

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	29 Hesketh St., Chevy Chase	<b>Meeting Date:</b>	5/21/2019
<b>Resource:</b>	Contributing Resource <b>Chevy Chase Village Historic District</b>	<b>Report Date:</b>	5/14/2019
<b>Applicant:</b>	Elizabeth Delgard	<b>Public Notice:</b>	5/7/2019
		<b>Tax Credit:</b>	N/A
<b>Review:</b>	HAWP	<b>Staff:</b>	Michael Kyne
<b>Case Number:</b>	35/13-19P		
<b>PROPOSAL:</b>	Window and door alterations		

---

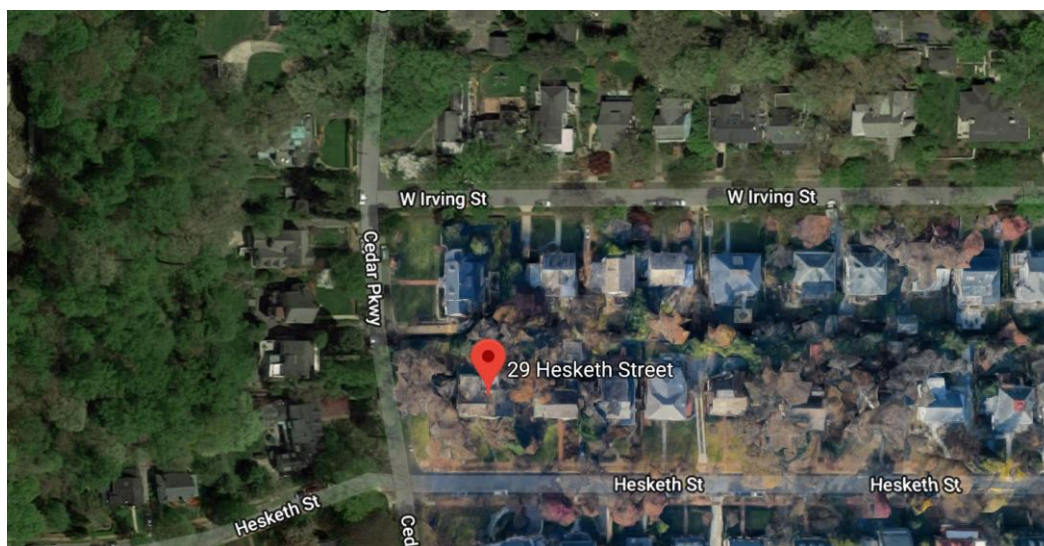
**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve with conditions** the HAWP application.

1. The proposed windows will be wood, not vinyl, with final review and approval delegated to staff.
2. The proposed railings and balusters will be wood, not composite or aluminum, with final review and approval delegated to staff.
3. The proposed stairs and trim will be constructed from wood, not composite materials, with final review and approval delegated to staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1916-1927



*Fig. 1: Subject property.*

## **PROPOSAL**

The applicants propose the following alterations at the subject property:

- Replace the existing doors with windows on the non-historic sunroom at the rear.
- Install stairs and railings from the non-historic sunroom at the rear to grade.
- Install railings on the roof of the non-historic sunroom at the rear, creating a rooftop deck.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District Guidelines***

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

**Decks** should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

**Doors** should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny if they are visible from the public right-of-way. Addition of compatible storm doors should be encouraged.

**Windows** (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny. Addition of compatible exterior storm windows should be encouraged, whether visible from the public right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged. Addition of security bars should be subject to lenient scrutiny, whether visible from the public right-of-way or not.

### ***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

The subject property is on a corner lot, with its front facing Hesketh Street to the south and its left side facing Cedar Parkway to the west. There is a non-historic sunroom in the northeast (rear/right) corner of the property. Although the sunroom is at the rear, it is coplanar with an existing addition in the northwest (rear/left) corner of the property, making the rear elevation of the sunroom visible from the public right-of-way of Cedar Parkway.

