

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---|--|-----------------------|--------------|
| Address: | 30 West Kirke St., Chevy Chase | Meeting Date: | 5/21/2019 |
| Resource: | Contributing Resource (Chevy Chase Village Historic District) | Report Date: | 5/14/2019 |
| Applicant: | Mary Sheehan and Anthony Marra (Lily Mondroff, Architect) | Public Notice: | 5/7/2019 |
| Review: | HAWP | Tax Credit: | N/A |
| Case Number: | 35/13-190 | Staff: | Michael Kyne |
| PROPOSAL: Porch alterations and new construction | | | |

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application **only** for alterations and new construction on the house at 30 West Kirke Street, excluding any items associated with the demolition of the existing garage and construction of a new garage.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: c. 1927-1941

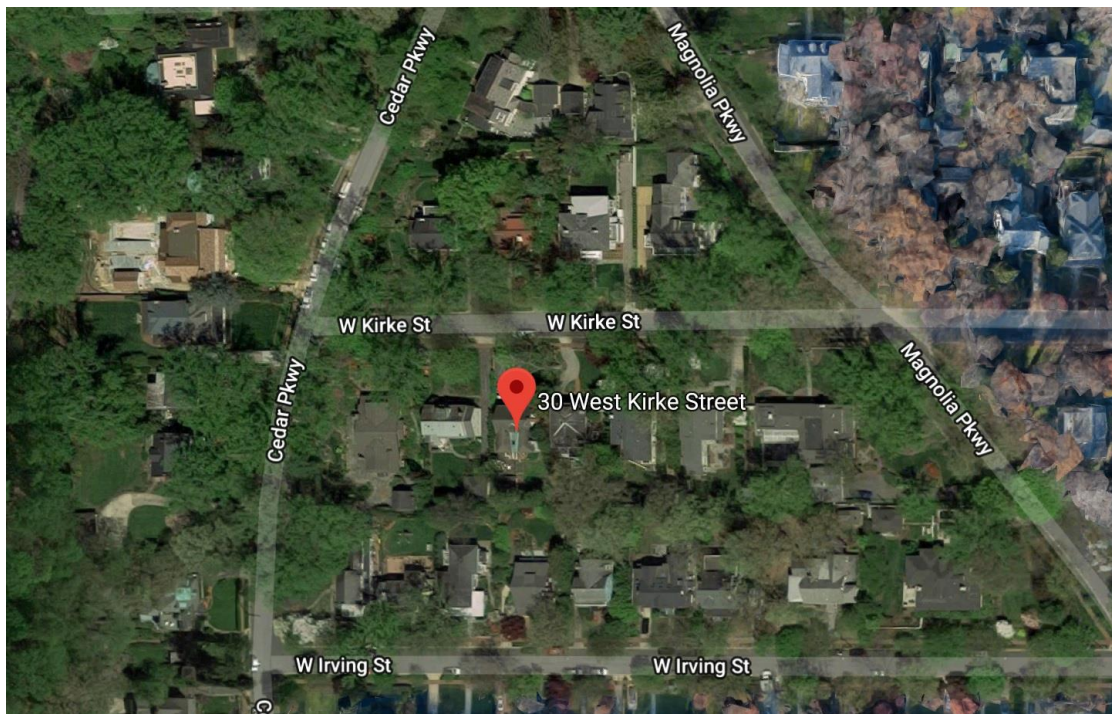


Fig. 1: Subject property.

PROPOSAL

The applicants propose front porch alterations and new construction at the subject property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources they should be subject to strict scrutiny if they are visible from the public right-of-way.

Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a c. 1927-1941 Colonial Revival-style Contributing Resource within the Chevy Chase Village Historic District. The front of the house faces West Kirke Street to the north and has a moderate setback from the street. The house has experienced previous alterations, including front porch replacement, the installation of aluminum siding to the historic house, and the construction of a c. 1991 rear addition.

The applicant proposes the following work items at the subject property:

Front Porch Replacement

- The existing front porch is a non-original side-loaded brick and concrete open stoop with ornate iron railing.
- The proposed new porch will be a brick front-loaded porch, with wood columns, entablature, and rooftop railing.

New Front Dormers

- Three new dormers are proposed at the front of the house.
- The dormers will have wood siding and pilasters, asphalt shingles, and arched 6-over-6 wood windows.

Rear Mudroom and Screened Porch

- There are two sets of existing non-historic wood steps and railings at the rear, which date to or after the 1991 rear addition.
- The existing non-historic steps and railings will be removed to accommodate the proposed new mudroom and screened porch.
- The proposed new one-story mudroom will be in the southwest (rear/right) corner of the house, and it will coplanar with the existing rear addition (which is coplanar with the historic house).
- The mudroom will have fiber cement siding, a wood porch/steps with brick piers, and two 6-over-6 aluminum-clad wood windows (one on the rear and one on the west side).

- The proposed new screened porch will in the southeast (rear/left) corner of the house, and it will be inset 1'-2" from the east side of the existing rear addition.
- The porch will be constructed from wood, with screening on the first-floor and a wood rooftop railing to match that proposed for the roof of the new front porch.

It should be noted that while the submitted drawings include the demolition of an existing garage and construction of a new garage, that proposal is incomplete, and, therefore this HAWP application and recommendation is NOT considering any of the elements associated with the garage including any associated gates and fencing as shown on the current plans.

Staff finds that much of the proposed work – including the proposed front porch replacement, new front dormers, and rear mudroom – will be at least partially visible from the public right-of-way. In accordance with the *Guidelines*, staff finds that the proposed work items should be reviewed with moderate scrutiny. As noted above, the *Guidelines* state:

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

The proposed rear screened porch will not be visible from the public right-of-way, and, in accordance with the *Guidelines*, it should be reviewed with lenient scrutiny. The *Guidelines* state:

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

Staff finds that the proposed new front porch and front dormers are compatible with the Colonial Revival-style of the historic house. While the proposed mudroom will be coplanar on the west side, it will be at the rear of an existing rear addition. Staff finds that the existing rear addition provides sufficient differentiation between the new construction and the historic house. The proposed screened porch is compatible with the style, scale, and massing of the historic house.

The proposed features and materials are compatible with the subject property and surrounding streetscape. The proposed alterations are designed so that the property will still contribute to the historic district, in accordance with the *Guidelines*. Additionally, the proposal will not remove or alter character-defining features of the subject property, in accordance with the *Standards*.

After full and fair consideration of the applicant’s submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior’s Standards for Rehabilitation #2, 9, and 10*, and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not

substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: LMUNDROFF@BRENNANARCH.COM Contact Person: LILI MUNDROFF
Daytime Phone No.: 410.313.8310 extension 103
Tax Account No.: 00454798
Name of Property Owner: MARY SHEEHAN and ANTHONY MARRA Daytime Phone No.: 301.461.4654
Address: 30 WEST KIRKE STREET CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor: TRIUMPH CUSTOM HOMES Phone No.: 301.657.1112
Contractor Registration No.: MHIC 48549
Agent for Owner: LILI MUNDROFF brennan + company architects Daytime Phone No.: 410.313.8310 extension 103
803 oella avenue
ellicott city md 21043

LOCATION OF BUILDING PERMITS

House Number: 30 Street WEST KIRKE STREET
Town/City: CHEVY CHASE Nearest Cross Street CEDAR PARKWAY
Lot: P9 Block: 32 Subdivision: 0009
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF REMEDIATION AND USE

1A. CHECK ALL APPLICABLE:

☒ Construct ☐ Extend ☒ Alter/Renovate
☐ Move ☒ Install ☐ Wreck/Raze
☐ Revision ☒ Repair ☐ Revocable

CHECK ALL APPLICABLE:

☒ A/C ☒ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE ONLY FOR NEW CONSTRUCTION AND EXTERIOR VARIATIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Anthony J. Marra
Signature of owner or authorized agent

April 14, 2019
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 873917 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing colonial revival, side gable, wood frame house with brick foundation walls was built in 1927 and is a contributing structure within the Historic District of Chevy Chase Village. A 2-story twin-gable 1st floor family room addition and kitchen renovation with 2nd floor owners' suite at the rear were incorporated in 1991. Exterior materials consist of aluminum siding and asphalt shingle roof at the original house; cementitious siding, asphalt shingle and metal roof at rear. The existing 2-car, hip roof garage consists of horizontal wood siding and asphalt shingle roof. Poor drainage + site slope has caused water damage at garage foundation walls.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed work includes a covered front porch and (3) dormers. The new porch consists of a brick base with stone cap, painted round 'stavecast' round columns and pilasters and painted wood railing at porch roof. Scale, dimensions and details to reflect the architectural vocabulary of the house. At the rear, a 1-story wood-frame screened porch and mudroom with reconfigured basement access will be added. The addition walls steps back on the east side, and maintain the wall elevation of the west side. Existing 2-car deteriorated garage will be replaced with 1-car garage.

SITE PLAN See attached.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. ***Schematic construction plans***, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

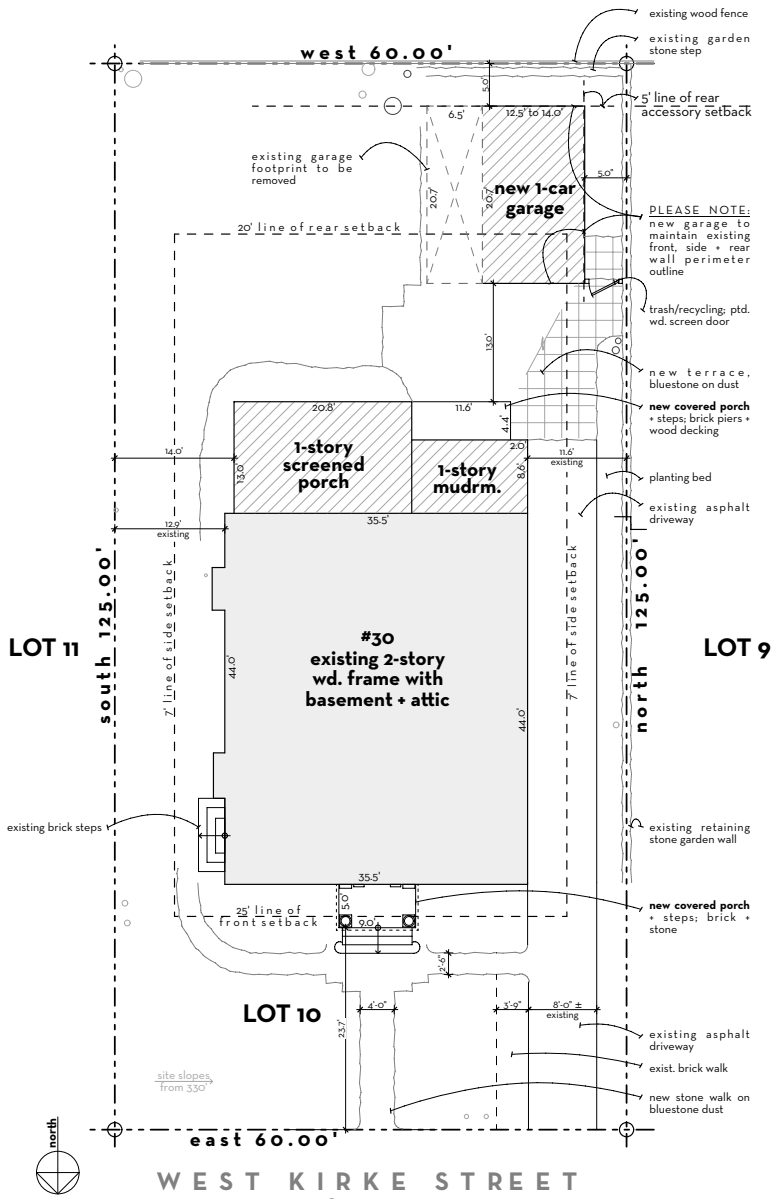
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|---|---|
| <p>Owner's mailing address</p> <p>MARY SHEEHAN + ANTHONY MARRA 30 WEST KIRKE STREET CHEVY CHASE MD 20815</p> | <p>Owner's Agent's mailing address</p> <p>LILI MUNDROFF brennan+company architects 803 OELLA AVENUE ELLCOTT CITY MD 21043</p> |
| <p align="center">Adjacent and confronting Property Owners mailing addresses</p> | |
| <p>DONNA EVERS 28 WEST KIRKE STREET CHEVY CHASE MD 20815</p> | <p>WILLIAM DOOLEY 31 WEST KIRKE STREET CHEVY CHASE MD 20815</p> |
| <p>JOHN LYNHAM JR. 32 WEST KIRKE STREET CHEVY CHASE MD 20815</p> | <p>BRYAN + KATHLEEN ANDERSON 29 WEST KIRKE STREET CHEVY CHASE MD 20815</p> |
| <p>ROBERT ROVNER 31 WEST IRVING STREET CHEVY CHASE MD 20815</p> | <p>CHARLES A HOBBS 33 WEST KIRKE STREET CHEVY CHASE MD 20815</p> |

