT	23. FIRE RATED	24. ON CENTRAL
25. ANCHOR BOLT	26. FIRE RATED	27. ON CENTRAL
28. ANCHOR BOLT	29. FIRE RATED	30. ON CENTRAL
31. ANCHOR BOLT	32. FIRE RATED	33. ON CENTRAL
34. ANCHOR BOLT	35. FIRE RATED	36. ON CENTRAL
37. ANCHOR BOLT	38. FIRE RATED	39. ON CENTRAL
40. ANCHOR BOLT	41. FIRE RATED	42. ON CENTRAL
43. ANCHOR BOLT	44. FIRE RATED	45. ON CENTRAL
46. ANCHOR BOLT	47. FIRE RATED	48. ON CENTRAL
49. ANCHOR BOLT	50. FIRE RATED	51. ON CENTRAL
52. ANCHOR BOLT	53. FIRE RATED	54. ON CENTRAL
55. ANCHOR BOLT	56. FIRE RATED	57. ON CENTRAL
58. ANCHOR BOLT	59. FIRE RATED	60. ON CENTRAL
61. ANCHOR BOLT	62. FIRE RATED	63. ON CENTRAL
64. ANCHOR BOLT	65. FIRE RATED	66. ON CENTRAL
67. ANCHOR BOLT	68. FIRE RATED	69. ON CENTRAL
70. ANCHOR BOLT	71. FIRE RATED	72. ON CENTRAL
73. ANCHOR BOLT	74. FIRE RATED	75. ON CENTRAL
76. ANCHOR BOLT	77. FIRE RATED	78. ON CENTRAL
79. ANCHOR BOLT	80. FIRE RATED	81. ON CENTRAL
82. ANCHOR BOLT	83. FIRE RATED	84. ON CENTRAL
85. ANCHOR BOLT	86. FIRE RATED	87. ON CENTRAL
88. ANCHOR BOLT	89. FIRE RATED	90. ON CENTRAL
91. ANCHOR BOLT	92. FIRE RATED	93. ON CENTRAL
94. ANCHOR BOLT	95. FIRE RATED	96. ON CENTRAL
97. ANCHOR BOLT	98. FIRE RATED	99. ON CENTRAL
100. ANCHOR BOLT	101. FIRE RATED	102. ON CENTRAL

# Site Plan



# McNair Residence Garage

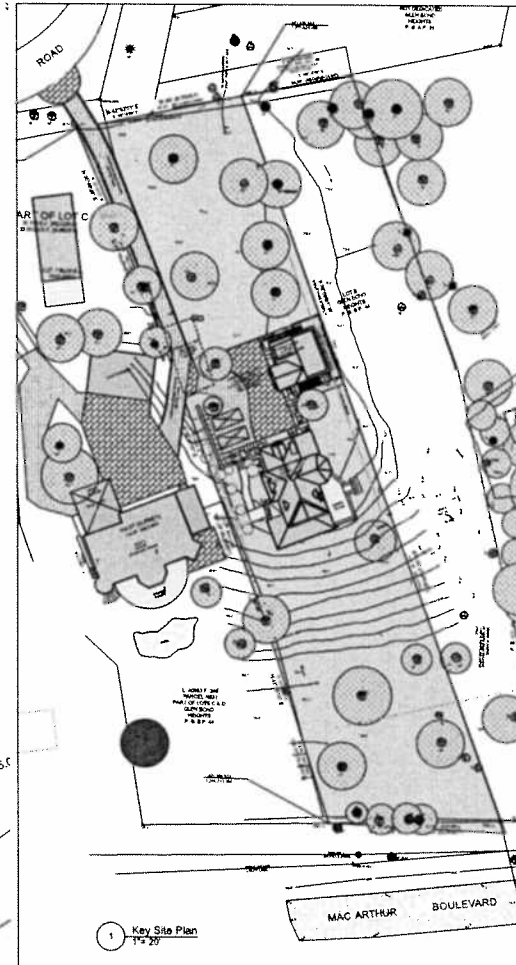
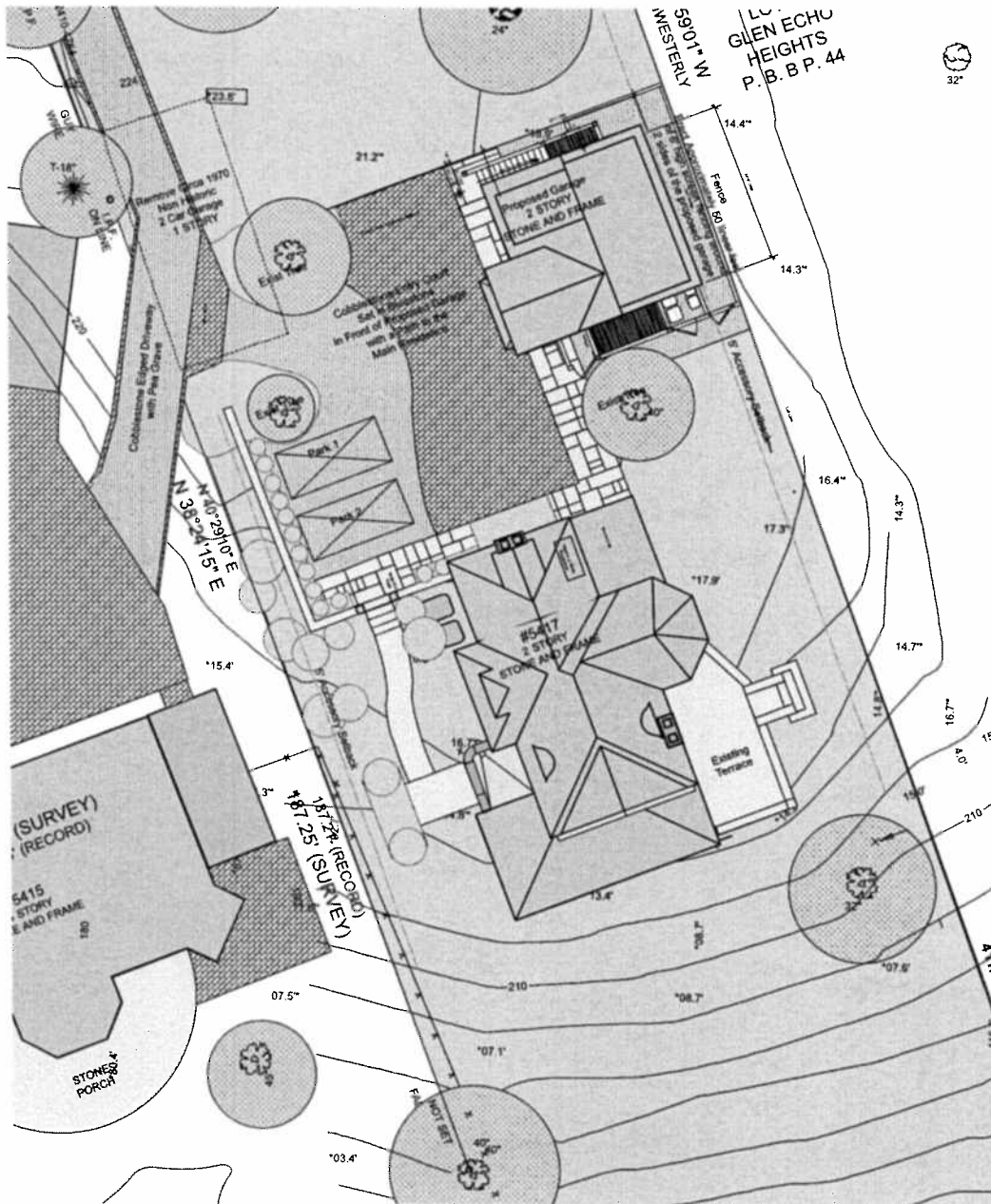
5417 Mohican Road  
Bethesda, MD 20815

Owner:  
Rosa McNair  
5415 Mohican Road  
Bethesda, MD 20815  
Contact Name:  
Rosa McNair  
Permit Application  
Number:

# Peacock Dickerson Associates, PC

Architect:  
Peacock Dickerson Associates, P.C.  
5840 Nicholson Lane  
Suite 200  
Rockville, Maryland 20850  
Tel: 301/337-7642

Professional Engineer:  
[Signature]  
[Stamp]  
Site Survey & Schedule  
[Signature]  
[Stamp]  
November 2015  
**A.001**



Application for Historic Area Work Permit

Site of Application  
 5417 Mohican Road  
 Bethesda, MD 20815

Owner  
 Alex McNair  
 5417 Mohican Road  
 Bethesda, MD 20815

Permit Application

Professional Certification  
 I hereby certify that the information provided in this application is true and correct, and that the work proposed is in accordance with the Historic Preservation Act of 1966 and the National Historic Preservation Act of 1980.