The applicant proposes to alter the existing non-historic sunroom in the northeast (rear/right) corner of the property. Specifically, the following alterations are proposed:

- Replace the existing doors with windows on the non-historic sunroom.
- Install stairs and railings from the non-historic sunroom to grade.
- Install railings on the roof of the non-historic sunroom, creating a rooftop deck.

The existing doors of the mudroom are sliding doors, and the proposed replacement windows will be one-over-one vinyl windows to match existing windows on the rear of the historic house. The proposed stairs will be wood or composite, with wood or composite trim. The proposed railings will be wood or composite, with white aluminum balusters.

The *Guidelines* for decks, doors, and windows state that they should be subject to moderate scrutiny, if they are visible from the public right-of-way. As previously note, the sunroom to be altered is visible from the public right-of-way of Cedar Parkway, and the proposal should be reviewed with moderate scrutiny.

According to the *Guidelines*:

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted.

Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style."

Staff finds that, in order to preserve the integrity of the resource, the proposed materials should be compatible with the historic house and surrounding streetscape. Accordingly, staff finds that the proposal should utilize traditional materials or appropriate alternatives, with finishes and aging that is consistent with traditional materials (i.e., wood or appropriate aluminum-clad wood windows, wooden railings with balusters inset between the top and bottom rails, and wooden stairs and trim). Staff recommends the following conditions of approval, ensuring that the proposal will not alter character-defining features of the surrounding historic district, in accordance with the *Standards*:

1. **The proposed windows will be wood, not vinyl, with final review and approval delegated to staff.**
2. **The proposed railings and balusters will be wood, not composite or aluminum, with final review and approval delegated to staff.**
3. **The proposed stairs and trim will be constructed from wood, not composite materials, with final review and approval delegated to staff.**

After full and fair consideration of the applicant's submission staff finds the proposal, as modified by the conditions, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* and *Chevy Chase Village Historic District Guidelines* outlined above.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with conditions** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal, as modified by the conditions, is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: edalgard@gmail.com Contact Person: Elizabeth Dalgard  
Tax Account No.: \_\_\_\_\_ Daytime Phone No.: 301.807.7336  
Name of Property Owner: Elizabeth Dalgard Daytime Phone No.: 301.807.7336  
Address: 29 Cherry Chase Hesketh 70815  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Shahnuw Boston Daytime Phone No.: 202.361.8811

## LOCATION OF BUILDING/PROJECT

House Number: 29 Street: Hesketh  
Town/City: Cherry Chase Village Nearest Cross Street: Cedar Plany  
Lot: 8 Block: 29 Subdivision: Sec 2 Cherry Chase  
Liber: 51319 Folio: 0134 Parcel: 0000

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☒ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☒ Other: Window Railing

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

4.30.19  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The property is located within Chevy Chase Village Historic District, developed between 1897 and 1930. The property is in a corner lot, its front facing Hesketh St and side facing Cedar Plany. The asymmetrical front facade is composed of a primary and secondary volumes. The primary volume presents a symmetrical window and under a steep gable roof. The secondary volume was designed to be subordinate to the primary volume with a Dutch roof making it look shorter than the primary volume. The side to Cedar Plany has two garage doors. In the rear there is a sunroom that is not part of the original house. It isn't visible. The project replaces the ~~sunroom~~ doors at the sunroom with windows, adds a stair from the sunroom to the back yard and adds railing on the roof deck above the sunroom. These renovations are mostly done for safety ~~and~~ reasons. None of the new work will be visible from Hesketh St. or Cedar Plany.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district visible.