V:\Volumes\Data\Brennan\01PROJECTS\01residential\sheehan-marra\2_working drawings\sheehan-marra_permitreview.pln 5/14/19 11:05 AM e Brennan-Company Architects

SITE PLAN scale : 1" = 10'

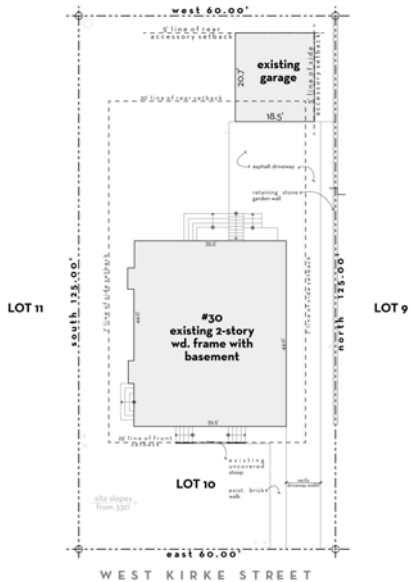


NOTE:
ALL INFORMATION TAKEN
FROM HOUSE LOCATION PLAT
DATED 11.21.90 AND PREPARED
BY LAND-TECH ASSOCIATES
INC. SURVEYOR MD. LIC. NO. 119

LOT ALSO APPEARS ON:
MSA Clerk Plat#: 106
MNCPPC Number: A-26
Recorded Date: September 8, 1909
MSA Clerk Plat#: B48
Recorded Date: December 31, 1891

LOCATION SURVEY OF:
#30 WEST KIRKE STREET
MONTGOMERY COUNTY, MD
SUBDIVISION SECTION 2
"CHEVY CHASE"
LOT: 10
BLOCK: 32
PLAT: 48

EXISTING SITE PLAN scale : 1" = 20'

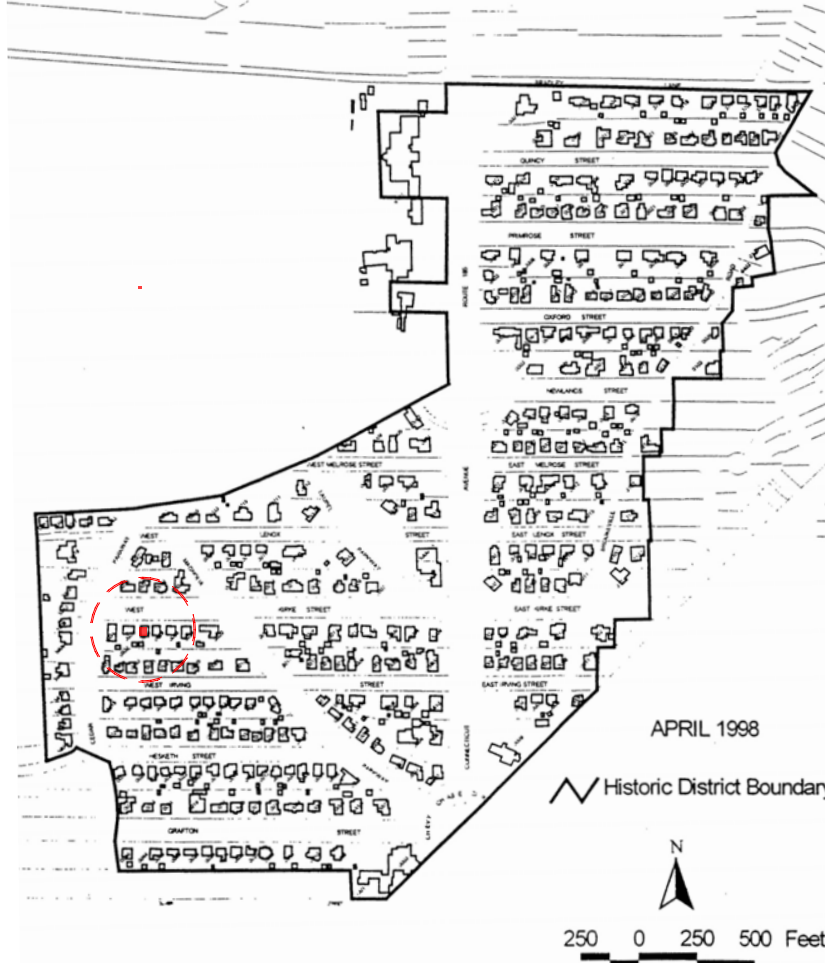


AERIAL VIEW + HISTORIC LOCATION MAP



not to scale

CHEVY CHASE VILLAGE HISTORIC DISTRICT



ABBREVIATIONS

| | |
|------------|---|
| A.F.F. | ABOVE FINISH FLOOR |
| ADJ. | ADJUSTABLE |
| ARCH | ARCHITECT(URAL) |
| BLKG./BLK. | BLOCKING |
| CL | CENTER LINE |
| CLG. | CEILING |
| CONT. | CONTINUOUS |
| CONST. | CONSTRUCTION |
| DIM. | DIMENSION |
| EA. | EACH |
| ELEC. | ELECTRIC(AL) |
| EQ. | EQUAL |
| EXIST. | EXISTING |
| EXT. | EXTERIOR |
| FIN. | FINISH |
| GYPBD | GYPSPUM WALL BOARD |
| INSUL | INSULATION |
| INST | INSTALLATION |
| MAX | MAXIMUM |
| MIN | MINIMUM |
| MFR. | MANUFACTURER |
| MTD. | MOUNTED |
| MTL | METAL |
| NEG. | NECESSARY |
| NO. | NUMBER |
| N.T.S. | NOT TO SCALE |
| O.C. | ON CENTER |
| O.P.C.I. | OWNER PROVIDED CONTRACTOR INSTALL |
| PR. | PAIR |
| P.T.D. | PAINTED |
| PT. | PRESSURE TREATED |
| REQ. | REQUIRED |
| RM. | ROOM |
| SMACNA | SHEET METAL + AIR CONDITIONING NATIONAL ASSOCIATION |
| SQ. | SQUARE |
| STD. | STANDARD |
| STND. | STANDARD |
| STRUCT. | STRUCTURAL |
| TYP. | TYPICAL |
| U.O.N. | UNLESS OTHERWISE NOTED |
| V.I.F. | VERIFY IN FIELD |
| W/ | WITH |
| WD. | WOOD |

DRAWING LIST

| | |
|-----|--------------------------------|
| A0 | site plan + general notes |
| A1 | existing photos |
| A2 | demo floor plans |
| A3 | demo floor plans |
| A4 | demo roof plan |
| A5 | demo exterior elevations |
| A6 | existing exterior sketches |
| A7 | floor plans |
| A8 | floor plans + schedules |
| A9 | roof + garage plans |
| A10 | exterior elevations |
| A11 | exterior elevations + sketches |
| A12 | exterior sketches |
| A13 | reflected ceiling + electrical |

SYMBOLS

| | |
|-------------------|----------------------|
| ① | DOOR # |
| A | WINDOW # |
| 1 | PLUMBING FIXTURE # |
| 2 | APPLIANCE # |
| 1 4(A) 2 3 | INTERIOR ELEVATION # |
| Dwg. # Sheet # | BUILDING SECTION |
| NEW WALL | NEW WALL |
| EXISTING WALL | EXISTING WALL |

ZONING INFORMATION

HOUSE LOCATION
SUBDIVISION SECTION 2
BLOCK 32 LOT 10
30 WEST KIRKE STREET
CHEVY CHASE, MD 20815

ZONING INFO
MONTGOMERY COUNTY

Zoned: R-60
Front Setback: 25'
Side Setback: 7'
Rear Setback: 20'
Building Height: 35'

CODE INFO

Design Intent to meet:
International Residential Code, 2015
COMAR 05.02.07

GENERAL NOTES

- Any inconsistencies found between the drawings shall be reported to the Architect. Do not perform any work affected in any manner by the inconsistencies until the Architect has clarified the information. Any work done will be solely at the Contractor's risk and expense. The Architect will resolve the inconsistencies in a timely manner.
- All work shall be done in a workmanlike manner and in conformance with product manufacturer's installation instructions and guarantee requirements. Work shall be completed to the satisfaction of the owner.
- All work shall be done in accordance with applicable state and local codes and regulations.
- Do not scale drawings to determine dimensions.
- Foundation to comply with Montgomery County radon gas mitigation requirements. Contractor to provide an approved seal at all penetrations to slab and foundation walls.
- All dimensions are to the rough face of framing and centerline dimensions are to finish unless noted otherwise as a clear (cl) dimension.
- Dimensions and notes for a given condition are typical for all similar conditions unless otherwise noted.
- Drawings at larger scale shall take precedence over drawings at smaller scale, except for any inconsistencies that may be found in the drawings.
- Contractor to provide specified copper flashing at all window heads, horizontal window stops, window sills, the bottom of all cavity walls and at all other locations recommended by SMACNA.
- Contractor shall arrange for the proper installation of all public utilities when required, including sewer, water, gas, electric and telephone lines.
- Contractor to complete all work in accordance with the drawings. At the end of the job, Contractor to clean all finished surfaces and leave job in an orderly and neat fashion, capable of being used for its intended purpose. One-year warranty shall begin at substantial completion of the work, as determined by the Architect. Provide all keys, equipment operating instructions, record drawings, etc. to Owner.
- Smoking on property only in areas designated by Owner.

ENERGY NOTES per IRC 2015

- Permanent Certification shall be completed and posted on or in the electric distribution panel by the builder. It shall list the predominant R-values of insulation installed for ceiling/roof, walls, foundation (slab, basement wall and/or floor) and the results from any required duct system and building envelope air leakage testing done on the building. Certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. All gas-fired unvented room heaters, electric furnaces, or baseboard electric heaters shall be listed but the efficiency is not required to be listed.