Site Plan  
 Scale: As Noted

2 November 2015

**A.002**

**McNair Residence**  
 Garage

5417 Mohican Road  
 Bethesda, MD 20815

Owner  
 Alex McNair  
 5417 Mohican Road  
 Bethesda, MD 20815

Permit Application

Professional Certification  
 I hereby certify that the information provided in this application is true and correct, and that the work proposed is in accordance with the Historic Preservation Act of 1966 and the National Historic Preservation Act of 1980.

Site Plan  
 Scale: As Noted

2 November 2015

**A.002**



## Schedules

### Planning Schedule

1. Planning Schedule

2. Planning Schedule

3. Planning Schedule

4. Planning Schedule

5. Planning Schedule

6. Planning Schedule

7. Planning Schedule

8. Planning Schedule

9. Planning Schedule

10. Planning Schedule

11. Planning Schedule

12. Planning Schedule

13. Planning Schedule

14. Planning Schedule

15. Planning Schedule

16. Planning Schedule

17. Planning Schedule

18. Planning Schedule

19. Planning Schedule

20. Planning Schedule

21. Planning Schedule

22. Planning Schedule

23. Planning Schedule

24. Planning Schedule

25. Planning Schedule

26. Planning Schedule

27. Planning Schedule

28. Planning Schedule

29. Planning Schedule

30. Planning Schedule

31. Planning Schedule

32. Planning Schedule

33. Planning Schedule

34. Planning Schedule

35. Planning Schedule

36. Planning Schedule

37. Planning Schedule

38. Planning Schedule

39. Planning Schedule

40. Planning Schedule

41. Planning Schedule

42. Planning Schedule

43. Planning Schedule

44. Planning Schedule

45. Planning Schedule

46. Planning Schedule

47. Planning Schedule

48. Planning Schedule

49. Planning Schedule

50. Planning Schedule

51. Planning Schedule

52. Planning Schedule

53. Planning Schedule

54. Planning Schedule

55. Planning Schedule

56. Planning Schedule

57. Planning Schedule

58. Planning Schedule

59. Planning Schedule

60. Planning Schedule

61. Planning Schedule

62. Planning Schedule

63. Planning Schedule

64. Planning Schedule

65. Planning Schedule

66. Planning Schedule

67. Planning Schedule

68. Planning Schedule

69. Planning Schedule

70. Planning Schedule

71. Planning Schedule

72. Planning Schedule

73. Planning Schedule

74. Planning Schedule

75. Planning Schedule

76. Planning Schedule

77. Planning Schedule

78. Planning Schedule

79. Planning Schedule

80. Planning Schedule

81. Planning Schedule

82. Planning Schedule

83. Planning Schedule

84. Planning Schedule

85. Planning Schedule

86. Planning Schedule

87. Planning Schedule

88. Planning Schedule

89. Planning Schedule

90. Planning Schedule

91. Planning Schedule

92. Planning Schedule

93. Planning Schedule

94. Planning Schedule

95. Planning Schedule

## Specifications

SECTION 01100 - GENERAL

1.01 SUMMARY

A. Section Includes

1. General

2. General

3. General

4. General

5. General

6. General

7. General

8. General

9. General

10. General

11. General

12. General

13. General

14. General

15. General

16. General

17. General

18. General

19. General

20. General

21. General

22. General

23. General

24. General

25. General

26. General

27. General

28. General

29. General

30. General

31. General

32. General

33. General

34. General

35. General

36. General

37. General

38. General

39. General

40. General

41. General

42. General

43. General

44. General

45. General

46. General

47. General

48. General

49. General

50. General

51. General

52. General

53. General

54. General

55. General

56. General

57. General

58. General

59. General

60. General

61. General

62. General

63. General

64. General

65. General

66. General

67. General

68. General

69. General

70. General

71. General

72. General

73. General

74. General

75. General

76. General

77. General

78. General

79. General

80. General

81. General

82. General

83. General

84. General

85. General

86. General

87. General

88. General

89. General

90. General

91. General

92. General

93. General

94. General

95. General

### 1.02 REFERENCES

A. Section Includes

1. General

2. General

3. General

4. General

5. General

6. General

7. General

8. General

9. General

10. General

11. General

12. General

13. General

14. General

15. General

16. General

17. General

18. General

19. General

20. General

21. General

22. General

23. General

24. General

25. General

26. General

27. General

28. General

29. General

30. General

31. General

32. General

33. General

34. General

35. General

36. General

37. General

38. General

39. General

40. General

41. General

42. General

43. General

44. General

45. General

46. General

47. General

48. General

49. General

50. General

51. General

52. General

53. General

54. General

55. General

56. General

57. General

58. General

59. General

60. General

61. General

62. General

63. General

64. General

65. General

66. General

67. General

68. General

69. General

70. General

71. General

72. General

73. General

74. General

75. General

76. General

77. General

78. General

79. General

80. General

81. General

82. General

83. General

84. General

85. General

86. General

87. General

88. General

89. General

90. General

91. General

92. General

93. General

94. General

95. General

### 1.03 MATERIALS

A. Section Includes

1. General

2. General

3. General

4. General

5. General

6. General

The following information has been provided if required during the course of construction.

# **SEDIMENT CONTROL APPROVAL**

- This sheet is to address grading and sediment control approval only. The contractor is required to coordinate the work items.
- The contractor is to notify the proper authorities listed below at least 48 hours before commencing any land disturbing activities and must hold a preconstruction meeting with a authorized sediment representative.
- Permit Number: Applicable number to call (240) 777-4320

# **SEDIMENT CONTROL NOTES**

- Details and notes shown are to be utilized only when applicable to existing site conditions. Contractor to follow all standards as required by local code authorities. This sheet is to be reviewed with the local inspectors for applicability to site conditions and county requirements prior to bid.
- All applicable sediment and erosion control methods shall be installed before the start of any excavation and/or construction as per standards and specifications for soil erosion and sediment control for Montgomery County. If further inspection reveals further erosion control measures are necessary, the same shall be provided.
- Any and/or small shall be swept clean at all times during excavation and construction.
- All sediment and erosion control measures to be inspected daily by the contractor. Any damaged device or measure will be repaired or replaced by the close of day (Or as required by local jurisdiction).
- All vehicles leaving the site shall pass through the construction entrance only and shall be washed down to remove mud from tires before entering the street. Construction entrance to be maintained in good working condition.
- All catch basins and area drains shall be protected during excavation and construction.
- If any catch basin or drain becomes clogged as a result of excavation or construction, the contractor shall be responsible for its immediate cleaning.
- All disturbed areas within the limit of disturbance boundary not shown as paved or covered by sidewalks or structures or future landscaping are to be seeded or sodded as per local jurisdiction specifications within seven days of disturbance.
- Any studding, regardless of location on the site shall be established within 14 days and covered with plastic or canvas, unless an establishment and for the duration of the project.
- After studding or demolition of existing structures, sidewalks, paving, etc. there is a need for ground cover to prevent erosion and sediment runoff from occurring. Proposed ground covering may include seed, sod, paving, bio-erect, mulch or other applicable elements.
- At the completion of construction project and after the local jurisdiction erosion and sediment control inspector approval, all temporary siltation, sedimentation and erosion control measures and devices shall be removed and all denuded areas shall be permanently stabilized.

## **SEQUENCE OF CONSTRUCTION**

- All erosion and sediment control measures shall be placed prior to or as the first step in grading.
- Provide temporary storm construction entrance where shown. Provide water source and hose to clean all equipment leaving the site.
- Install the silt fence around the perimeter of the site.
- No disturbed area will be disturbed for more than 7 calendar days. Install the necessary temporary or permanent vegetation stabilization measures to achieve adequate erosion and sediment control.
- All construction to be inspected daily by the contractor and any damaged siltation or erosion control devices or measures will be repaired at the close of the day.
- All silt fence to be maintained in working condition.
- Stabilized construction entrance to be periodically supplemented with additional stone as needed.
- Controls shall be removed after their contributing basins have been permanently stabilized.