**2. SITE PLAN** ✓

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date; ✓
- b. dimensions of all existing and proposed structures; and ✓
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS** ✓

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  ELIZABETH DALGARD                  29 HESKETH ST.                  CHEVY CHASE MD 20815                  (corner lot)</p>	<p><b>Owner's Agent's mailing address</b>                  AXIS ARCHITECTS                  702 CARTER RD.                  ROCKVILLE MD 20852</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Louisa Bullard                  27 Hesketh St.                  Chevy Chase, MD 20815                  adjacent</p>	<p>Jonathan Tucker                  30 Hesketh St.                  Chevy Chase MD 20815                  across the street</p>
<p>Danrel Crocker                  5804 Cedar Plwy                  Chevy Chase MD 20815                  across the street</p>	

APPLICANT : ELIZABETH DALGARD  
29 HESKETH ST.  
CHEVY CHASE, MD 20815

ARCHITECT: SHAHNUR BOSTAN  
AXIS ARCHITECTS  
702 CARTER ROAD  
ROCKVILLE MD 20852  
P: 202.361.8811  
E-MAIL: sbostan@axis-architects.com

**PROJECT NARRATIVE**

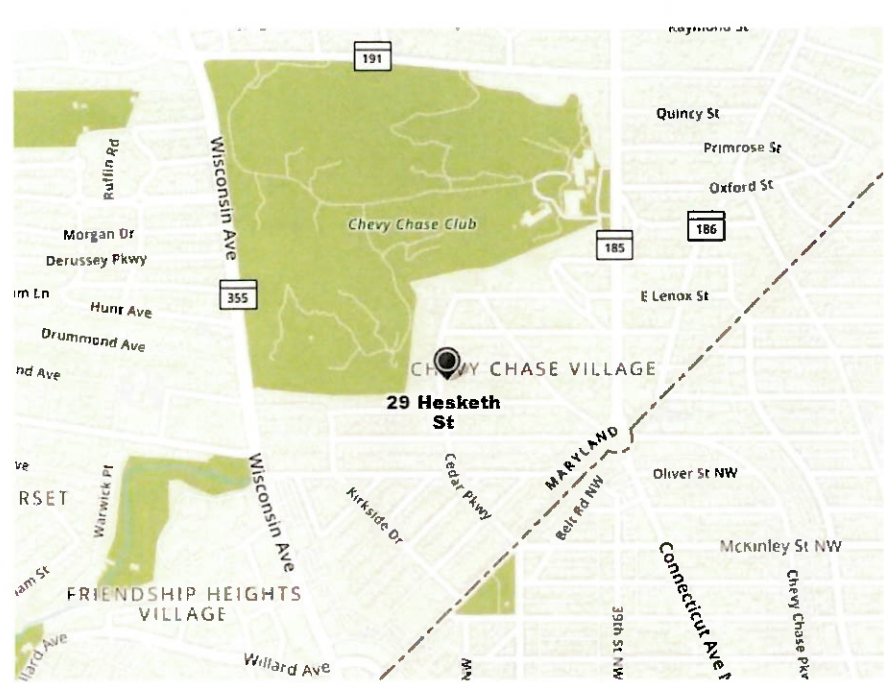
Project is for remodeling of house in R-60 zone. Scope includes the replacement of existing sliding doors with single hung windows in the sunroom, adding a small landing with stairs to grade at rear, and adding railing to the existing roof deck above sunroom. The renovations are done mostly for safety reasons since the owner has two young kids and the doors at the sunroom and not having a railing at the roof deck cause safety problems. The existing sunroom is not visible from the street and completely sheilded from view. Existing back facade of house is not of historic character.