SITE NOTES

- It is the owner's intention to preserve the natural vegetation and land features of the site to the greatest extent possible. Remove the minimum amount of existing vegetation possible for new construction.
- Topsoil and large boulders will be stockpiled for future use by the Owner, stockpiling area to be determined by Owner.
- The construction area and access to the construction area will be as small an area as is reasonable to facilitate construction of the home. This area is to be clearly demarcated and roped off to prevent any destruction of natural terrain outside the area by construction vehicles.
- Water must have positive drainage away from the building at all points along its perimeter in a direction of least impact on site and surrounding buildings.
- All downspouts to drain below grade to daylight or cistern, have splash blocks, or rain barrels as shown on plan with an adequate drainage path away from the building.
- Do not treat soil with manufactured chemical treatments.
- Treat sand surfaces under floors and brick or stone walkways with diatomaceous soil.
- Use a barrier cloth under exterior walkways to prevent weed overgrowth.

HALF-SIZE SET

brennan-company
ARCHITECTS
410.353.8370
baltimore
washington

803 oalla avenue - alliecott city, maryland 21043

project:
SHEEHAN-MARRA RESIDENCE
30 WEST KIRKE STREET
CHEVY CHASE, MD 20815

| phase | date |
|-------------------|----------|
| MD Prelim Pricing | 09.04.18 |
| Revision | 03.11.19 |
| HAWP REVIEW | 5/14/19 |

drawing:
site plan + general notes

sheet no:

Ao
10



1. front elevation (north)



2. front elevation (northwest)



3. side elevation (northwest)



4. front stoop detail (north)



5. rear elevation (south)



6. rear corner detail (southwest)



7. rear elevation (south)



8. side elevation (east)



9. side elev. detl. (northwest)



10. garage (northeast)



11. garage side elevation (west)

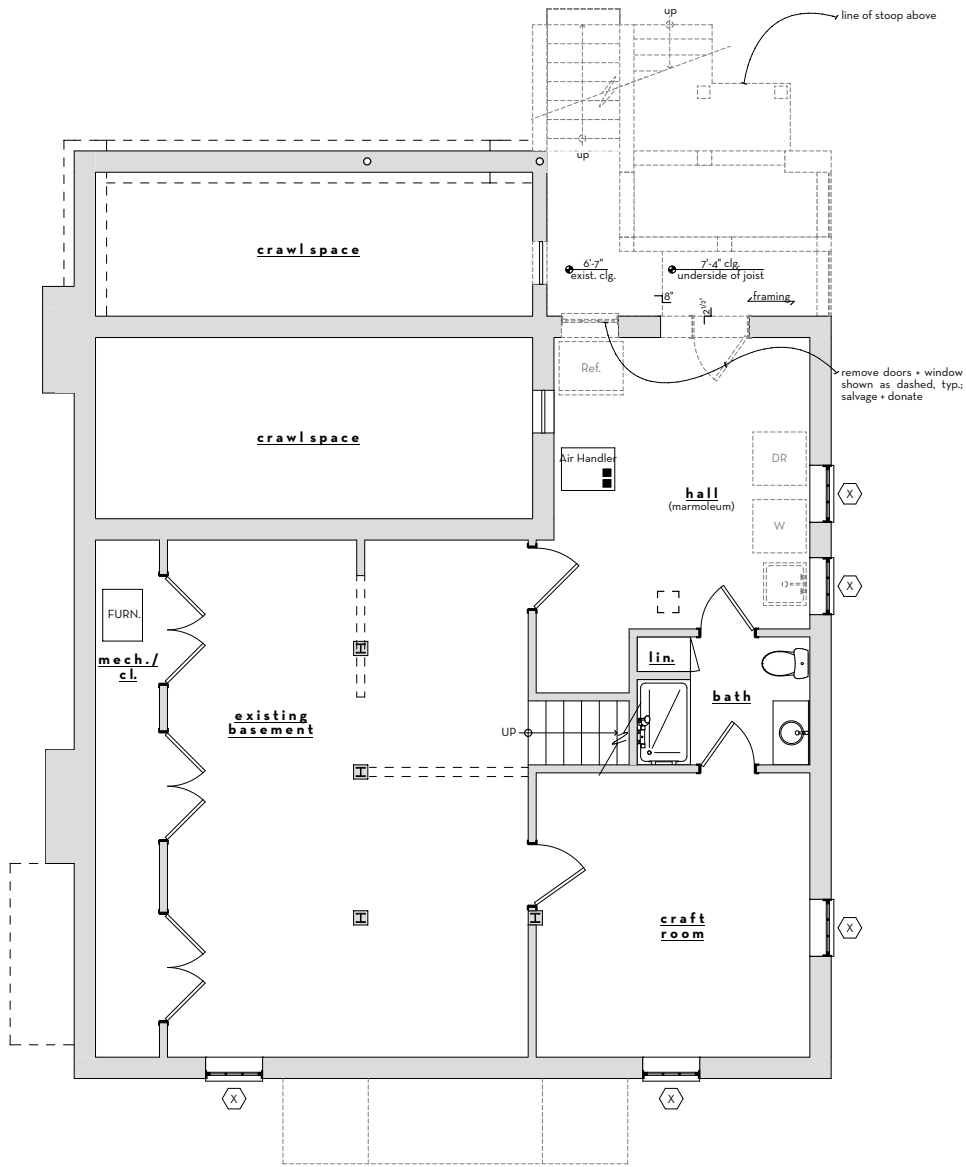


12. garage rear elevation (south)

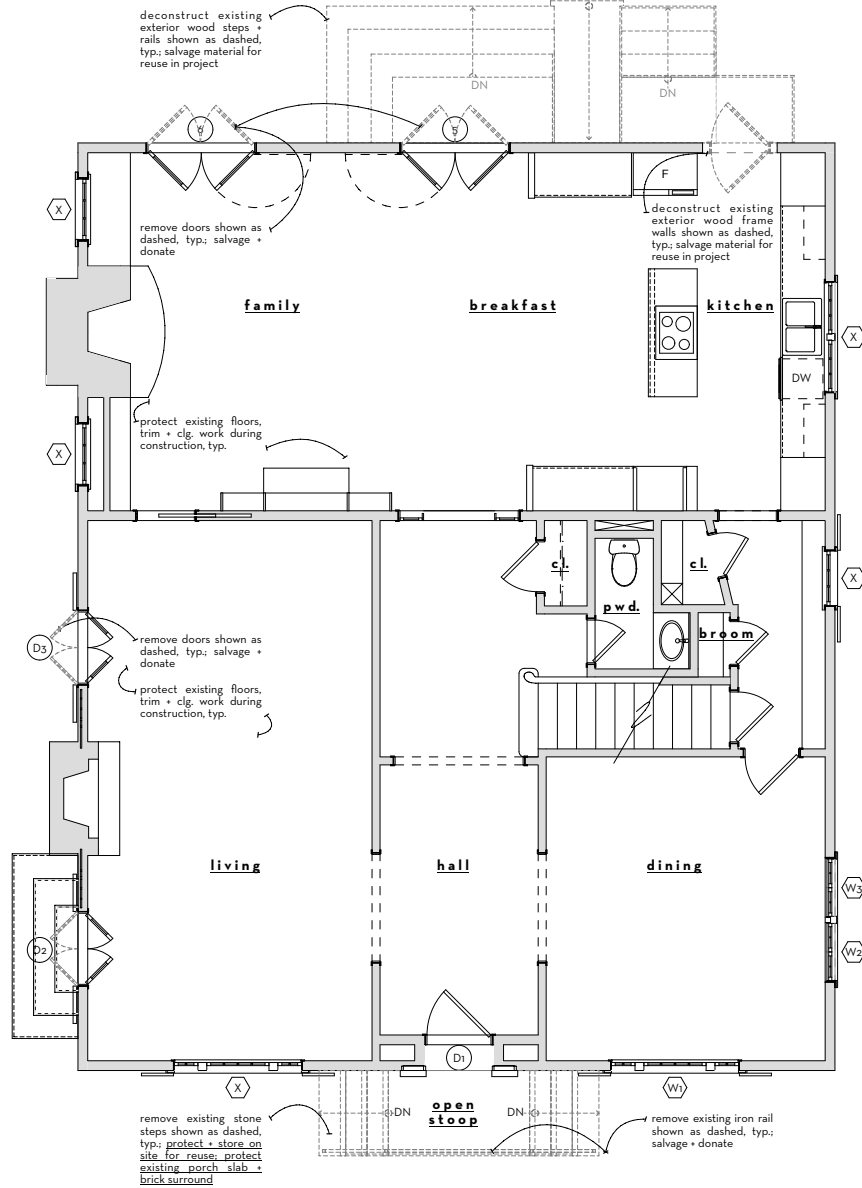
HALF-SIZE SET

| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP | 5/14/19 |
| REVIEW | |

/Volumes/Data1/Brennan/01/PROJECTS/01.residential/sheehan-marra/2.project drawings/2.working drawings/sheehan-marra_permitreview.pln 5/14/19 11:26 AM © Brennan+Company Architects



1 basement floor plan demolition
scale: 1/4" = 1'-0"

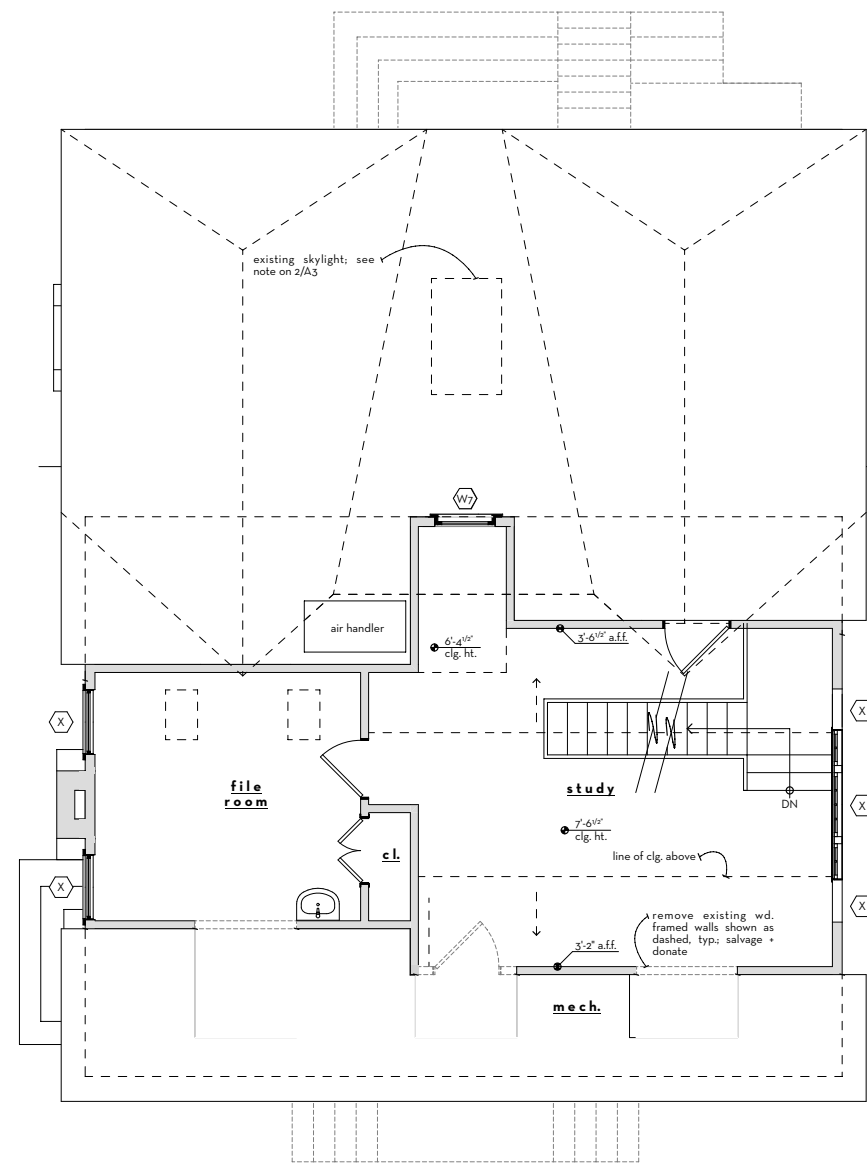


2 first floor plan demolition
scale: 1/4" = 1'-0"