## **CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

1. Weir silt fence to be fastened securely to stone piles with wire ties or staples.
2. Filter cloth to be fastened securely to stone piles with wire ties or staples.
3. When two sections of filter cloth are joined, the joint shall be overlapped by six inches and folded so needed and material removed when "bumped" develops in the silt fence by local jurisdiction.

## **STRAW BALE DIKE DETAIL**

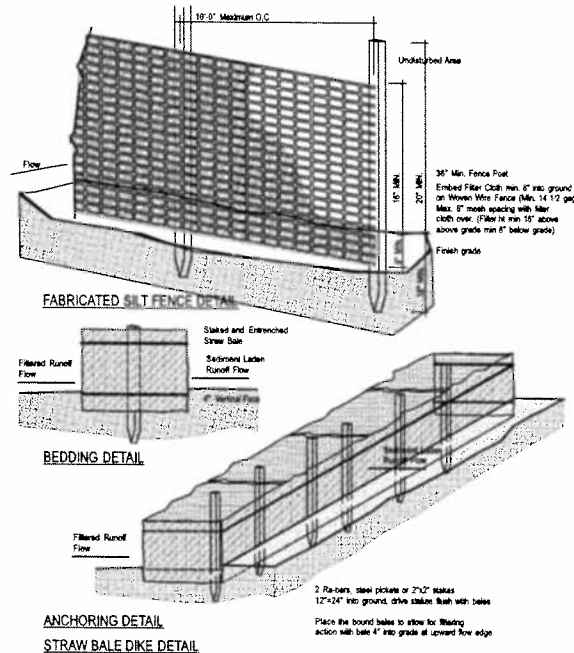
### **CONSTRUCTION SPECIFICATIONS**

1. Bales shall be placed at the toe of slope or on the contour and in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be interlocked in the end and a minimum of 40 inches, and placed so the bedding are horizontal.
3. Bales shall be securely anchored in place by either two stakes or re-bar driven through the bale. The first stake in each bale shall be driven toward the perimeter of the site at an angle to force the bales together. Stakes shall be driven flush with the bale.
4. Inspection shall be required and repair replacement shall be made promptly as needed.
5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

## **STRAW BALE DROP INLET / SEDIMENT FILTER**

### **CONSTRUCTION SPECIFICATIONS / SPECIFIC APPLICATION**

1. This method of inlet protection is applicable where the inlet drains a relatively flat area.
2. Slopes no greater than 5 percent where sheet or overlaid floors not exceeding 65 CFS are typical.
3. The method shall not apply to areas receiving concentrated flows, such as in street or highway medians.



Building Data			
Floor Level	Existing Sq. Ft.	New Sq. Ft.	Total Sq. Ft.
Main Floor	600	600	
Second Floor	420	420	
Total	1,020	1,020	

Development Standards for R-90 Zone	
Zone:	R-90 Residential, one-family, detached
Area Requirement:	Minimum lot size 6,000 sq. ft.
Total Maximum Coverage:	36% including accessory buildings Lot 13,892 sq. ft. Existing Principal Residence 1,289 sq. ft. Proposed Garage 600 sq. ft. Total Area 2,792 sq. ft. < 36%
Minimum Front Yard Setback:	30 feet or established building line, whichever is greater (Items 1 and 2)
Minimum Side Yard Setback:	Total 25 feet, one side 8 feet Lot recorded before 3/15/28, if lot width is 40 feet or less, 5 feet each side
Minimum Rear Yard Setback:	25 feet Lot recorded before 12/11/53 20 feet
Minimum Lot Frontage:	75 Feet at front building line 25 Feet at street line
Maximum Building Height:	Not exceed 2 1/2 stories, and 35 feet to roof peak or 35 feet to mean height between: seven 8' ridge of gable hip, mansard or gambrel roof 3 stories or 45 feet with Planning Board approval
Accessory Maximum Coverage:	Occupy maximum 25% of rear yard Rear Lot 14,987 sq. ft. Existing Principal Residence 1,289 sq. ft. Proposed Garage 600 sq. ft. Total Area 860 sq. ft. < 25%
Accessory Building Setbacks:	Rear yard only 65 feet from front lot line 5 feet from side lot line 5 feet from rear lot line
Maximum Accessory Building Height:	Not exceed 2 stories, and 20 feet to highest point

## **Notes**

## **McNair Residence Garage**

5417 Mohican Road  
Bethesda, MD 20816

### **Owner:**

Ross McNair  
5416 Mohican Road  
Bethesda, MD 20816

### **Current Issue:**

Permit Application

Residence

## **Pollack Dickinson Associates, PC**

### **Architect**

Pollack Dickinson Associates, P.C.  
5445 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel 301.737.7542

### **Professional Certification:**

I hereby certify that this document was prepared or approved by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Maryland.

Signature: [Signature]

Date: [Date]

Title: [Title]

Professional Seal: [Seal]

Professional Stamp: [Stamp]

Professional License Number: [Number]

Professional Registration Number: [Number]

Professional Registration Date: [Date]

Professional Registration State: [State]

Professional Registration Country: [Country]

Professional Registration Address: [Address]

Professional Registration Phone: [Phone]

Professional Registration Email: [Email]

Professional Registration Website: [Website]

Professional Registration Social Media: [Social Media]

Professional Registration Other: [Other]

Professional Registration Notes: [Notes]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]

Professional Registration Conclusions: [Conclusions]

Professional Registration Recommendations: [Recommendations]

Professional Registration Suggestions: [Suggestions]

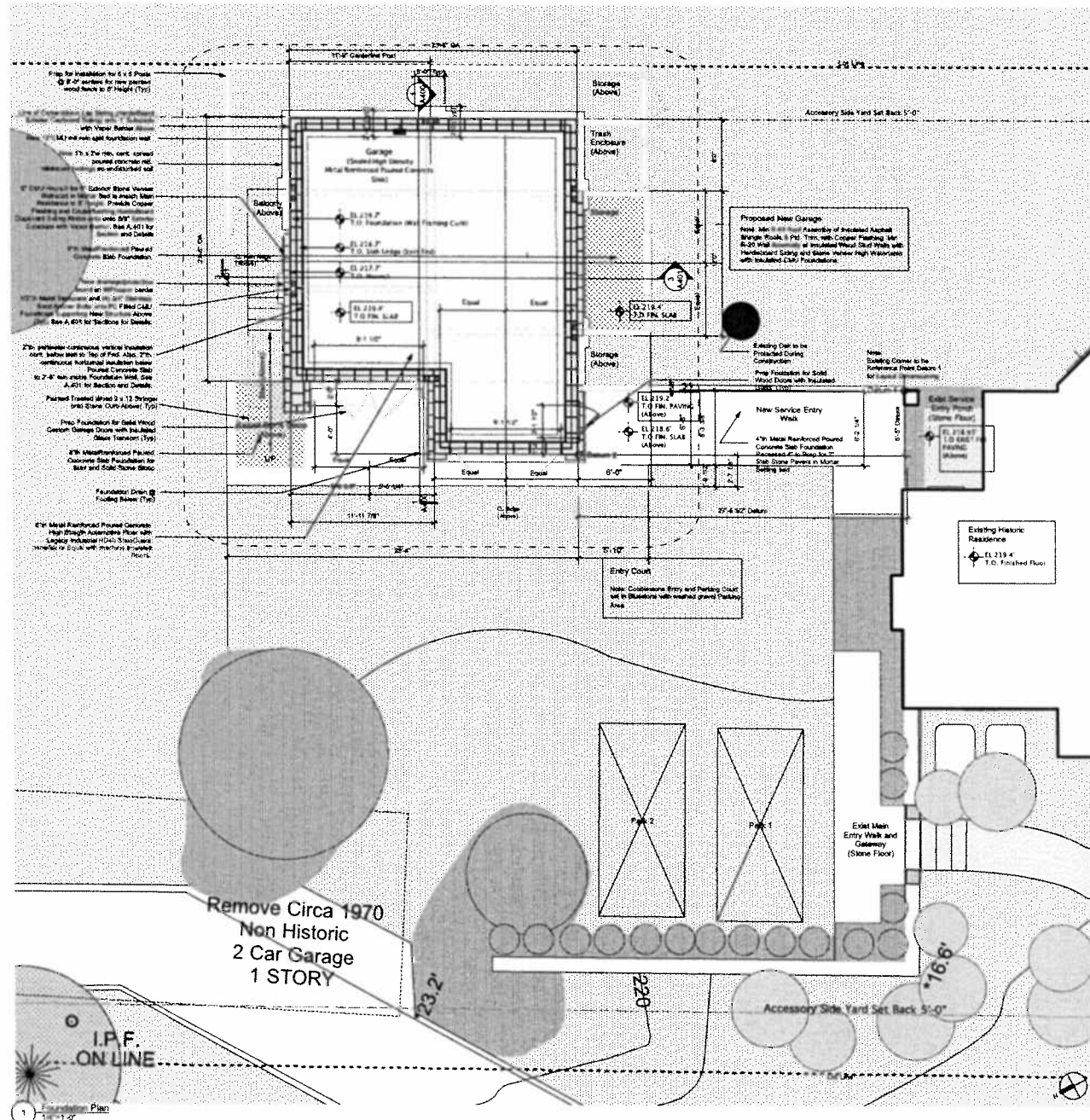
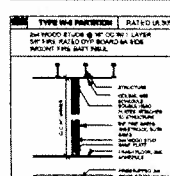
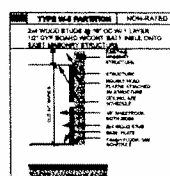
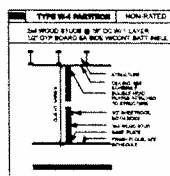
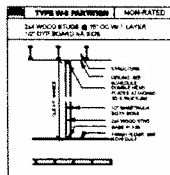
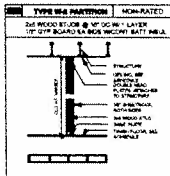
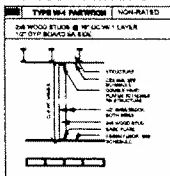
Professional Registration Comments: [Comments]