EXTERIOR PHOTOS



VIEW FROM HESKETH STREET

VACINITY MAP

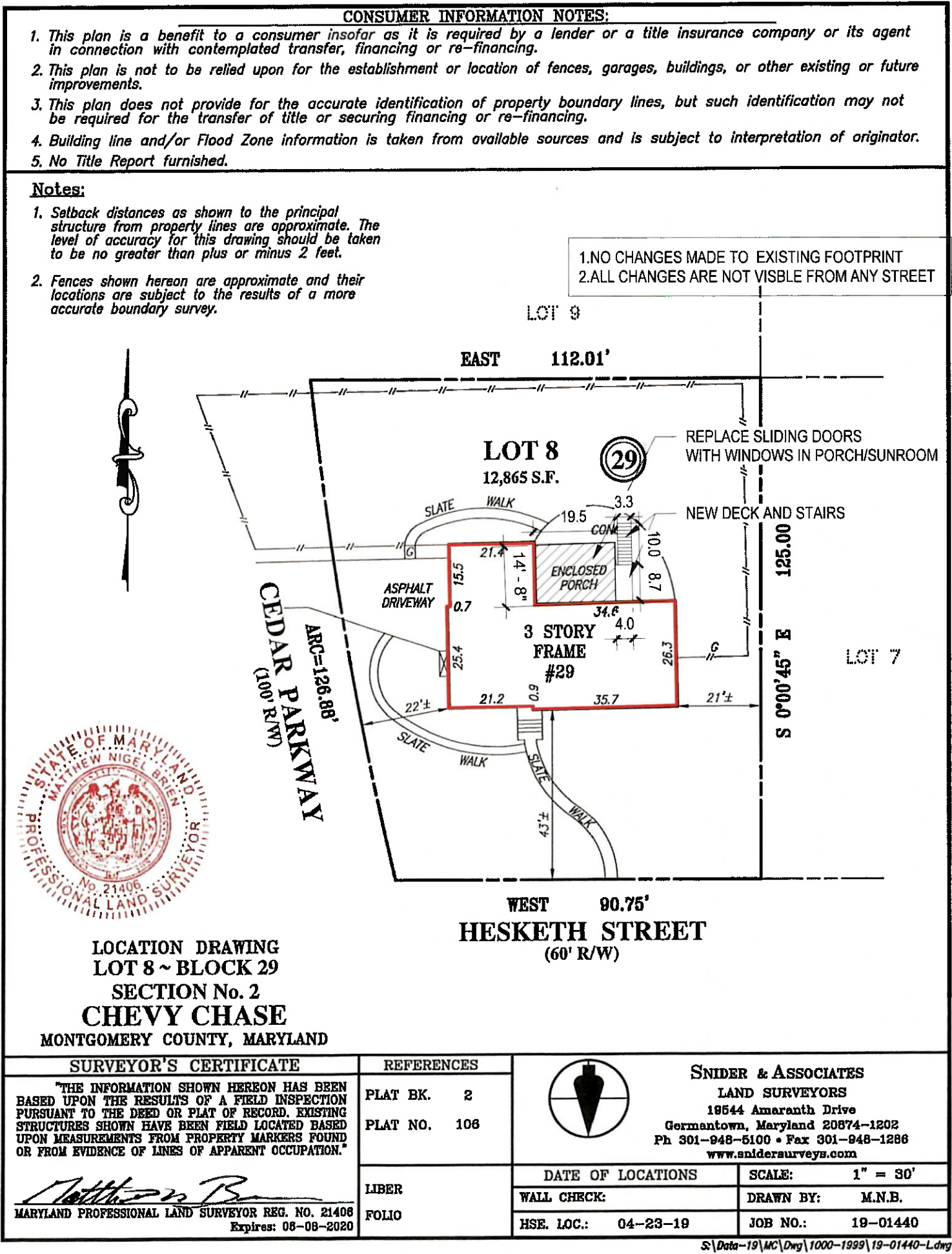


VIEW AT THE CORNER OF HESKETH AND CEDAR



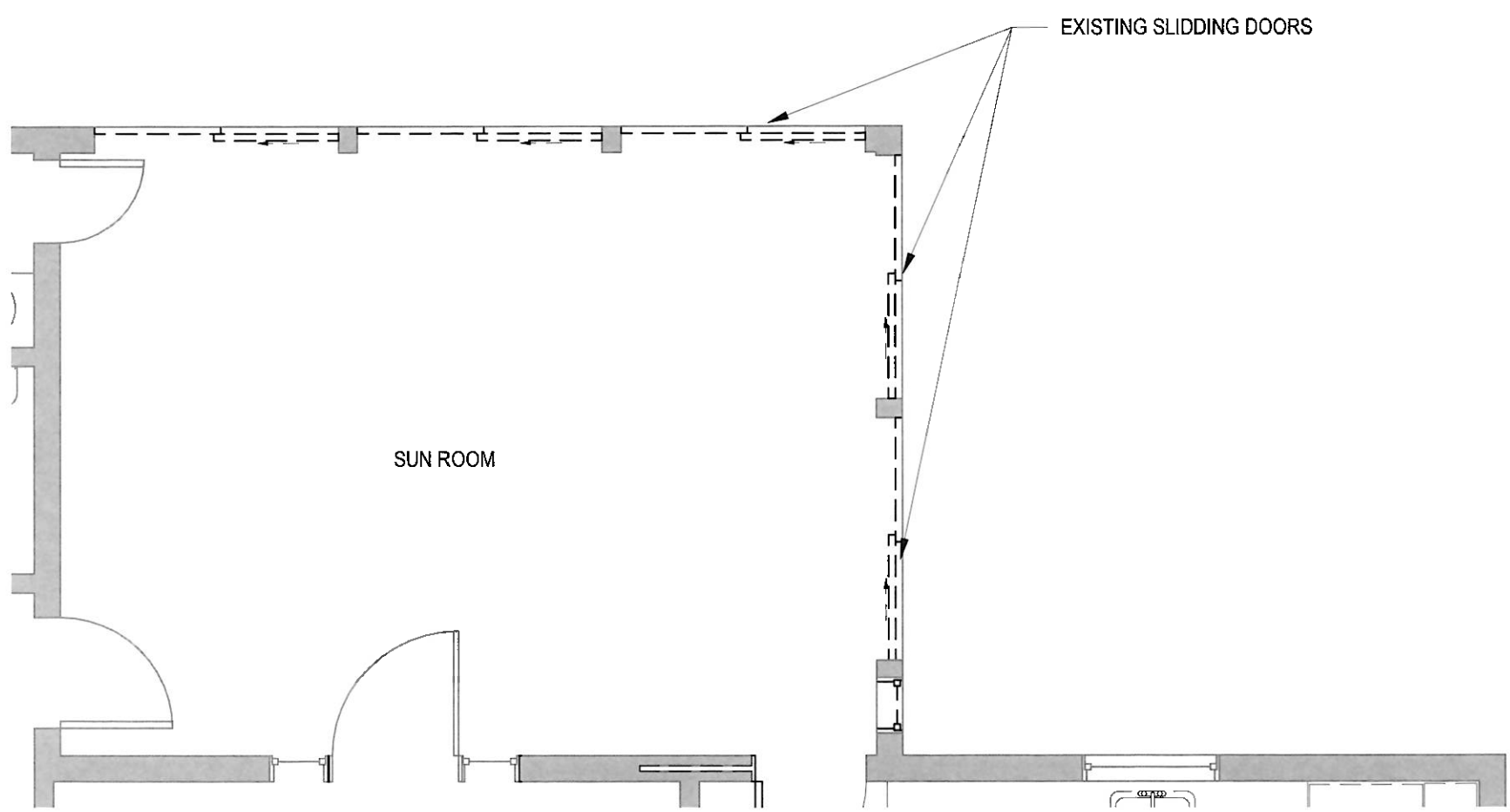
VIEW FROM CEDAR PARKWAY





