

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7617 Takoma Ave., Takoma Park	Meeting Date:	6/12/2019
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	6/5/2019
Applicant:	Richard and Sherry Weil	Public Notice:	5/29/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-19Z	Staff:	Michael Kyne
PROPOSAL:	Hardscape alterations and window well		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: 1937

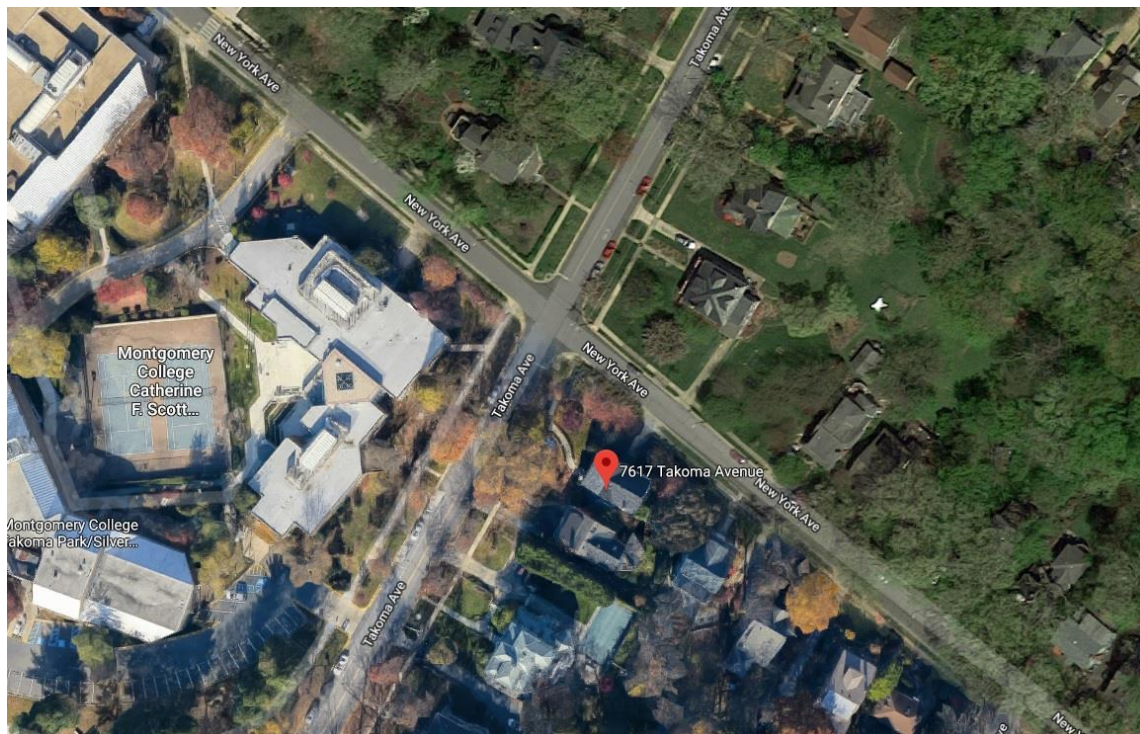


Fig. 1: Subject property.

PROPOSAL:

The applicant proposes the following work items at the subject property:

- Remove portions of an existing brick retaining wall at the right side of the existing driveway.
- Construct new brick retaining walls to match the height of the existing retaining walls (5'), converting an existing window well to a 6' x 9' areaway with permeable brick paver surface.
- Convert an existing basement-level window opening to a door.
- Install safety railings on top of the new retaining walls.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The Guidelines contain the following statements pertaining to Non-Contributing/Out-of-Period Resources:

- Non-Contributing/Out-of-Period Resources are either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review.
- Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Sec. 24A-8. Same-Criteria for issuance.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Standards 2, 9, and 10 most directly apply to the application before the Commission:

#2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

STAFF DISCUSSION:

The subject property is a Colonial Revival-style Non-Contributing Resource within the Takoma Park Historic District, which was constructed in 1937. The house is on a corner lot, with its front facing Takoma Avenue to the northwest and its left side (as viewed from the front) facing New York Avenue to the northeast. There is an existing driveway bordered by brick retaining walls at the left (northeast) side of the house.

The applicant proposes to convert an existing window on the left (northeast) side of the house into a basement-level entrance. Specifically, the applicants propose the following work items:

- Remove portions of an existing brick retaining wall at the right side of the existing driveway.
- Construct new brick retaining walls to match the height of the existing retaining walls (5’), converting an existing window well to a 6’ x 9’ areaway with permeable brick paver surface.
- Convert an existing basement-level window opening to a door.
- Install safety railings on top of the new retaining walls.