Professional Registration Remarks: [Remarks]

Professional Registration Observations: [Observations]



# Partition Schedule



**Notes**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

2. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

3. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

4. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

5. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

6. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

7. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

8. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

9. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

10. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).

**McNair Residence Garage**

5417 McHanan Road  
Bethesda, MD 20816

Owner:  
Rosa McNair  
5417 McHanan Road  
Bethesda, MD 20816

Current Date:  
11/02/2015

Permit Application:  
11/02/2015

**Pollock Dickinson Associates, PC**

Architect:  
Pollock Dickinson Associates, P.C.  
5640 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.237.7542

**Professional Certification**

I, the undersigned, being a duly Licensed Professional Engineer in the State of Maryland, do hereby certify that I am the author of the above design and that it was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Maryland.

**Foundation Plan**

Scale: 1/4"=1'-0"

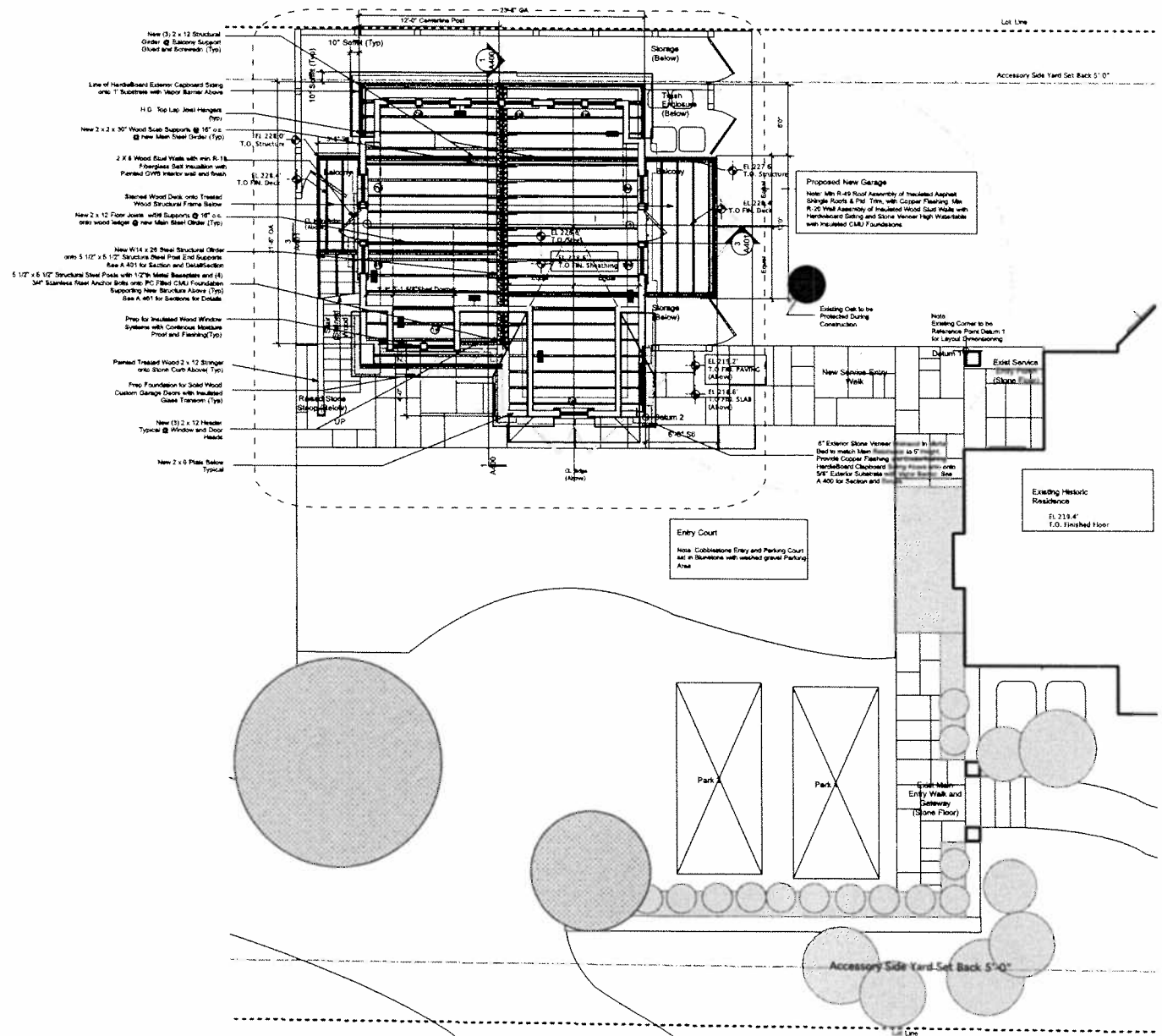
2 November, 2015

**A.200**



[illegible]