DEMOLITION NOTES

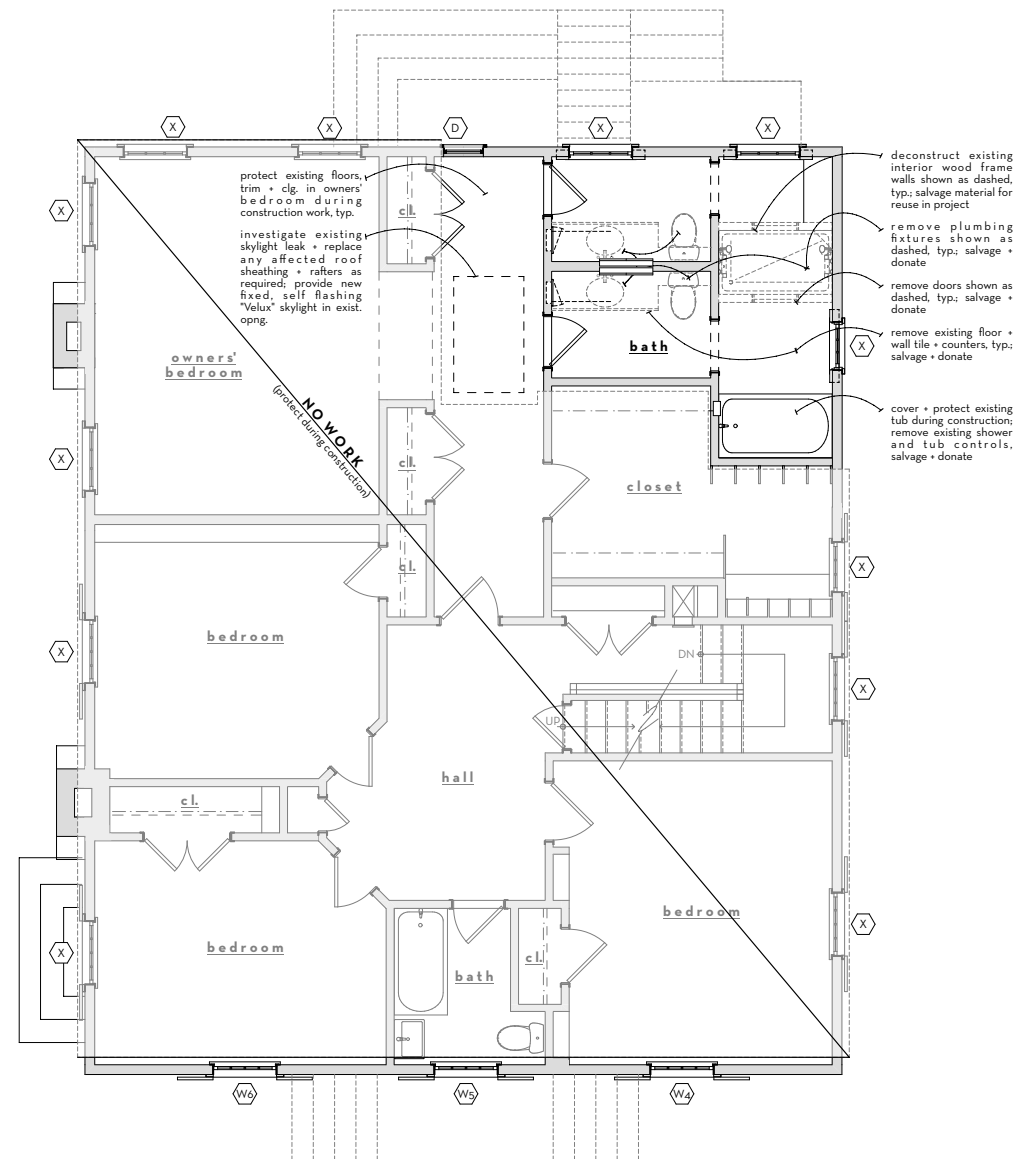
1. All exterior masonry or frame walls shown as dashed, in whole or portion, to be demolished to extents noted on new drawings.
2. All interior frame walls shown as dashed, in whole or portion, to be demolished to extents noted on new drawings.
3. Salvage all existing framing, evaluate condition and reuse in new construction for blocking or framing.
4. Provide required structural support prior to demolition work at critical locations.
5. All excavated earth to be retained on site in location determined by owner.
6. Provide erosion control methods and materials as required by local code.
7. Owner to remove and relocate shrubs that they wish to reuse.
8. Remove all debris from demolition from site on a regular basis and dispose of according to local requirements. Sort and recycle waste.
9. All items specified in Contract Documents for salvage, reuse and storage shall be kept on site and protected from damage. Donate salvaged unused materials to low-income housing projects, theater groups, etc., or recycle waste materials. Sort, salvage and store masonry and stone, miscellaneous metals, flooring, wood studs, all trim and stair parts for reuse.
10. Provide proper temporary waterproofing and security following exterior wall/roof demolition work.
11. Existing plumbing hookups to be shut off at each immediate location prior to demolition work at each location.
12. Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks wires, doorbells, etc.
13. Remove all existing appliance hookups and electrical fixtures as necessary.
14. Minimize job site waste.

| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP | 5/14/19 |
| REVIEW | |



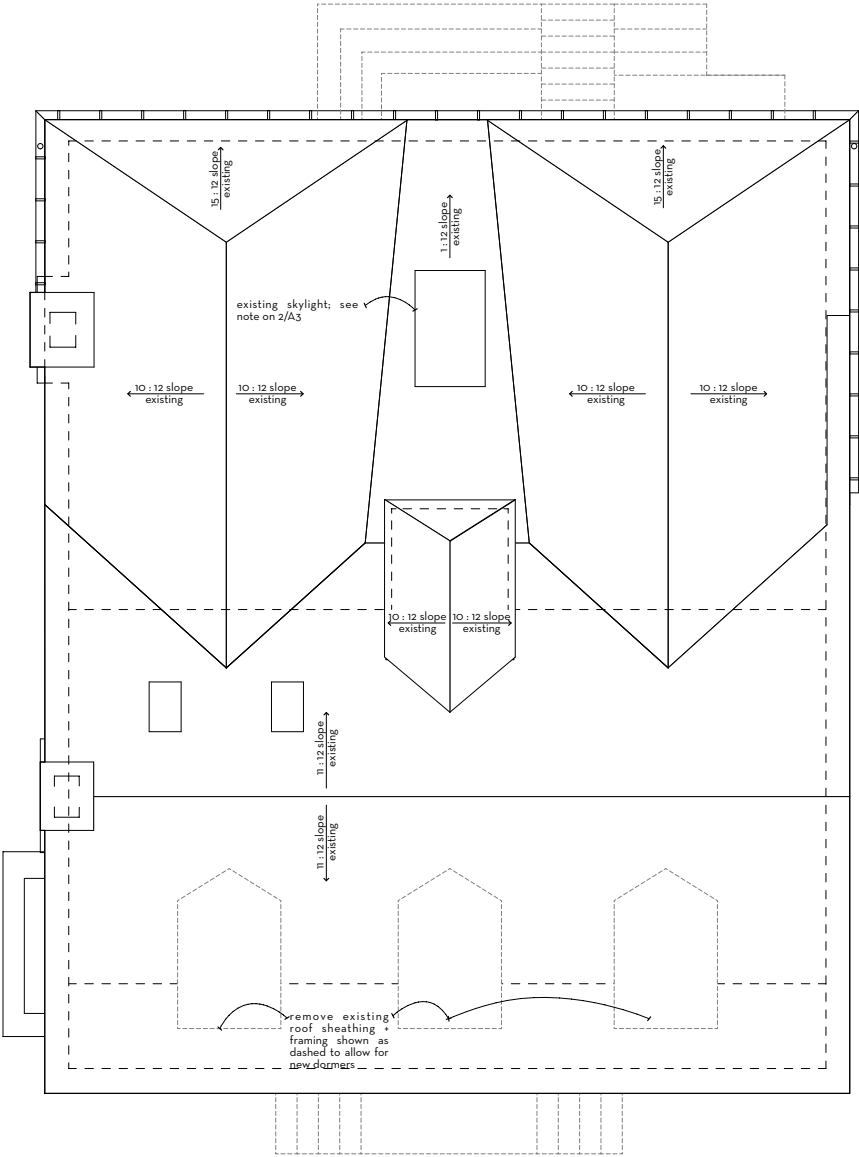
1 existing attic plan

scale: 1/4" = 1'-0"



2 second floor plan demolition

HALF-SIZE SET



1 demo roof plan
scale: 1/4" = 1'-0"

HALF-SIZE SET

| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP | 5/14/19 |
| REVIEW | |

project: **SHEEHAN-MARRA RESIDENCE**
30 WEST KIRKE STREET
CHEVY CHASE, MD 20815

drawing:
demo roof plan

sheet no:

brennan+company
ARCHITECTS
410.333.8370
baltimore
washington

A4
14

/Volumes/Data1/Brennan/01PROJECTS/01residential/sheehan-marra/2_project drawings/2_working drawings/sheehan-marra_permitreview.pln 5/14/19 11:28 AM © Brennan+Company Architects