Staff finds that the proposed alterations will not affect the surrounding streetscape and/or landscape and will not impair the character of the historic district as a whole, in accordance with the *Guidelines*. Additionally, staff finds that the proposal will not remove or alter historic character-defining features, in accordance with the *Standards*.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

OPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

875858

Contact Email: Wei188@verizon.net Contact Person: Richard Weil
Tax Account No.: 079-40-3813 Daytime Phone No.: 301.717.6841
Name of Property Owner: Richard and Sherrill Weil Daytime Phone No.: 301.717.6841
Address: 7617 Takoma Park Takoma Avenue 20912
Street Number City Street Zip Code
Contractor: A&A Landscape Hardscape, LLC Phone No.: 242.464.0561
Contractor Registration No.: #112156
Agent for Owner: Dwight - Richard Weil Daytime Phone No.: 301.717.6841

LOCATION OF BUILDING/PREMISE

House Number: 7617 Street: Takoma Avenue
Town/City: Takoma Park, MD. Nearest Cross Street: NEW YORK AVENUE
Lot: 21 Block: 74 Subdivision: NORTH TAKOMA
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Blaze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☒ Other: RETAINING WALL

1B. Construction cost estimate: \$ 8,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5' feet 0" inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

MAY 14, 2019
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING BRICK RETAINING WALL & DRIVEWAY ABUTTING RED BRICK
COLONIAL RESIDENCE. GRADE FROM WINDWARD IS WINDWARD WELL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCT APPROXIMATELY 6' X 9" CURB FOOTPRINT WITH
RED BRICK RETAINING WALL OFF OF EXISTING DRIVEWAY
RETAINING WALL W/ BRICK PAVING, PERMEABLE SURFACE.
CONSTRUCT GRADE FROM EXPOSURE @ EXISTING WINDWARD WELL.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

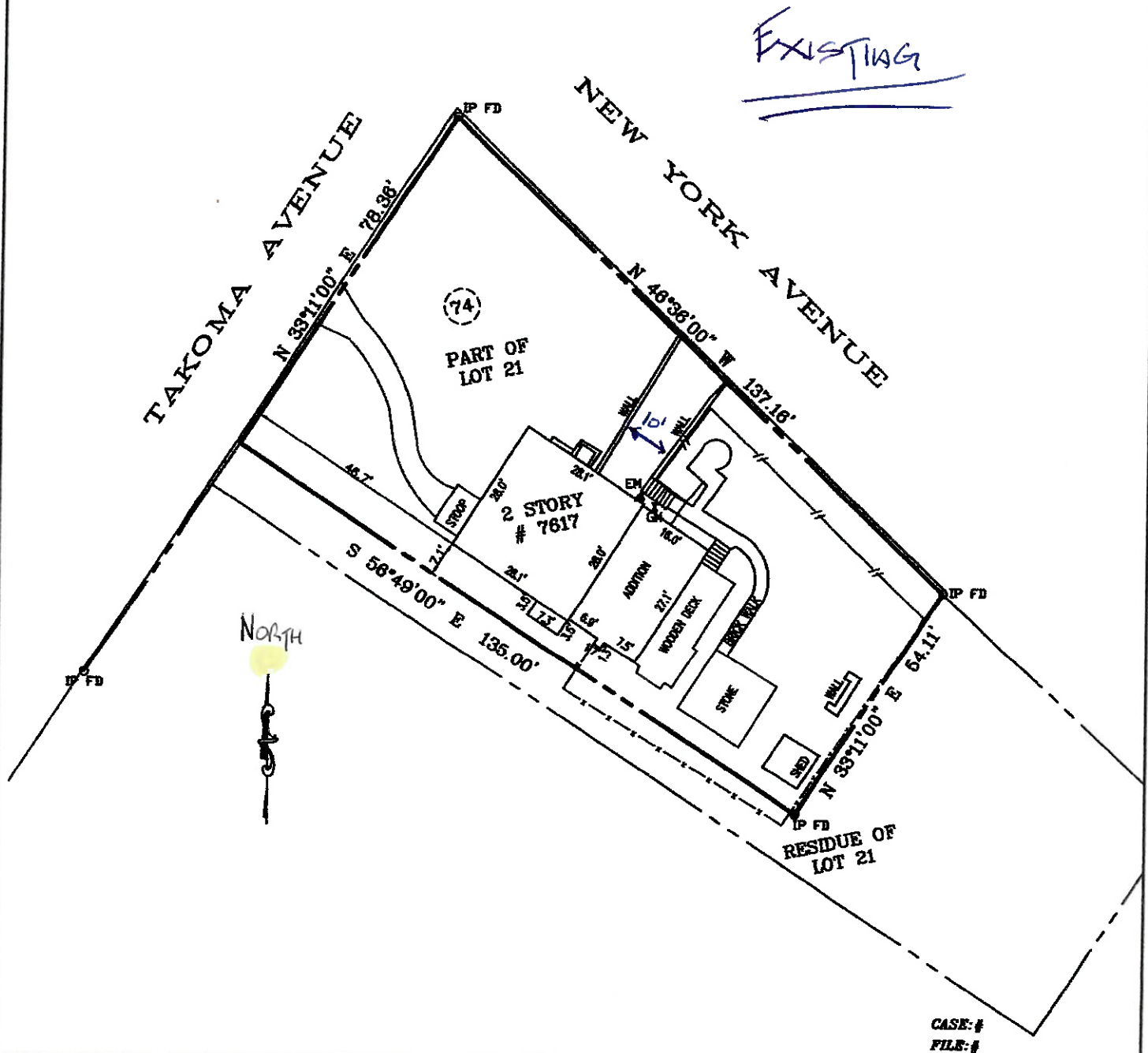
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]