31



1 Second Floor Framing Plan  
1/4"=1'-0"

**Notes**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

**Legend**

- EXISTING WALL
- NEW WALL
- EXISTING WALL
- NEW WALL

**McNair Residence Garage**

5417 Mohican Road  
Bethesda, MD 20815

**Owner:**  
Rosa McNeil  
5418 Mohican Road  
Bethesda, MD 20815

**Current Use:**  
Garage

**Permit Application**  
Residence

**Pollock Dickinson Associates, P.C.**  
5418 Northwood Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.337.7542

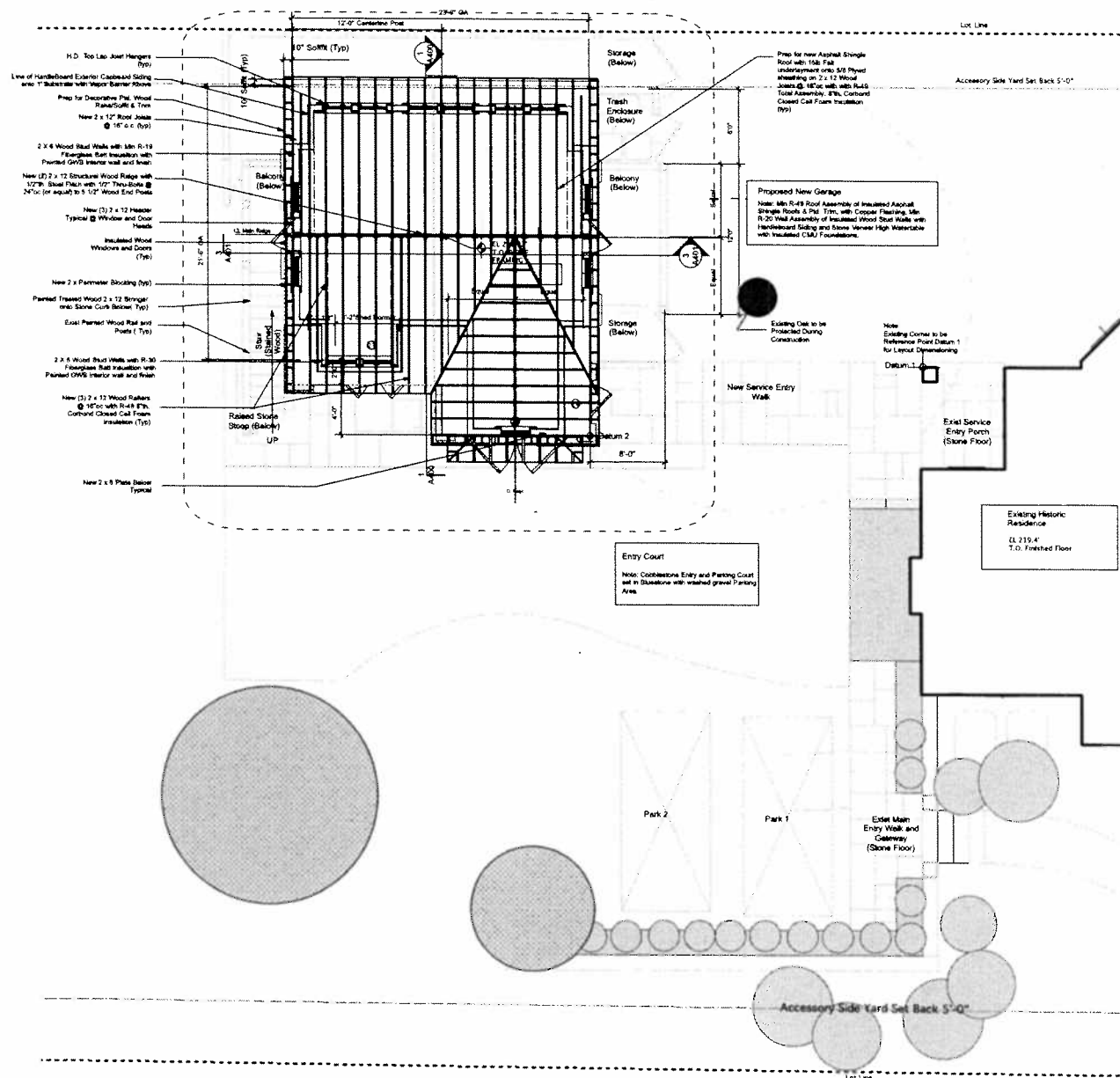
**Architect:**  
Pollock Dickinson Associates, P.C.  
5418 Northwood Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.337.7542

**Professional Certification:**  
I hereby certify that I am a duly Licensed Professional Engineer in the State of Maryland and that I am the author of the design and construction of the above described project.

**Second Floor Framing Plan**  
Scale: 1/4"=1'-0"

2 November 2015

**A.300**



1 Roof Framing Plan  
1/4"=1'-0"

# McNair Residence Garage

5417 Mohican Road  
Bethesda, MD 20816

Owner:  
Rina McNair  
5417 Mohican Road  
Bethesda, MD 20816

Current Issue:  
Permit Application

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.

Architect:  
Pollock Dickinson  
Associates, P.C.



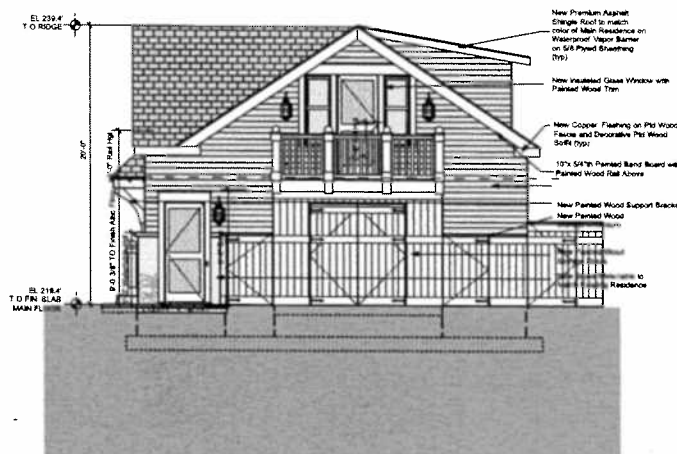








1 West Front Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"

## Notes

## Legend



## McNair Residence Garage Addition

5417 Mohican Road  
Bethesda, MD 20816

### Owner:

Rose McNair  
5417 Mohican Road  
Bethesda, MD 20816

### Current Issue:

Permit Application

### Architect:

Pollock Dickinson Associates, P.C.

Pollock Dickinson Associates, P.C.  
5840 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel 301.237.7542

### Professional Certification:

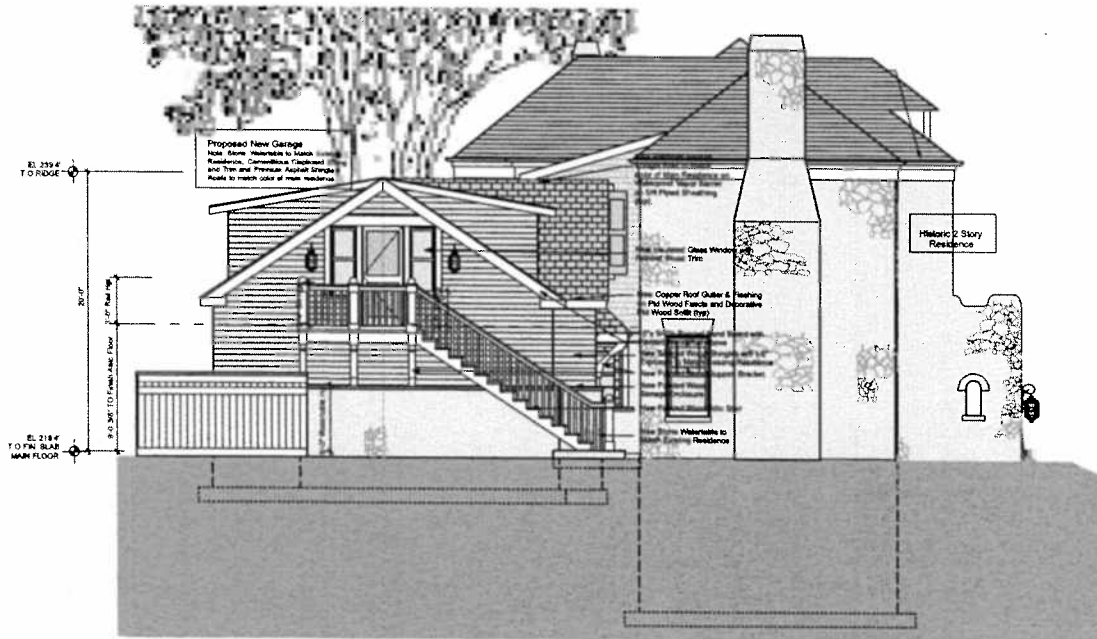
Architect: Rose McNair  
Architect: Rose McNair  
Architect: Rose McNair  
Architect: Rose McNair

### Elevations:

Scale: 1/4" = 1'-0"

2 November 2015

A.500



# Notes

## McNair Residence Garage Addition

6417 Mohican Road  
Bethesda, MD 20816

Owner:

Ross McNair  
6417 Mohican Road  
Bethesda, MD 20816

Current Issue:

Permit Application

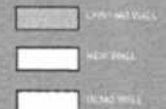
Revisions:

## Pollock Dickerson Associates, PC

Architect:

Pollock Dickerson Associates, P.C.  
5640 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.237.7542

# Legend



Professional Certification:

I certify that the drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Maryland.