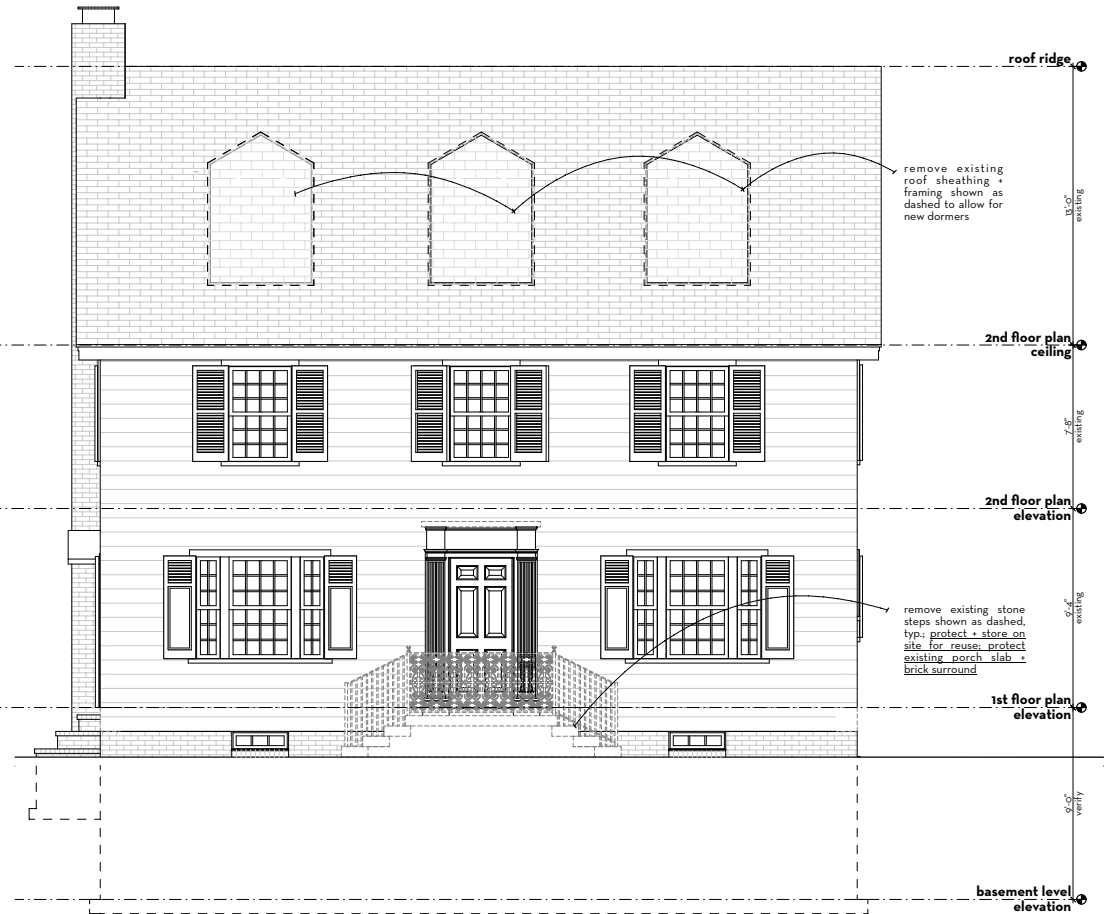
1 demo side elevation (east)
scale: 1/4" = 1'-0"



2 demo rear elevation (south)
scale: 1/4" = 1'-0"



3 demo side elevation (west)
scale: 1/4" = 1'-0"



4 demo front elevation (north)
scale: 1/4" = 1'-0"

HALF-SIZE SET

| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP | 5/14/19 |
| REVIEW | |

drawing:
demo exterior
elevations



sheet no:

A5

15



1 existing rear view sketch (SE)



3 existing rear view sketch (SW)



2 existing front view sketch (NW)

/Volumes/Data/1/Brennan/01/PROJECTS/01/residential/sheehan-marra/2_working drawings/sheehan-marra_permitreview.pln 5/4/19 11:28 AM e Brennan+Company Architects

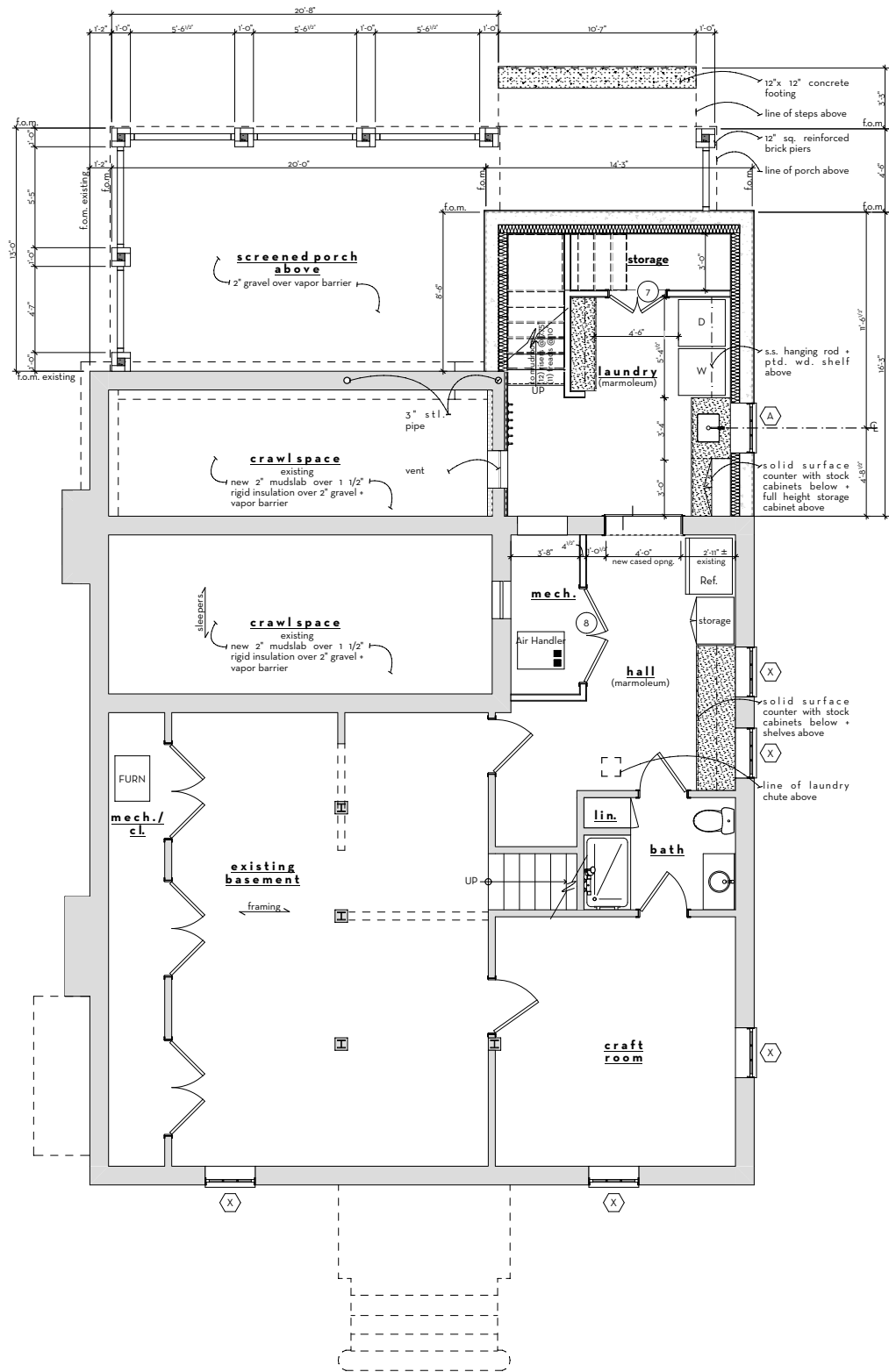
| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP | 5/14/19 |
| REVIEW | |

drawing:
existing exterior
sketches

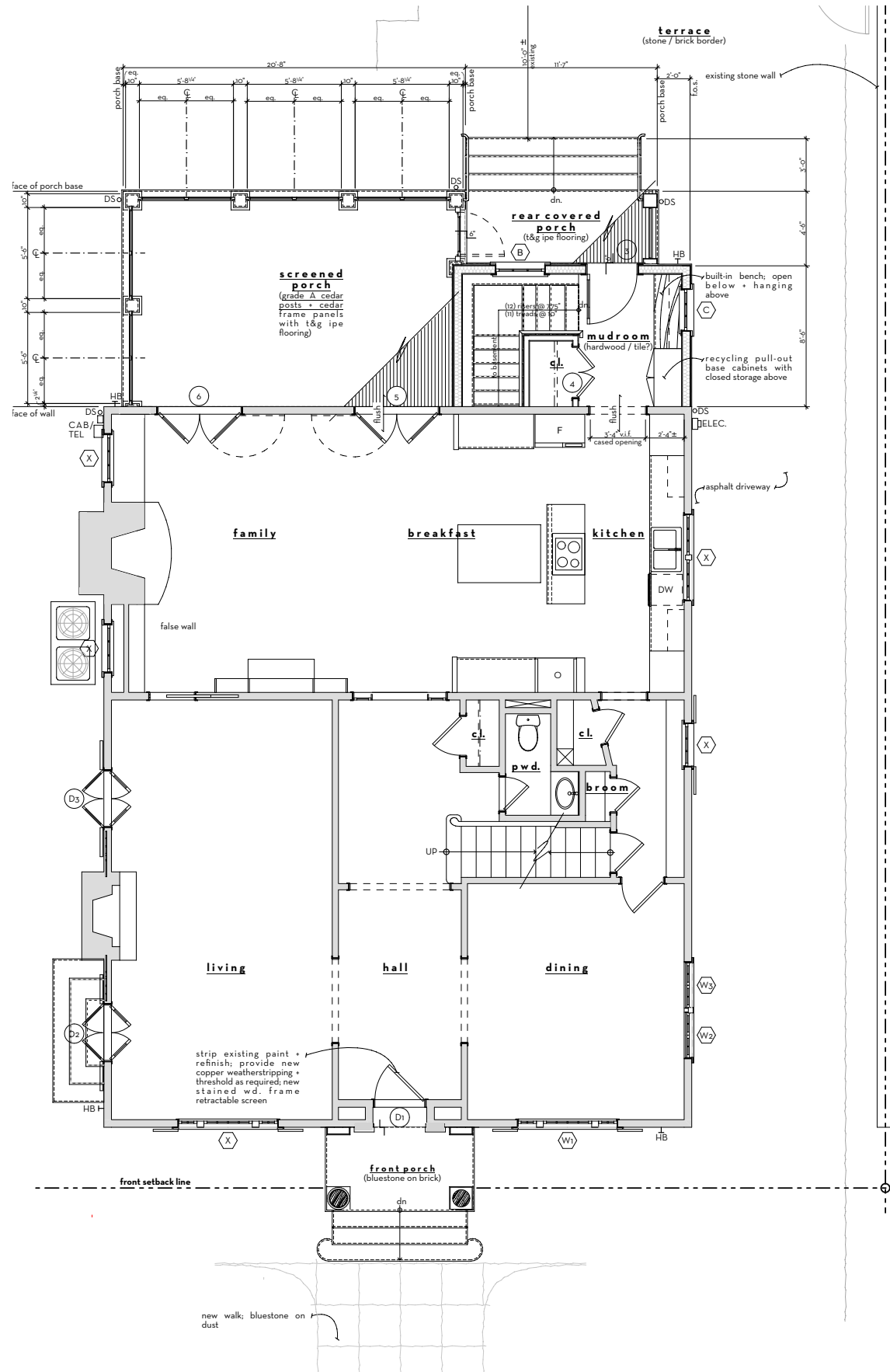


sheet no:

V:\Volumes\Drawings\Brennan\01\PROJECTS\01\residential\sheehan-marra\2\project drawings\2\working drawings\sheehan-marra_permitreview.pln 5/14/19 11:28 AM © Brennan+Company Architects



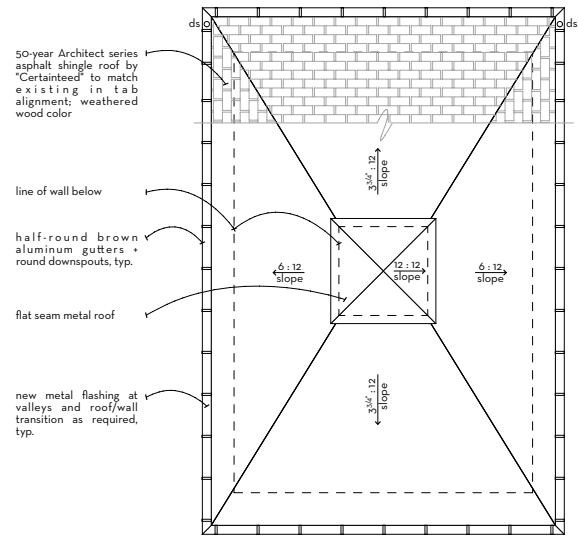
1 basement floor plan
scale: 1/4" = 1'-0"