<p>Owner's mailing address Richard D. Well, 7617 TAKOMA AVENUE, TAKOMA PARK, MD 20912</p>	<p>Owner's Agent's mailing address Richard D. Well 7617 TAKOMA AVENUE TAKOMA PARK, MD. 20912</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Ms. SUSAN ALEXANDER, 7613 TAKOMA AVENUE, TAKOMA PARK MD 20912</p>	<p>MR. AND MRS. RIEMER, 7701 TAKOMA AVENUE, TAKOMA PARK, MD 20912</p>
<p>MUSTGOMENT COLLEGE, 7600 TAKOMA AVENUE TAKOMA PARK, MD 20912</p>	

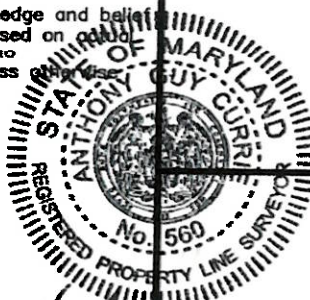
ADDRESS: 7617 TAKOMA AVE
TAKOMA PARK MD 20912



Surveyor's Certificate

I hereby certify to the best of my knowledge and belief that the information shown hereon is based on actual field measurements and that there are no encroachments across the property, unless otherwise shown.


ANTHONY G. CURRIE
SURVEYOR



4/10/19
DATE

CURRIE AND ASSOCIATES CONSULTING

ENGINEERS, SURVEYORS AND PLANNERS

3331 TOLEDO TERRACE, SUITE 105, HYATTSVILLE MD 20782