**1 SITE PLAN**

A301	A 003	1" = 30'-0"
------	-------	-------------



**1** 1ST FLOOR DEMO SUNROOM

A301	A 004	1/4" = 1'-0"
------	-------	--------------



702 Carter Road  
Rockville MD 20852  
P:202.361.8811  
sbostan@axis-architects.com

HESKETH STREET  
29 HESKETH ST. CHEVY CHASE, MD 20815  
APPLICANT: ELIZABETH DELGARD  
HISTORIC AREA WORK APPLICATION

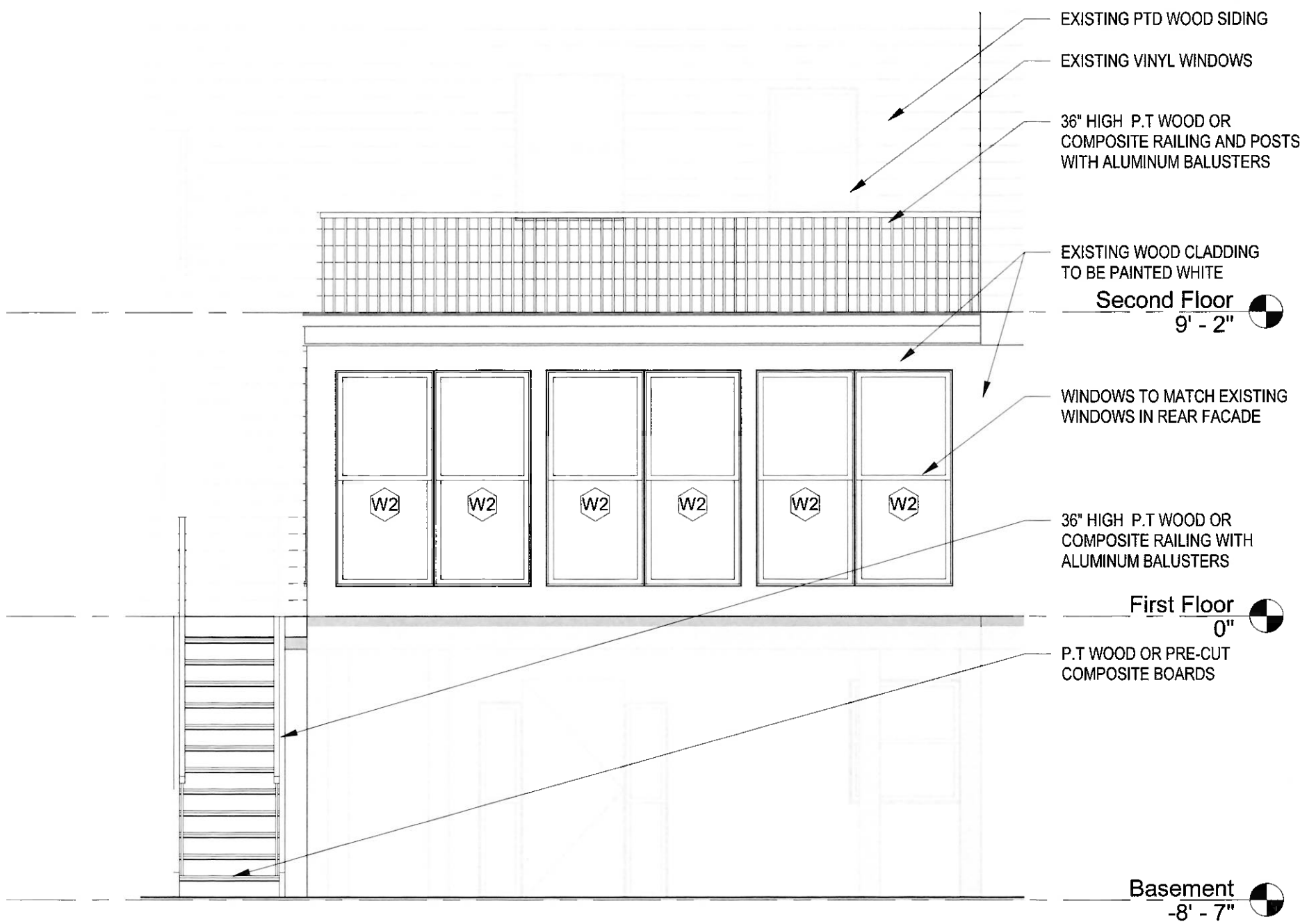