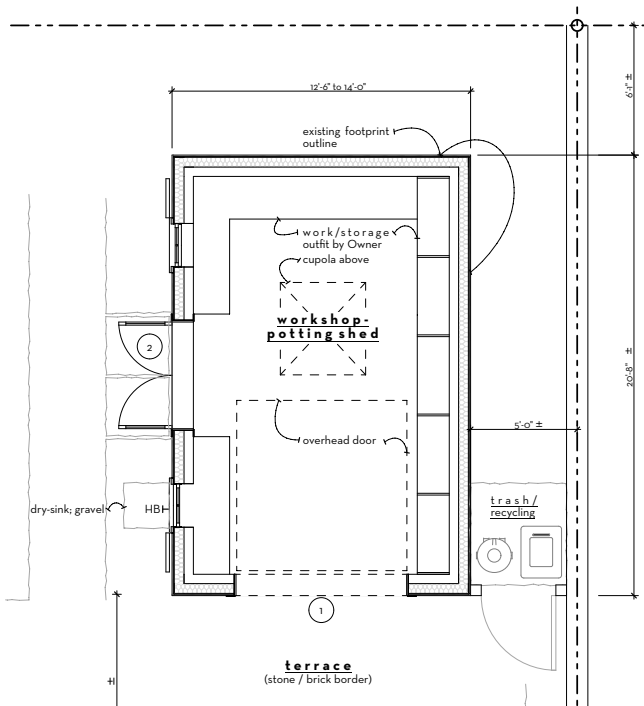
2 first floor plan
scale: 1/4" = 1'-0"

HALF-SIZE SET

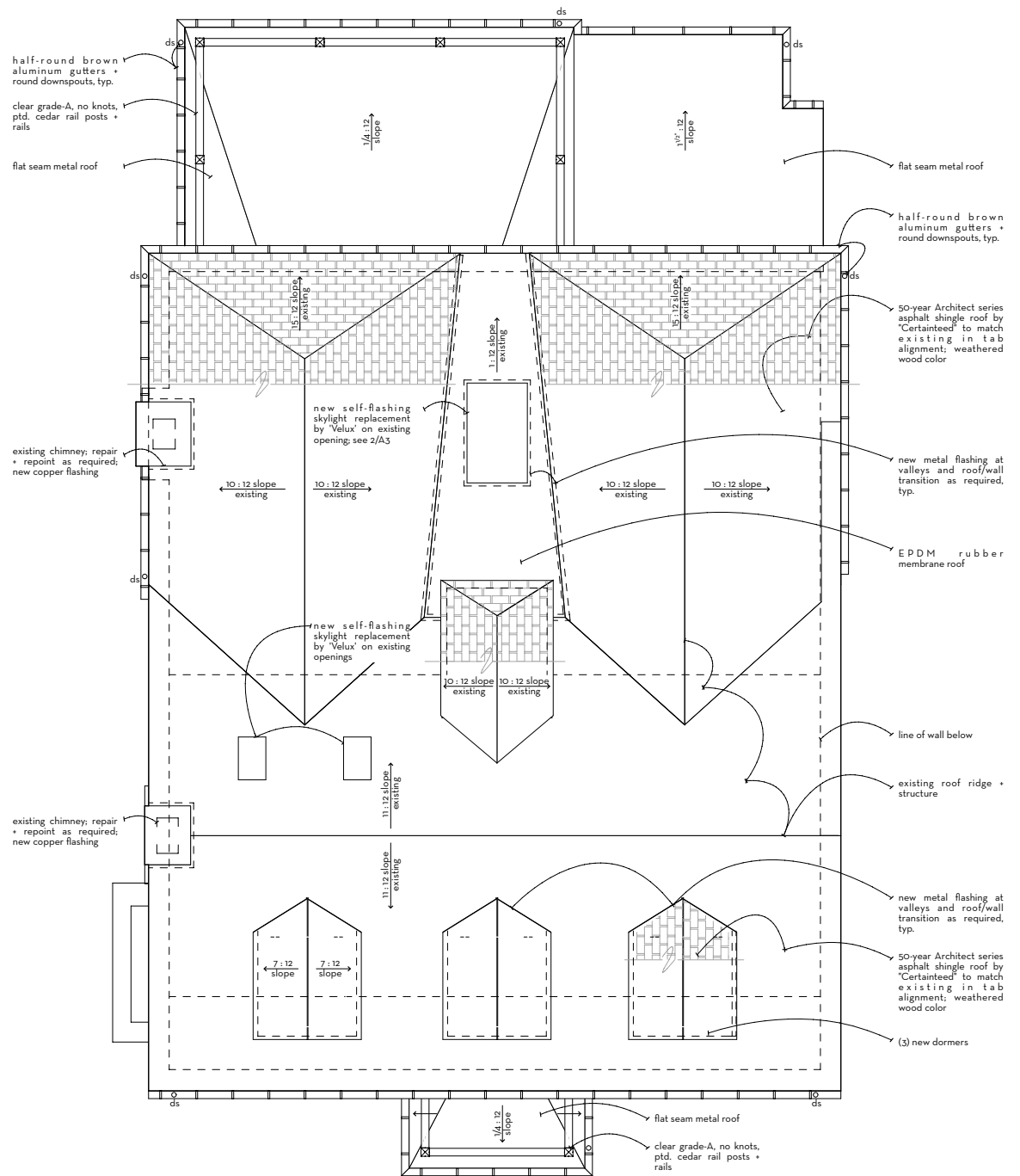
V:\Volumes\Data\Brennan\01\PROJECTS\01.residential\sheehan-marra\2.project drawings\2.working drawings\sheehan-marra_permitreview.pln 5/14/19 11:32 AM e Brennan+Company Architects



1 garage roof plan
scale: 1/4" = 1'-0"



2 garage floor plan
scale: 1/4" = 1'-0"



3 roof plan
scale: 1/4" = 1'-0"

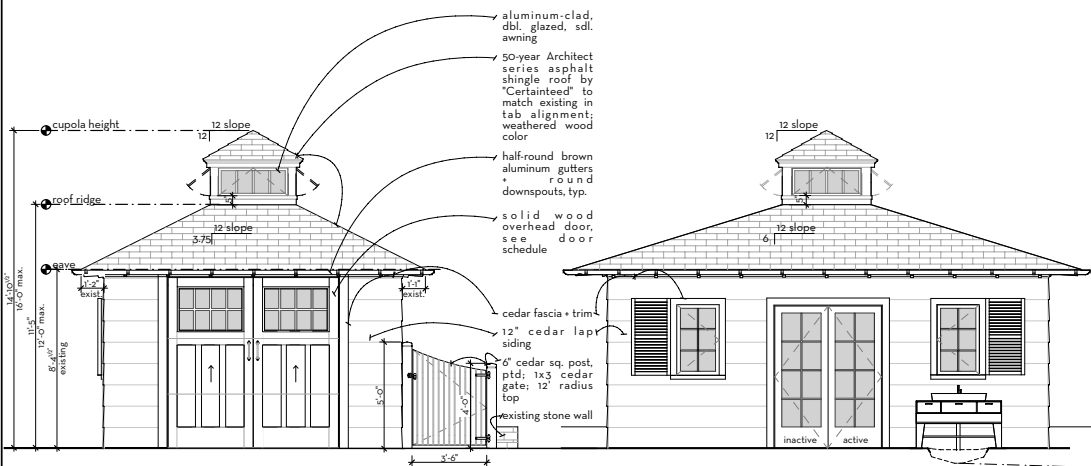
HALF-SIZE SET

| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP REVIEW | 5/14/19 |





1 proposed view from above (rear)
new screened + rear porch + garage



3 garage: front + east side elevation
scale: 1/4" = 1'-0"



2 proposed rear sketch (southeast)
new screened + rear porch

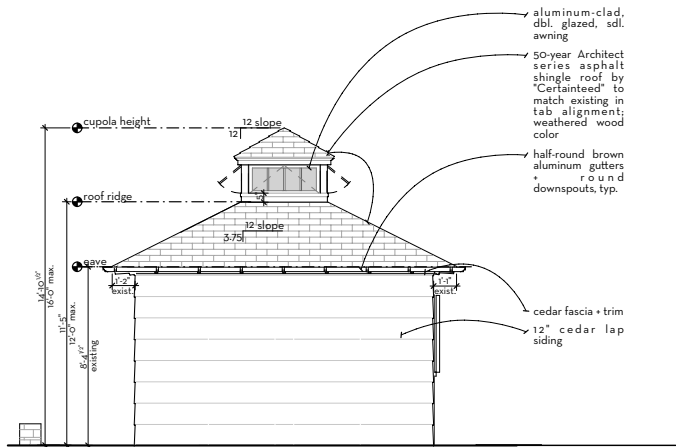


4 side elevation (east)
scale: 1/4" = 1'-0"

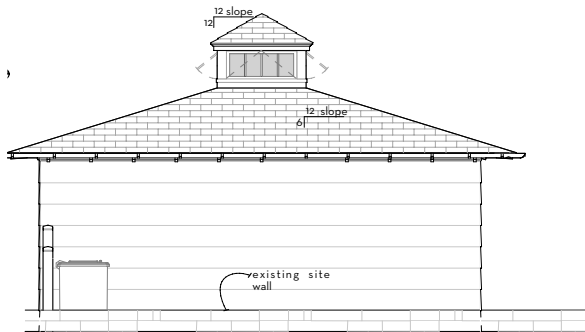
| phase | date |
|-------------------|----------|
| MD Prelim Pricing | 09.04.18 |
| Revision | 03.11.19 |
| HAWP REVIEW | 5/14/19 |