TEL: (301) 559-0100 FAX: (301) 559-1700

EMAIL: TCCURRIE@AOL.COM

BOUNDARY AND LOCATION SURVEY
PART OF LOT 21 BLOCK 74

NORTH TAKOMA

PLAT No. 103

MONTGOMERY COUNTY, MARYLAND

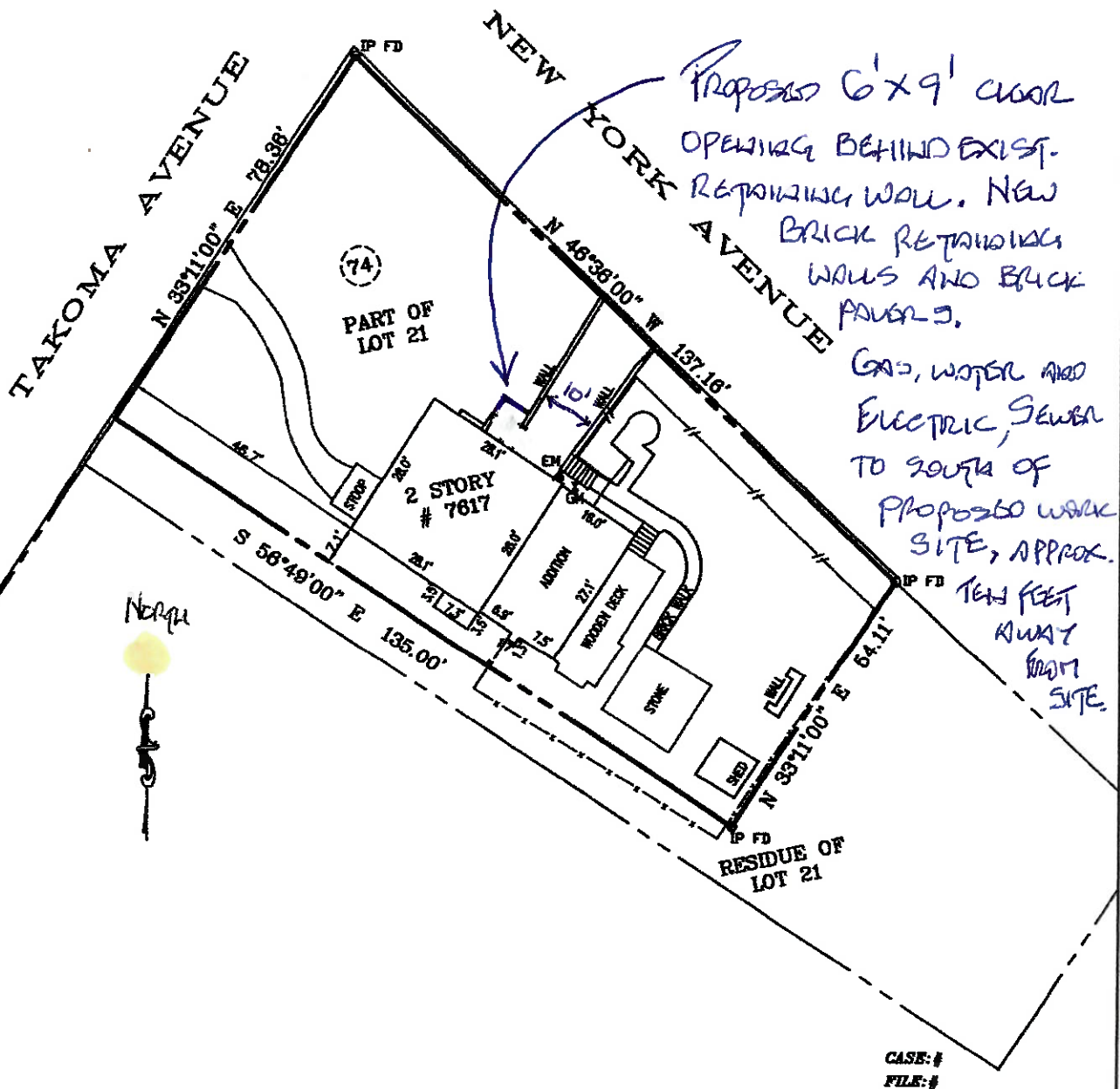
SCALE: 1" = 30'

DATE: 4/10/2019

ADDRESS: 7617 TAKOMA AVE
TAKOMA PARK MD 20912

04/10/2019

New Trench Cans Enclosure
& Grates. from Entrance.



Surveyor's Certificate

I hereby certify to the best of my knowledge and belief that the information shown hereon is based on actual field measurements and that there are no encroachments across the property, unless otherwise shown.



CURRIE AND ASSOCIATES CONSULTING

ENGINEERS, SURVEYORS AND PLANNERS

3331 TOLEDO TERRACE, SUITE 105, HYATTSVILLE MD 20782

TEL: (301) 559-0100 FAX: (301) 559-1700

EMAIL: YCCURRIE@AOL.COM

BOUNDARY AND LOCATION SURVEY
PART OF LOT 21 BLOCK 74

NORTH TAKOMA

PLAT No. 103

MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 30'