04/30/19

**A 004**  
4.29.2019



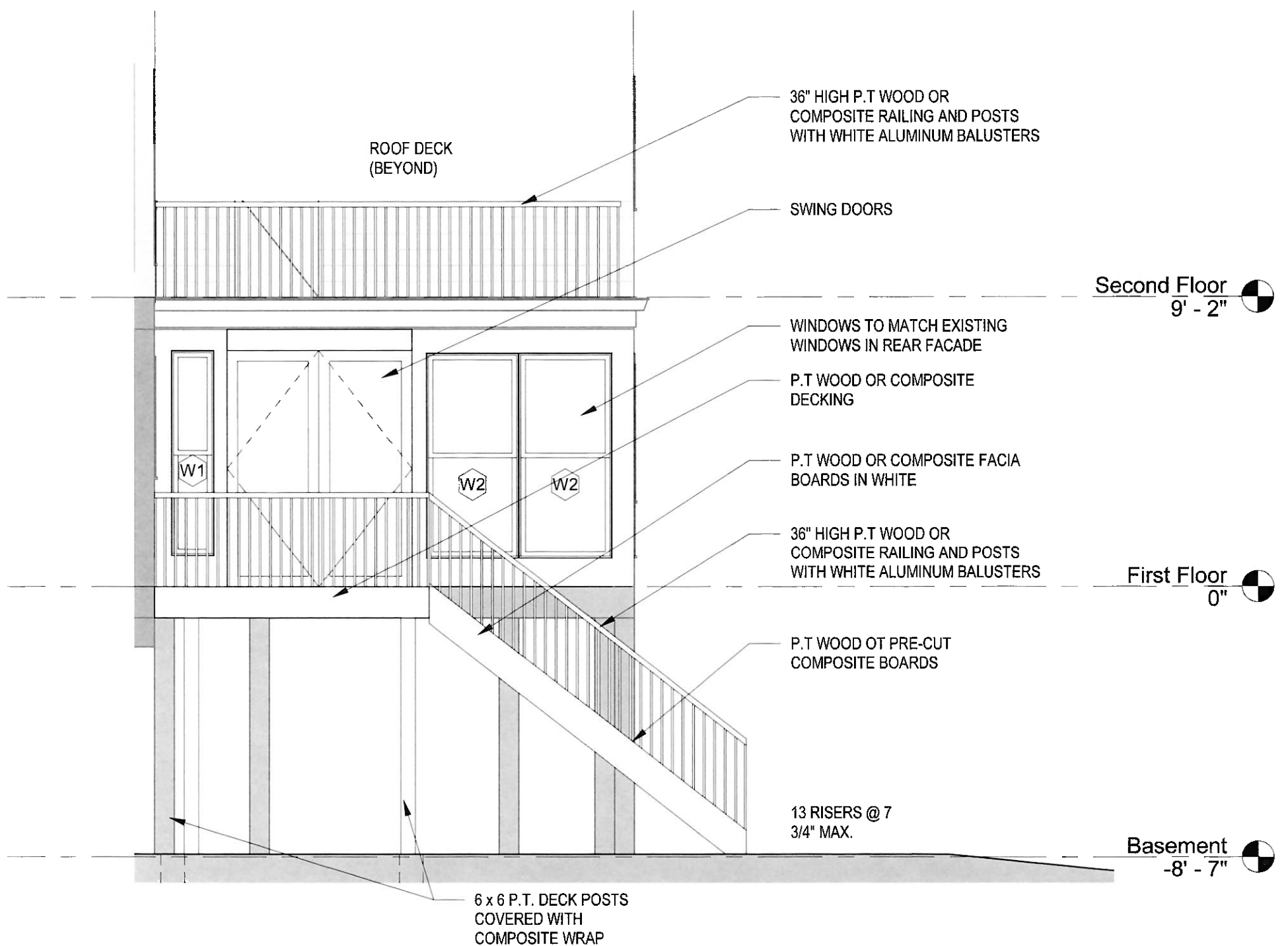
## 2 WINDOW SCHEDULE

13



# 1 ELEVATION SUNROOM

A101 A 006 1/4" = 1'-0"



# 1 ELEVATION LANDING AND STAIRS 2

A101 A 007 1/4" = 1'-0"