drawing: exterior elevations + sketches

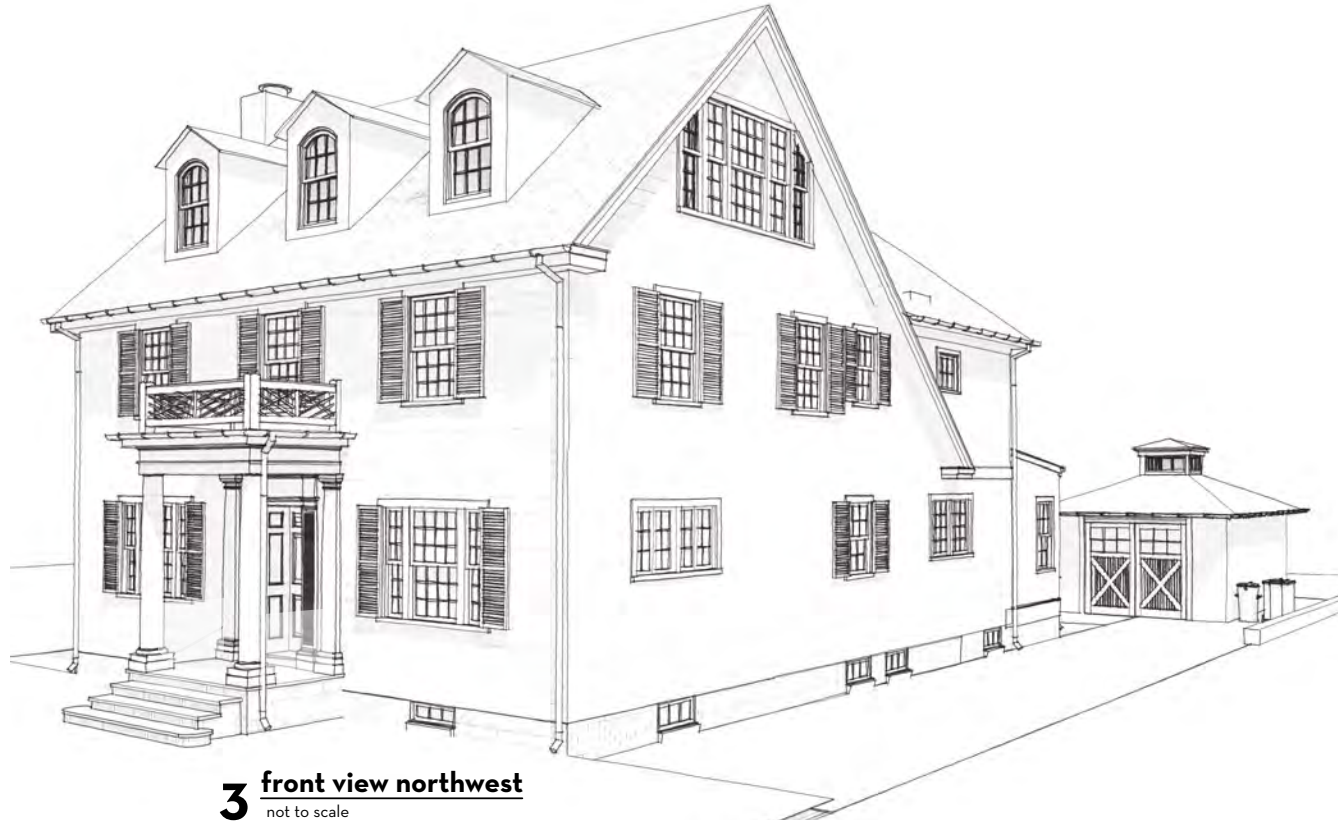
/Volumes/Data1/Brennan/01/PROJECTS/01/residential/sheehan-marra/2_working drawings/sheehan-marra_permitreview.pln 5/14/19 11:58 AM © Brennan+Company Architects



1 garage rear elevation
scale: 1/4" = 1'-0"



2 garage side elevation (west)
scale: 1/4" = 1'-0"



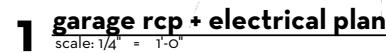
3 front view northwest
not to scale



4 rear view southwest
not to scale

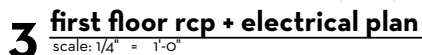
HALF-SIZE SET

| phase | date |
|----------------|----------|
| MD | 09.04.18 |
| Prelim Pricing | 03.11.19 |
| Revision | |
| HAWP | 5/14/19 |
| REVIEW | |

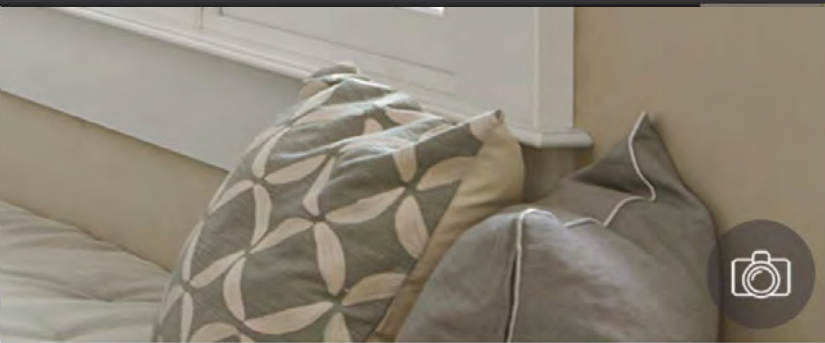


1. Provide all labor, materials, equipment devices, including light fixtures and lamps, obtain permits and pay all fees necessary for the complete electrical system indicated. Include all work associated with equipment shown on architectural, mechanical and plumbing drawings and specifications. Equipment noted to be supplied by Owner shall be installed by Contractor. All materials and equipment shall be new, of first class quality and approved under applicable standards. All materials of types for which U.L. Labeling service is established shall bear U.L. Label.
2. All works to comply with latest edition of the National Electrical Code (NEC) and with all applicable local codes, ordinances and regulations, except where plans or specifications are stricter.
3. Provide all breakers as required to complete each electric panel-board. All circuit breakers shall be full module size. A neatly typed schedule shall be framed under clear plastic at panel, with approved legend identifying each circuit and what it controls. Loads shall be connected for best phase balance.
4. Safety switches shall be provided where required by code whether shown or not. Use general duty type such as manufactured by General Electric, Westinghouse or Square D.
5. All receptacle outlets shall be 20A, 125V, grounding type. Provide ground fault circuit interrupter receptacles in areas as required by code and indicated on the drawings.
6. All wiring shall be routed in a concealed manner.
7. Smoke detectors to be ionization type manufactured by Pyrotronics or BKB. All smoke detectors to be hard wired with battery operated and located as required by code.
8. Contractor shall be responsible for all power, control, temperature control and interlock wiring complete. Install all such wiring as indicated on approved equipment manufacturer's wiring diagrams for the operations indicated.
9. Interior wiring to be BX cable, EMT conduit where required by code. All exterior conduit including underground conduit shall be Schedule 40 piping as restricted by the NEC.
10. Refer to architectural drawings for locations of switches, light fixtures and specialty outlets. All switches to be mounted at 48" A.F.F., unless otherwise noted. All outlets to be mounted at 12" A.F.F., unless otherwise noted. Standard outlets are not shown on architectural drawings; electrical subcontractor to provide required outlets to meet code.
11. General Contractor to inspect existing electrical service and notify Owner if it needs upgrading. Coordinate work with electrical utility for additions to service as shown. Pay all costs involved with power company work or requirements.
12. Upon completion of work adjust all equipment and test all systems in accordance with NEC, and at direction of Owner. Provide Owner with final electrical inspection certificate.
13. Finish of device plates to be metal chosen by architect and color of wiring device shall be white.
14. All wiring shall be with copper conductors full rated for load served. Minimum wire size shall be #12 AWG, except for lighting circuits which may be #14 AWG. Circuits shall be connected with loads not to exceed 60% of breaker trip rating.
15. Provide telephone, cable and internet connections where requested by owner.

| electrical schedule | | | | | | | |
|---------------------|------|--|---------------------------|-----------------------------------|--|--------------------|---|
| no. | qty. | item | manufacturer | model | lens/trim/reflector | lumens/temp. | remarks |
| A | 8 | exterior 4" recessed downlight, frosted lensed | Juno | ICILED G4 o6LM 30K 90CRI MVOLTZT1 | 12WABZ frosted, classic aged bronze round trim | 600 lumens / 3000K | IC rated, 1:10 dimmable; frosted lens with clear center trim; perimeter frosted lens, classic aged bronze trim ring, ext. rated |
| B | 1 | exterior ceiling mounted, flush | Brass Light Gallery | tbd | | 2500K | ext. rated, oil rubbed bronze |
| C | 4 | 4" recessed downlight | Lightolier | tbd | clear lens, white round trim; anodized alum. reflector | 600 lumens / 3000K | IC rated, dimmable, |
| D | 1 | closet light, wall mtd. | stock | tbd | | | |
| E | 3 | exterior wall mounted | Brass Light Gallery | tbd | | 2500K | ext. rated, oil rubbed bronze |
| F | 1 | exterior ceiling fan; low stem | | tbd | | | ext. rated, oil rubbed bronze, no light |
| G | 2 | accent downlights | existing/ relocate | | | | connect to existing switch |
| H | 4 | exterior wall mounted | Barn Light / Pottery Barn | tbd | | | ext. rated, oil rubbed bronze |
| I | 10 | utility surface mounted | Stonco | Roughlyte | | | ext. rated |
| M | 1 | garage door opener | | tbd | | | belt drive |
| X | 13 | existing | | | | | |



| phase | date |
|----------------------------|----------|
| MD | 09.04.18 |
| Prelim Pricing Revision | 03.11.19 |
| HAWP REVIEW | 5/14/19 |



DORMER WINDOWS

Features & Options

Features

Coastal
Exterior Finish
Casing
Interior Finish
Glass
Divided Lites
Hardware
Shades
Screens

Features | **Round Tops** | Standard Specifications



Eyebrow Radius
Operating Double Hung



Half Circle Transom



Eyebrow Transom



Half Circle Radius
Operating Double Hung



Half Eyebrow
Operating Single Hung

Round Tops

Eyebrow Radius Operating Double Hung - A classic look with a gentle eyebrow radius. Beautiful as a standalone window or as part of an assembly. Available in 192 call number sizes.

Half Circle Transom - This simulated half circle transom window can be sized to stand alone or easily fit above a Double Hung window. Available in 12 call number sizes.

Eyebrow Transom - This stationary window is available as a transom or picture window. These windows are designed to complement the Next Generation Ultimate Double Hung window with complementary sizes and matching at springline. The transom is available in 20 call number sizes and the Picture is available in 55 call number sizes.

Half Circle Radius Operating Double Hung - A dramatic window with a true half circle arch. The look gives a beautifully smooth transition from jamb to header. Both of the sash are operable. Available in 164 call number sizes.

Half Eyebrow Operating Single Hung - This striking window style adds elegant curve to a two wide window assembly. Available 189 call number sizes per shape.

WOOD ULTIMATE DOUBLE HUNG ROUND TOP

RT6 EYEBROW ABOVE SPRINGLINE STANDARD SIZES ONE WIDE OPERATOR

| RO (mm) RO Rad. (mm) | 2-2 3/8 (670) 2-0 1/2 (622) | 2-6 3/8 (772) 2-0 1/2 (622) | 2-10 3/8 (873) 2-6 1/2 (775) | 3-2 3/8 (975) 3-4 1/2 (1029) | 3-6 3/8 (1076) 3-4 1/2 (1029) | 3-10 3/8 (1178) 3-4 1/2 (1029) |
|--------------------------|-----------------------------------|-------------------------------------|-------------------------------------|------------------------------------|-------------------------------------|------------------------------------|
| | 3-5 1/8 (1045) 3-1 9/32 (947) | 3-6 17/32 (1080) 3-1 1/4 (946) | 3-6 9/16 (1081) 3-1 9/32 (947) | 3-6 1/8 (1070) 3-1 5/16 (947) | 3-7 9/32 (1099) 3-1 9/32 (947) | 3-8 9/16 (1132) 3-1 9/32 (947) |
| | 3-9 1/8 (1146) 3-5 9/32 (1048) | 3-10 17/32 (1182) 3-5 1/4 (1048) | 3-10 9/16 (1183) 3-5 9/32 (1048) | 3-10 1/8 (1172) 3-5 5/16 (1049) | 3-11 9/32 (1201) 3-5 9/32 (1049) | 4-0 9/16 (1233) 3-5 9/32 (1048) |
| | 4-1 1/8 (1248) 3-9 9/32 (1150) | 4-2 17/32 (1283) 3-9 1/4 (1149) | 4-2 9/16 (1285) 3-9 9/32 (1150) | 4-2 1/8 (1273) 3-9 5/16 (1151) | 4-3 9/32 (1302) 3-9 9/32 (1150) | 4-4 9/16 (1335) 3-9 9/32 (1150) |
| | 4-5 1/8 (1349) 4-1 9/32 (1252) | 4-6 17/32 (1385) 4-1 1/4 (1251) | 4-6 9/16 (1386) 4-1 9/32 (1252) | 4-6 1/8 (1375) 4-1 5/16 (1253) | 4-7 9/32 (1404) 4-1 9/32 (1252) | 4-8 9/16 (1437) 4-1 9/32 (1251) |
| | 4-9 1/8 (1451) 4-5 9/32 (1353) | 4-10 17/32 (1486) 4-5 1/4 (1352) | 4-10 9/16 (1488) 4-5 9/32 (1353) | 4-10 1/8 (1477) 4-5 5/16 (1354) | 4-11 9/32 (1505) 4-5 9/32 (1359) | 5-0 9/16 (1538) 4-5 9/32 (1353) |
| | 5-1 1/8 (1553) 4-9 9/32 (1455) | 5-2 17/32 (1588) 4-9 1/4 (1454) | 5-2 9/16 (1589) 4-9 9/32 (1455) | 5-2 1/8 (1578) 4-9 5/16 (1455) | 5-3 9/32 (1607) 4-9 9/32 (1455) | 5-4 9/16 (1640) 4-9 9/32 (1455) |
| | 5-5 1/8 (1654) 5-1 9/32 (1556) | 5-6 17/32 (1690) 5-1 1/4 (1556) | 5-6 9/16 (1691) 5-1 9/32 (1556) | 5-6 1/8 (1680) 5-1 5/16 (1557) | 5-7 9/32 (1709) 5-1 9/32 (1557) | 5-8 9/16 (1741) 5-1 9/32 (1556) |
| RO (mm) RO Spln. (mm) | | | | | | |