DATE: 4/10/2019

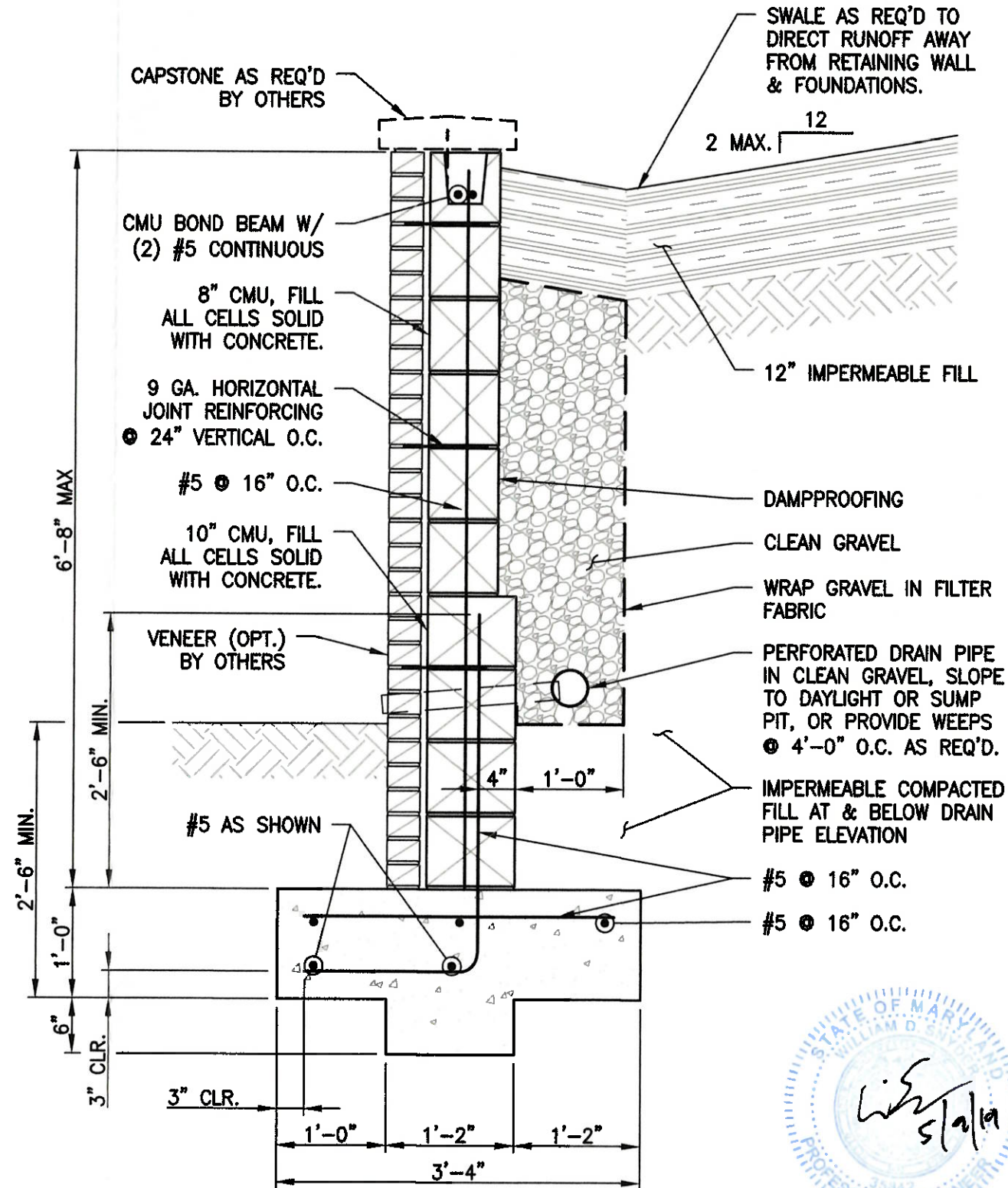
ANTHONY G. CURRIE
SURVEYOR

GENERAL

- 1) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
- 2) NOTES AND DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
- 3) ALL WORK SHALL BE IN ACCORDANCE WITH THE MORE STRINGENT REQUIREMENTS OF THE MINIMUM STANDARDS LISTED IN THE GOVERNING CODE OR AS INDICATED HEREON. THE GOVERNING CODE SHALL BE THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- 4) COORDINATE THESE DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL REQUIREMENTS WITH REGARD TO DIMENSIONS, OPENINGS, LOCATION OF EQUIPMENT, ETC.
- 5) THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION, INCLUDING DE-WATERING AND ALL BRACING AND SHORING REQUIRED TO RESIST THE ACTUAL CONSTRUCTION LOADS.
- 6) ASTM SPECIFICATIONS LISTED SHALL BE THE LATEST EDITION.
- 7) DESIGN LOADS:
LIVE LOAD VERTICAL SURCHARGE 40 PSF
ACTIVE SOIL PRESSURE 40 PSF/FT