Signature of Architect:

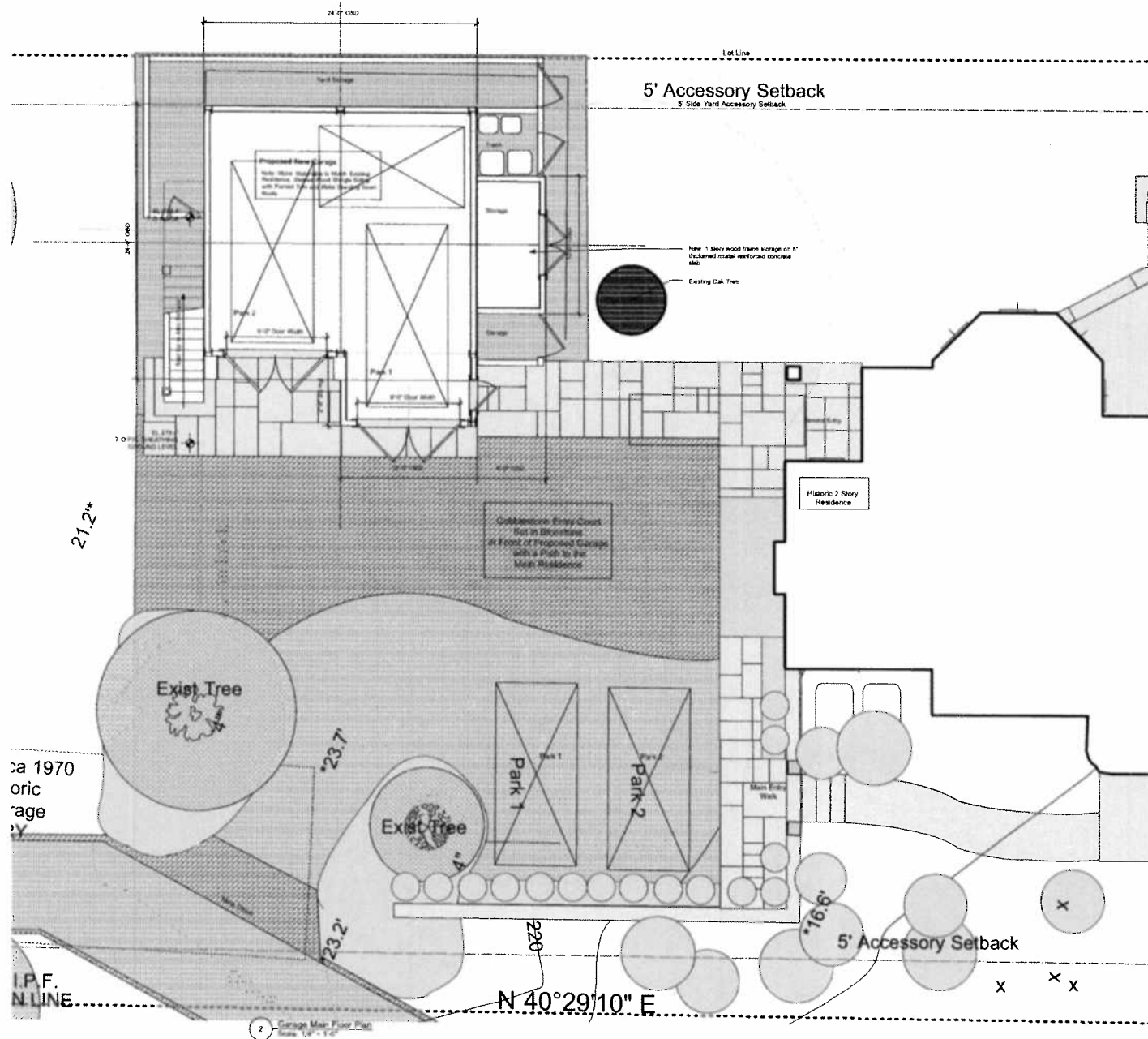
Elevations

Scale: 1/4" = 1'-0"

2 November 2016

**A.501**





# McNair Residence Garage Addition

5417 Mohican Road  
Bethesda, MD 20818

Owner:

Russ McNair  
5415 Mohican Road  
Bethesda, MD 20818

Client:

Application for Historic Area  
Work Permit

Architect:

Pollock Dickerson  
Associates, P.C.

Architect  
Pollock Dickerson Associates, P.C.  
5640 Nicholson Lane  
Suite 200  
Rockville, Maryland 20852  
Tel: 301.237.7542

Professional Certification

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Maryland.

Garage Main Floor Plan

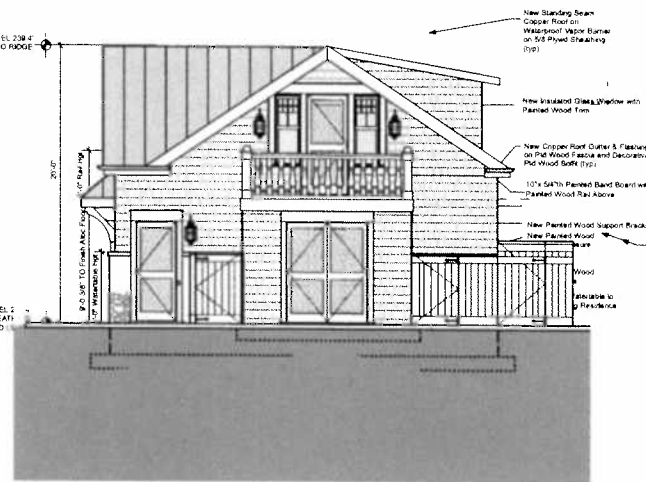
Scale: 1/4" = 1'-0"

September 14, 2015

A.101



1 West Front Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"

Notes

Legend



McNair Residence  
Garage Addition

5417 Mohican Road  
Bethesda, MD 20818

Owner:

Ross McNair  
5415 Mohican Road  
Bethesda, MD 20816

Client:

Application for Historic Area  
Work Permit

Pollock Dickerson  
Associates, PC

Architect:

Pollock Dickerson Associates, P.C.  
5800 Bethesda Lane  
Suite 200  
Rockville, Maryland 20852  
Tel: 301.231.7542

Professional Certification:  
I hereby certify that the design and  
construction documents and plans  
are the work of the firm and  
were prepared by a professional  
member of the American Institute of Architects.

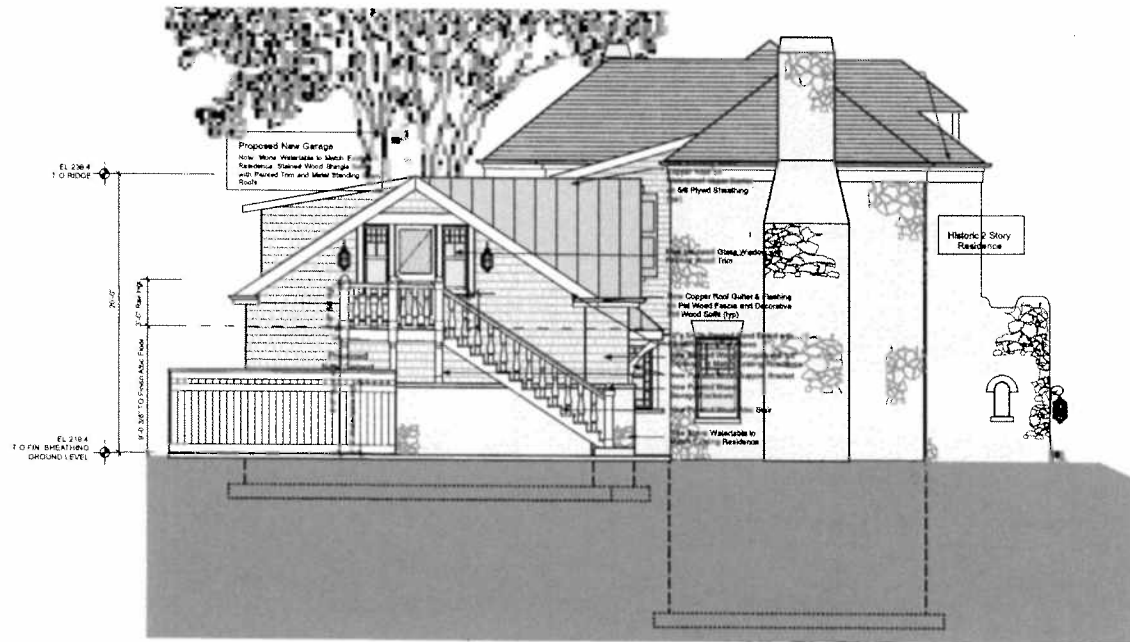
Elevations

Scale: 1/4" = 1'-0"