MINIMUM MATERIAL REQUIREMENTS

- 1) NO SUBSURFACE EXPLORATION HAS BEEN PERFORMED. THE FOUNDATION SOIL IS ASSUMED TO HAVE A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF, A PASSIVE SOIL PRESSURE OF 300 PSF/FT, AND A COEFFICIENT OF FRICTION OF 0.33.
- 2) CONCRETE FOR FOOTINGS & CORE-FILLING OF CMU SHALL ACHIEVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF $f_c' = 3,000 \text{ psi}$. CONCRETE SHALL BE DESIGNED, MIXED, TRANSPORTED, AND PLACED AS REQUIRED TO ACCOMMODATE THE CONDITIONS OF THE SITE, SOIL, AND WEATHER FROM TIME OF PLACEMENT TO 7-DAYS AFTER PLACEMENT.
- 3) REINFORCEMENT SHALL CONFORM TO ASTM A615 GRADE 60. REINFORCEMENT BENDS SHALL BE MADE COLD AND IN CONFORMANCE WITH THE ACI 318.
- 4) CONCRETE BLOCK SHALL BE HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. CMU CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TMS 402/602. MORTAR SHALL BE TYPE 'S' AND SHALL ATTAIN A 28-DAY COMPRESSIVE STRENGTH OF 2,000psi.
- 5) SEALANTS & SEALERS, INCLUDING DAMP-PROOFING, SHALL BE APPLIED TO CLEAN AND COMPETENT MATERIALS IN ACCORDANCE WITH ALL MANUFACTURER INSTRUCTIONS AND SPECIFICATIONS.



1
S3
WALL SECTION
3/4"=1'-0"

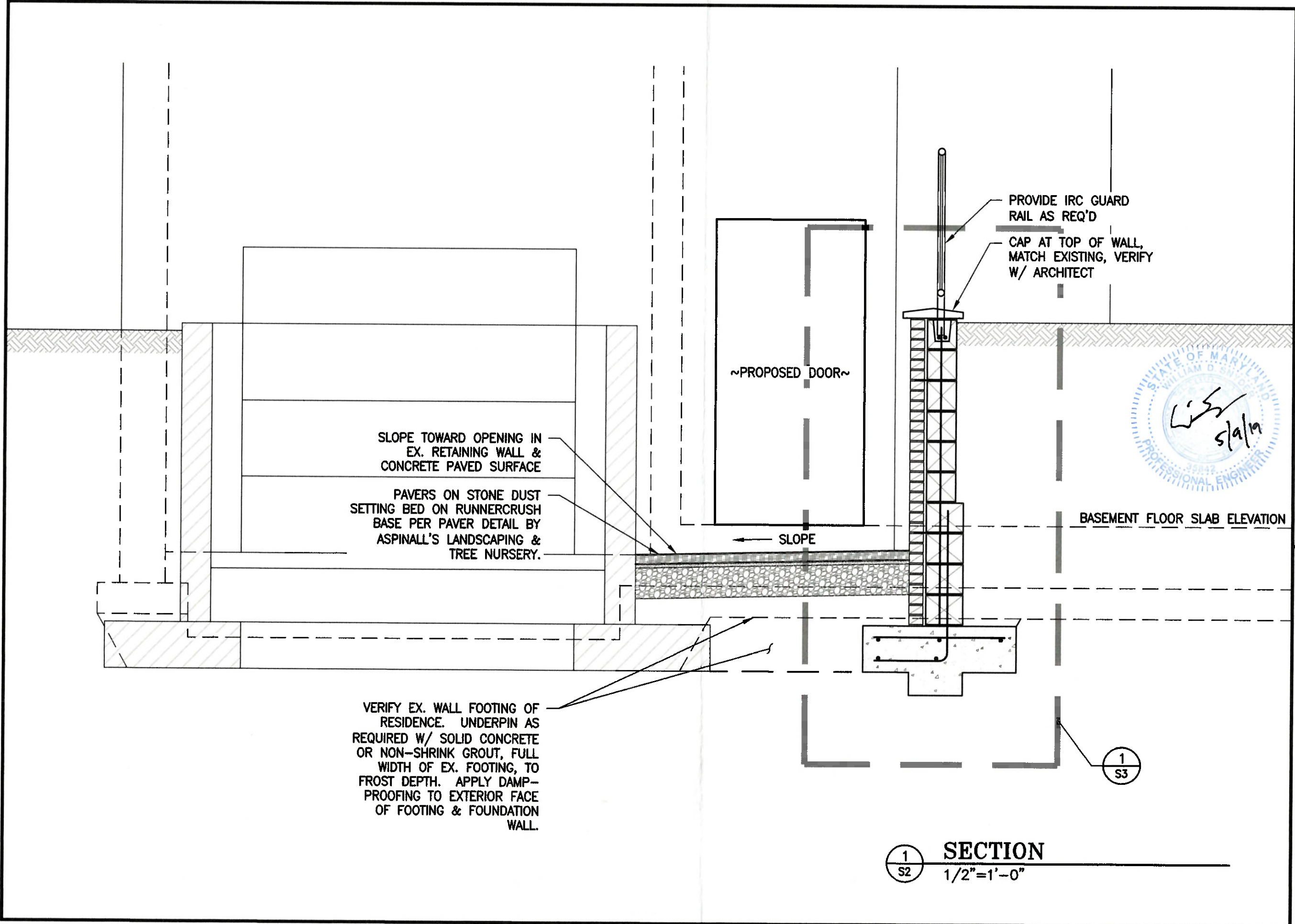
SNYDER ENGINEERING, LLC
WILLIAM D. SNYDER, P.E., M.ENG., M.B.A.

P.O. Box 4955
Hagerstown, Maryland 21740
240-818-5712
www.snyder-e.com

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE: 35842
EXPIRES: 16 JUNE 2019

Proposed Retaining Walls for
Richard Weil
7617 Takoma Avenue
Takoma Park, Maryland

PROJECT #	19096	DRAWN BY	WDS	DATE	9 MAY '19	SHEET #	S3
-----------	-------	----------	-----	------	-----------	---------	----



SNYDER ENGINEERING, LLC WILLIAM D. SNYDER, P.E., M.ENG., M.B.A. P.O. Box 4955 Hagerstown, Maryland 21740 240-818-5712 www.snyder-e.com	9 MAY '19	SHEET # S2
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE: 35842 EXPIRES: 16 JUNE 2019	DATE	WDS
Proposed Retaining Walls for Richard Weil 7617 Takoma Avenue Takoma Park, Maryland	DRAWN BY 19096	PROJECT # 19096



~EX. CONCRETE DRIVEWAY~

SEGMENT OF EX. RETAINING
WALL TO BE REMOVED
EX. RETAINING WALL FTG.
VERIFY IN FIELD.

POSSIBLE STEP IN WALL
FOOTING TO ENSURE FROST
DEPTH AT GARAGE DOOR,
VERIFY IN FIELD.

~EX. GARAGE DOOR OPENING~

~NEW DOOR OPENING~

VERIFY DEPTH OF EXISTING FOOTING.
UNDERPIN AS REQUIRED. FROST DEPTH = 30 INCHES.

8'-8" (VERIFY)

6'-0" (VERIFY)

1'-0"

1'-2"

3'-4" FTG.

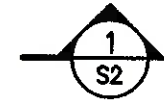
2" WEEP DRAIN PIPES
THROUGH WALL

4"Ø PERFORATED PIPE

CMU RETAINING WALL
W/ 4" BRICK VENEER

NEW RETAINING WALL
SHALL RETAIN A
MAXIMUM UNBALANCED
SOIL HEIGHT OF 5'-6".

1/2" EXPANSION JOINT,
PROVIDE EXPANSION
MATERIAL, BACKER ROD
& SEALANT TO PREVENT
WATER INFILTRATION.



KEY PLAN

1/2"=1'-0"

Proposed Retaining Walls for
Richard Weil
7617 Takoma Avenue
Takoma Park, Maryland

I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND
LICENSE: 35842
EXPIRES: 16 JUNE 2019

SNYDER ENGINEERING, LLC
WILLIAM D. SNYDER, P.E., M.ENG., M.B.A.
P.O. Box 4955
Hagerstown, Maryland 21740
240-818-5712
www.snyder-e.com