September 14, 2010

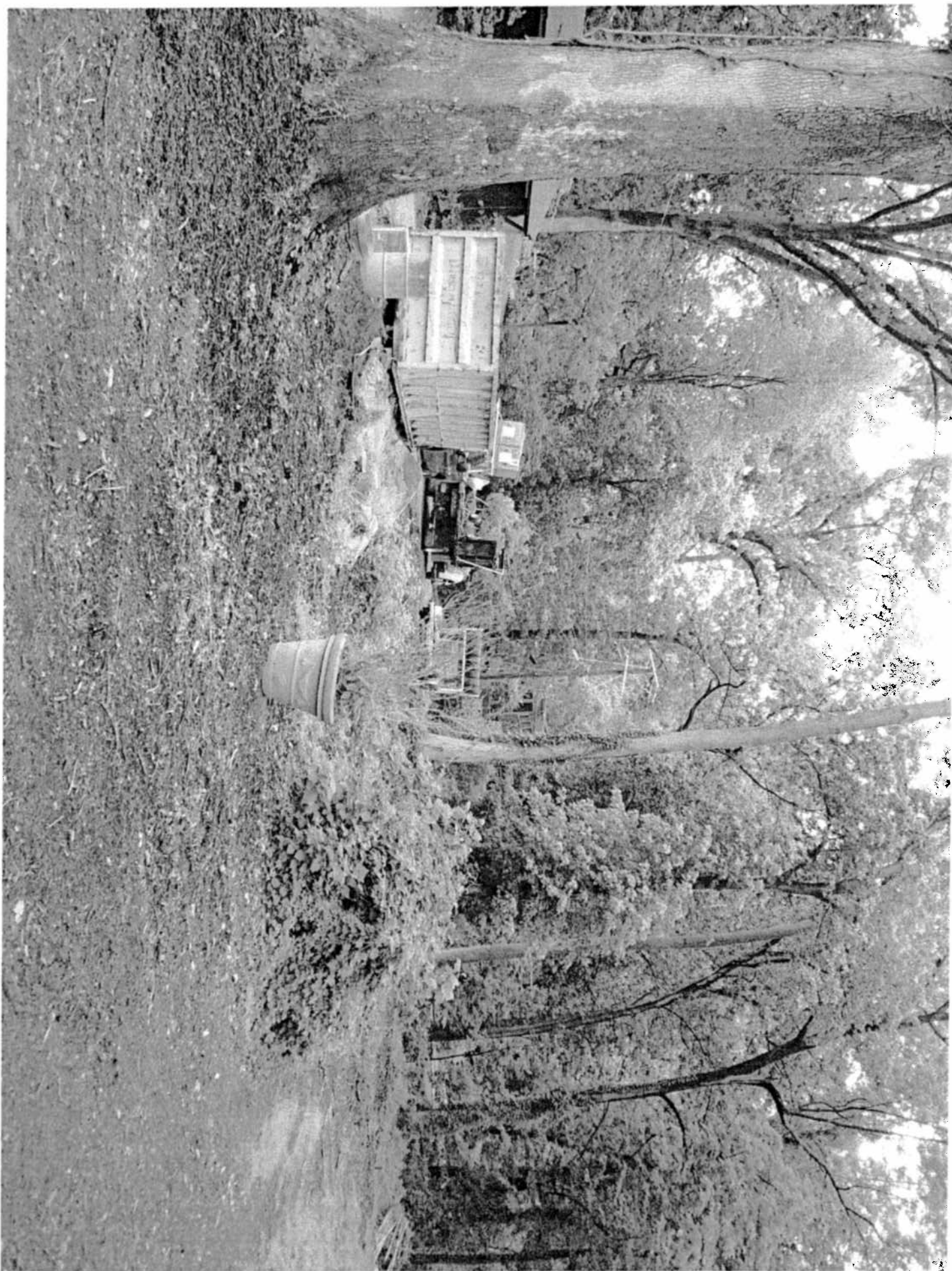
A.200





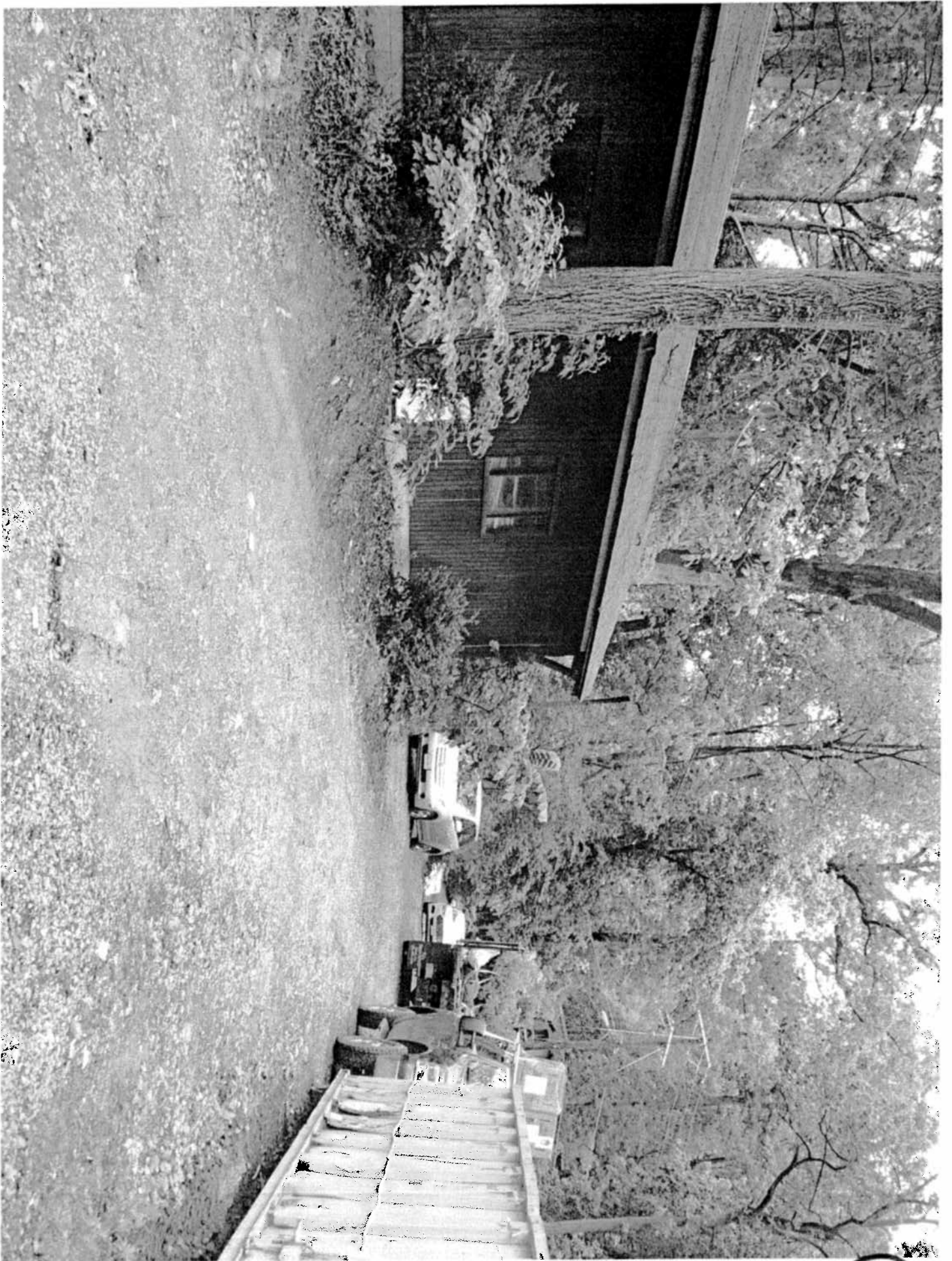
**A.201**

LOCATION OF NEW GARAGE





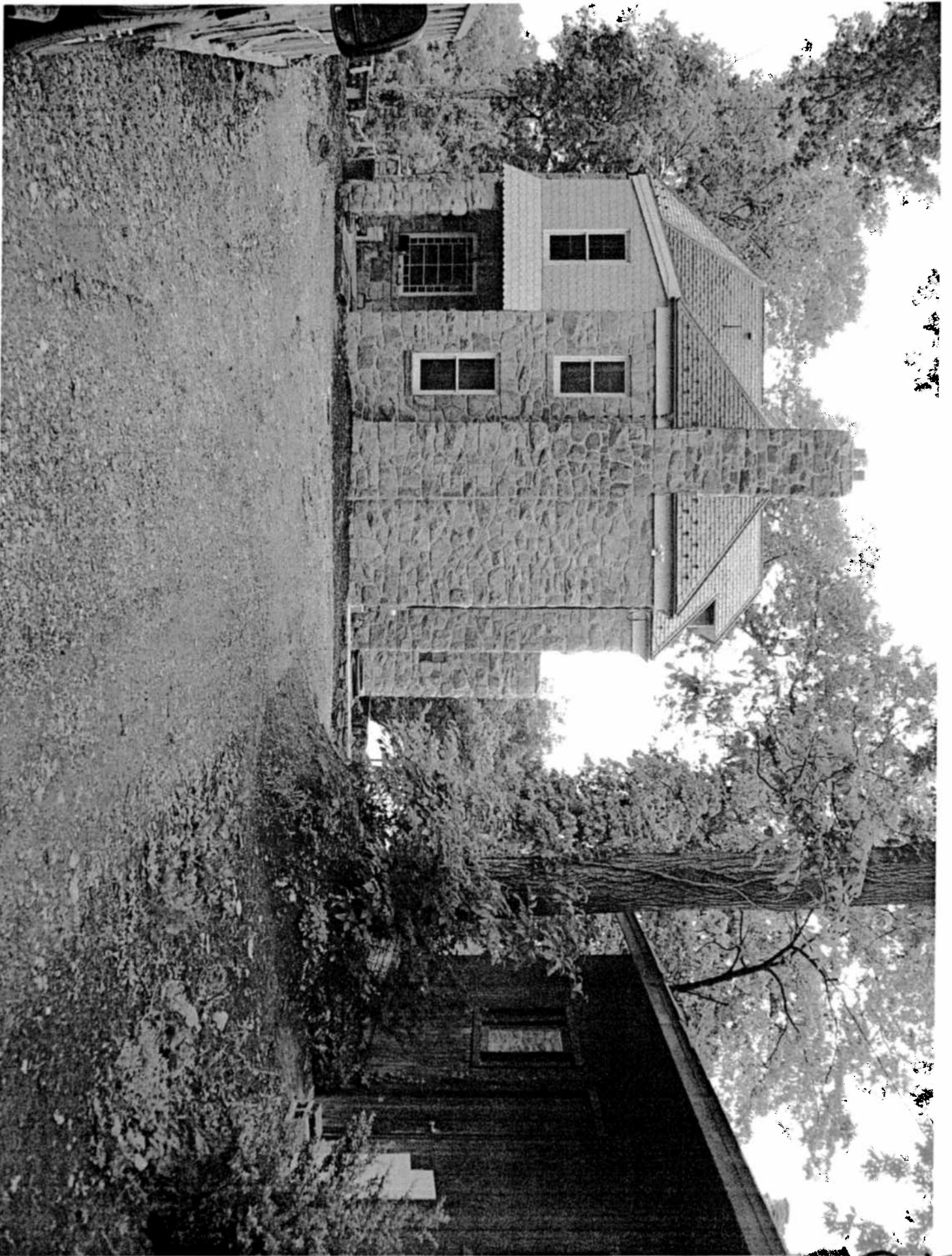
GARAGE TO BE REMOVED



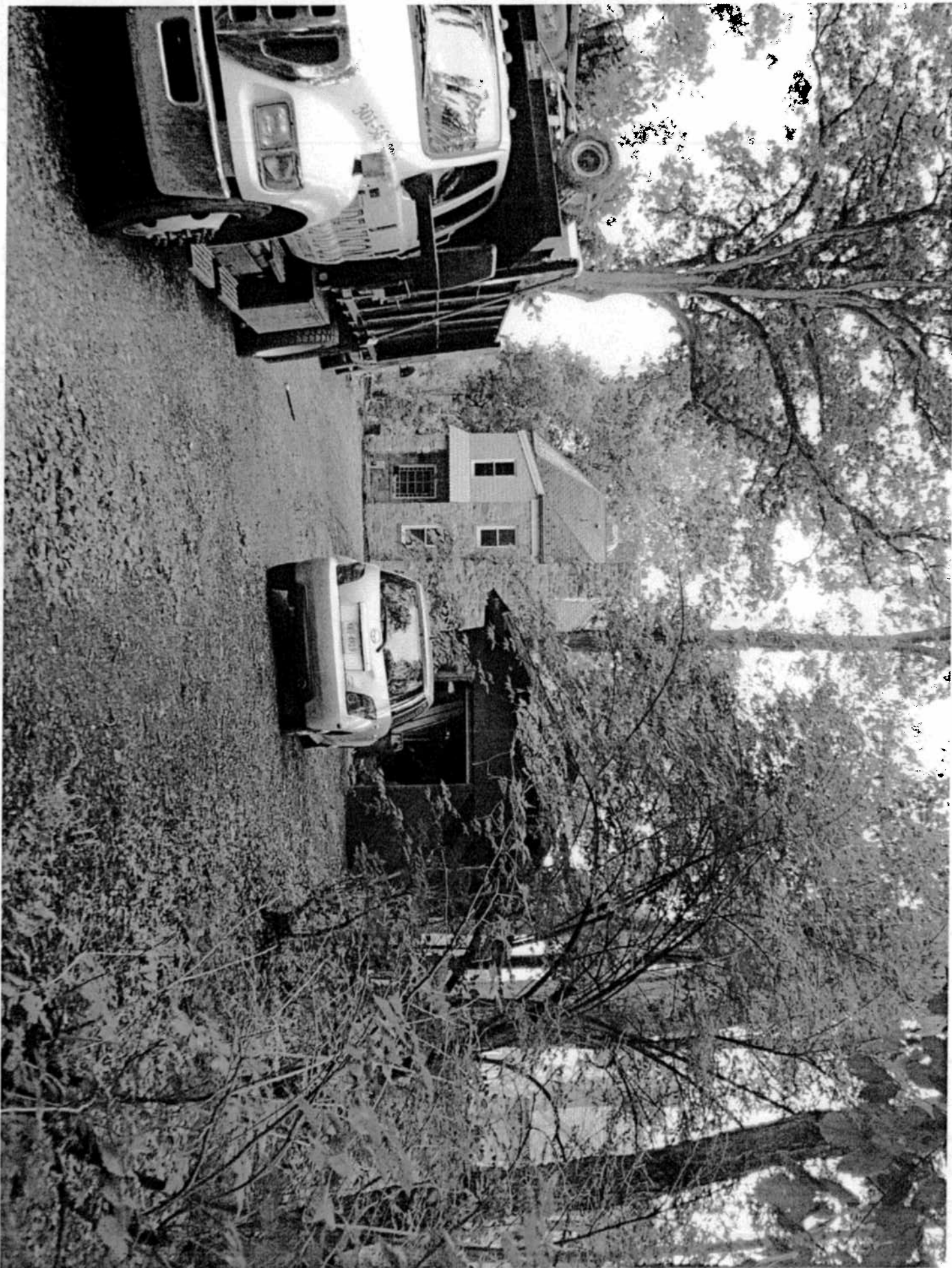
LOOKING EAST HOUSE TO NEW GARAGE LOCATION







P.A. CHARLES CASTLE



FROM MOHICAN DRIVE





R.A. CHARLES CASTLE (REAR) AND BALZLEY CASTLE (BACKGROUND)