PROJECT #

19096

DRAWN BY

WDS

DATE

9 MAY '19

SHEET #

S1

7617 TAKOMA AVENUE
North Elevation from New York Ave.



2019

North Elevation - Proposed Trench Cais Enclosure - Gravel Floor Entrance



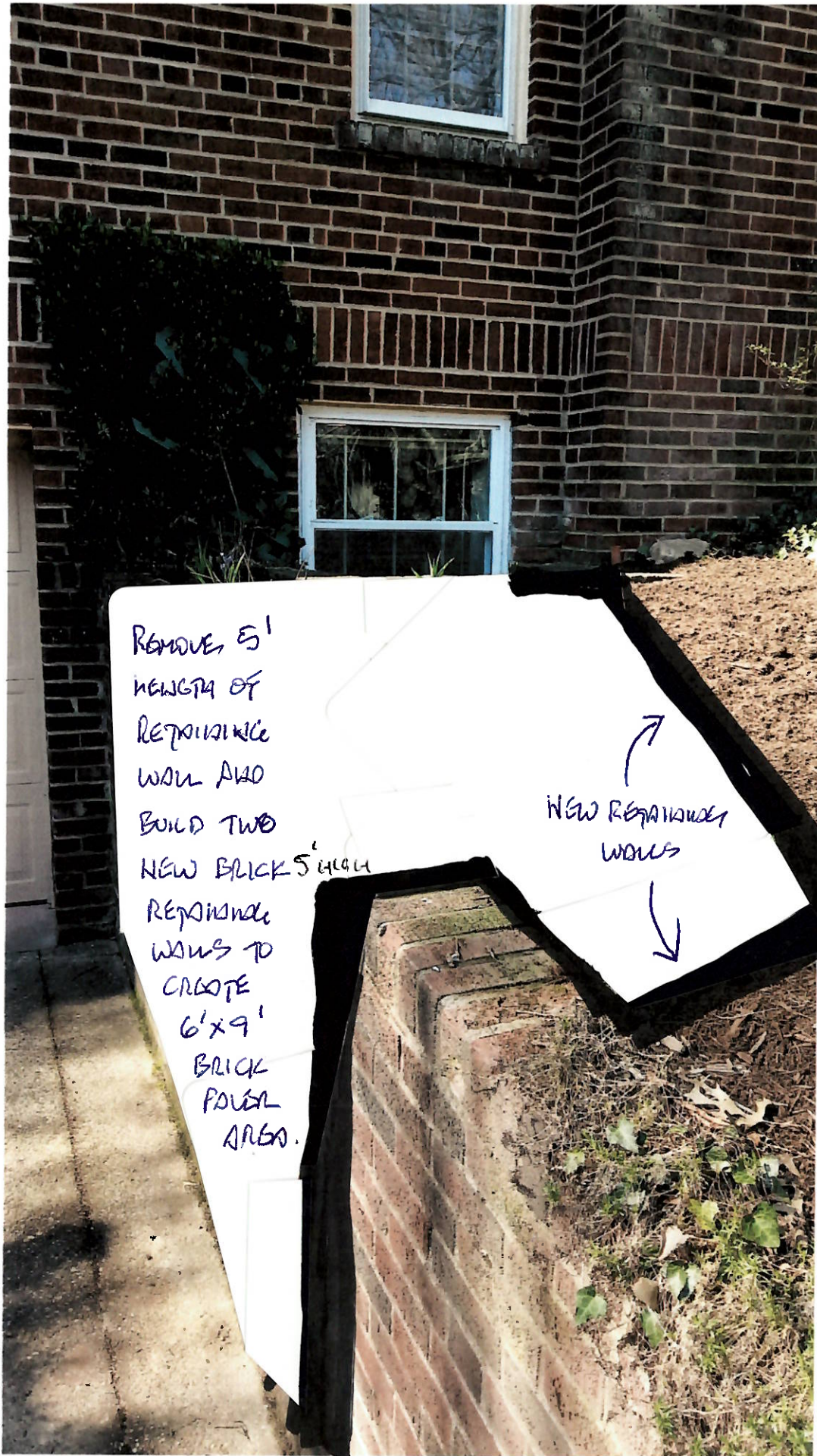
3049

NORTH ELEVATION - PROPOSED TROSBY CAR ENCLOSURE - GRASS. FRONT ENTRANCE @ RIGHT RETAINING WALL. WALL.





West Elevation — Ripon area wall and steps opposite proposed work area



Napa Elevations - Proposed Work Area

REMOVE 5'
HEIGHT OF
REPAIRING
WALL AND
BUILD TWO
NEW BRICK 5'
HIGH
REPAIRING
WALLS TO
CREATE
6'x9'
BRICK
PAVEMENT
AREA.

NEW REPAIRING
WALLS

6302



North West View - Proposed Water Area

North Elevator

Proposed Work Area



Box 9

NORTH WEST ELEVATION - PROPOSED WORK AREA



City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

April 11, 2019

To: Property Owner: **Richard Weil**

To: Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166 Fax 240-777-6398; 240-777-6262; 240-777-6223

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative/email: Richard Weil, weil88@verizon.net
Location of Project: 7617 Takoma Avenue, Takoma Park MD 20912
Proposed Scope of Work: Trashcan Enclosure, Ground FI Entrance, Interior/Exterior Renovations

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park



The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 5/8" in diameter or greater), located on the property or on an adjacent property, may require a Tree Impact Assessment and Tree Protection Plan. Make sure to submit a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree will be impacted by the proposed construction. The removal of any urban forest tree will require a tree removal application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits/> The City's Urban Forest Manager can be reached at 301-891-7612 or janvz@takomaparkmd.gov

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see <https://takomaparkmd.gov/services/permits/> or contact the Takoma Park Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.