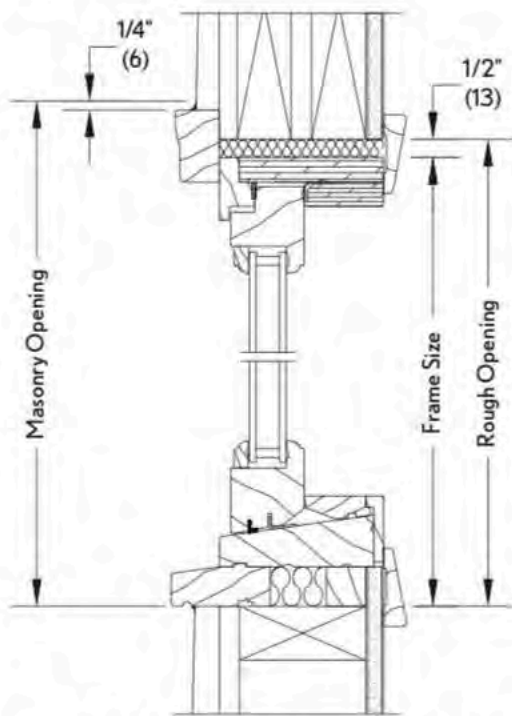
Wood Ultimate Double Hung Round Top: WUDHRT

WOOD ULTIMATE DOUBLE HUNG ROUND TOP

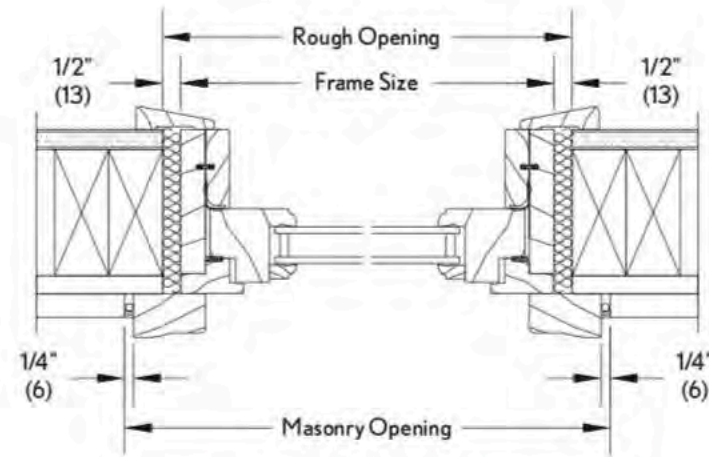
RT1 TRUE HALF CIRCLE - IN SASH TRANSOM

| | | | | | | |
|-------------------------|----------------------------------|------------------------------------|---------------------------------|----------------------------------|---------------------------------|---------------------------------|
| RO (mm) RO Rad. (mm) | 2-2 3/8 (670) 1-1 3/16 (335) | 2-6 3/8 (772) 1-3 3/16 (386) | 2-8 3/8 (822) 1-4 3/16 (411) | 2-10 3/8 (873) 1-5 3/16 (437) | 3-0 3/8 (924) 1-6 3/16 (462) | 3-2 3/8 (975) 1-7 3/16 (487) |
| | 1-1 3/16 (335) | 1-3 3/16 (386) | 1-4 3/16 (411) | 1-5 3/16 (437) | 1-6 3/16 (462) | 1-7 3/16 (487) |
| | WUDHRT2015 | WUDHRT2417 | WUDHRT2618 | WUDHRT2819 | WUDHRT3020 | WUDHRT3221 |
| RO (mm) RO Rad. (mm) | 3-6 3/8 (1076) 1-9 3/16 (538) | 3-10 3/8 (1178) 1-11 3/16 (589) | 4-3 3/4 (1314) 2-1 7/8 (657) | 4-11 3/4 (1518) 2-5 7/8 (759) | 5-7 3/4 (1721) 2-9 7/8 (860) | 6-3 3/4 (1924) 3-1 7/8 (962) |
| | 1-9 3/16 (538) | 1-11 3/16 (589) | 2-1 7/8 (657) | 2-5 7/8 (759) | 2-9 7/8 (860) | 3-1 7/8 (962) |
| | WUDHRT3623 | WUDHRT4025 | WUDHRT5027 | WUDHRT5831 | WUDHRT6635 | WUDHRT7439 |

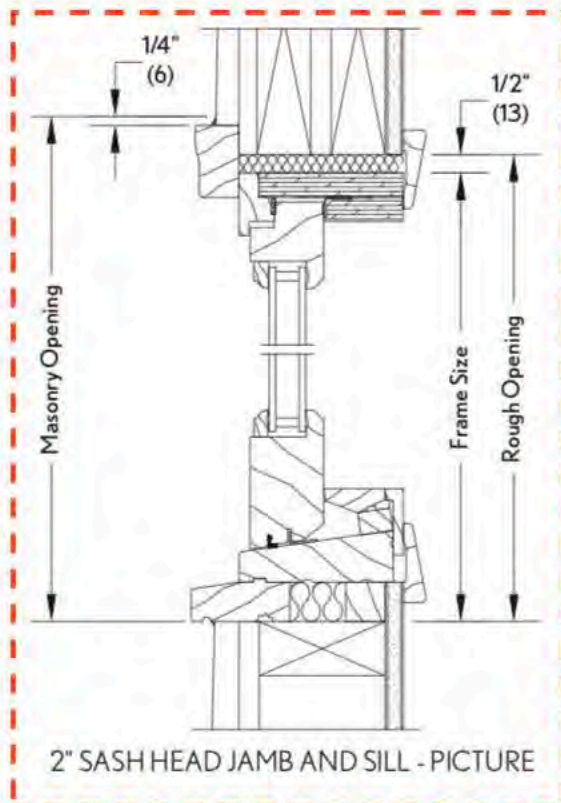
CONSTRUCTION DETAILS



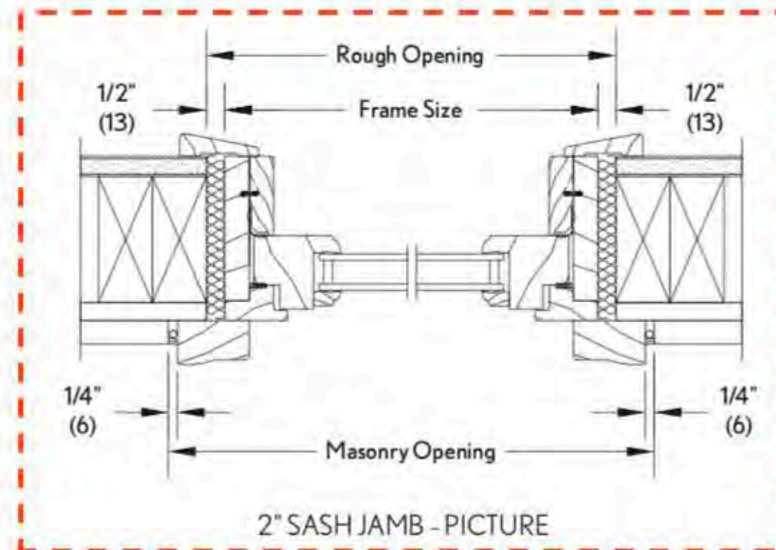
2" SASH HEAD JAMB AND SILL - TRANSOM



2" SASH JAMB - TRANSOM



2" SASH HEAD JAMB AND SILL - PICTURE



2" SASH JAMB - PICTURE

NOTES:

- Elevations shown represent standard transoms without subsill. Add 15/16" (24) for direct glaze and 1 3/32" (28) for in sash to the rough opening height for standalone unit.
- Construction details without subsill not shown.
- Please consult your local Marvin® representative for more information.

Wood Ultimate Double Hung Round Top: **WUDHRT**



REAR MUDROOM WINDOWS

MARVIN
ULTIMATE DOUBLE HUNG
NEXT GENERATION

A contemporary classic, our Ultimate Double Hung Next Generation window blends traditional beauty with state-of-the-art window performance.

Find a Dealer

View All Double Hung Windows

Features & Options

Features

- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites
- Hardware
- Shades
- Screens
- Home Automation

Features | Single Hung | Standard Specifications

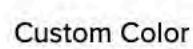


Features

- **DESIGN VERSATILITY:** With an array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and hundreds of roundtop sizes.
- **EXCLUSIVE AUTOLOCK:** Activates when the sashes are closed, locking the window.
- **ALUMINUM INTER-LOCK:** Eliminates drafts and improves the window's overall structural integrity.
- **NARROW CHECKRAIL:** Provides a sleek aesthetic to maximize daylight opening while maintaining historical accuracy.
- **SASH BALANCE SYSTEMS:** Enable smooth operation even at the largest sizes.
- **FIRST-RATE ENERGY EFFICIENCY:** Meet ENERGY STAR standards in energy efficiency with multiple glass options for various regions, climates and weather needs.
- **EXPANSIVE SIZES:** Larger than 5' wide by 10' tall.



Home Automation





Features & Options

Features

Coastal

Exterior Finish

Casing

Interior Finish

Glass

Divided Lites

Hardware

Shades

Screens

Home Automation

Simulated Divided Lite

Grilles | Patterns

Simulated Divided Lite with Spacer Bar (SDLS)

Simulated Divided Lite (SDL)

Simulated Divided Lite

- Simulated Divided Lite with Spacer Bar (SDLS) - an energy-efficient way to create the look of divided lites. SDLS bars are permanently adhered to both sides of the glass. A spacer bar is installed between the glass, creating the essence of Authentic Divided Lites.
- Simulated Divided Lite (SDL) - SDL bars are permanently adhered to both sides of the glass.

Professional Resources

Sizes / Elevations

Architectural Detail Manuals

Energy Information

Construction Specifications

Installation Instructions

Parts Manuals

Drawings

Sizes / Elevations























































Title

Clad Ultimate Double Hung Next Generation Elevations

Clad Ultimate Double Hung Picture Unit Next Generation Elevations

Clad Ultimate Double Hung Transom Unit Next Generation Elevations

CLAD ULTIMATE DOUBLE HUNG NEXT GENERATION

| MO (mm) | 1'9 3/4 (552) | 2'13/4 (654) | 2'5 3/4 (756) | 2'7 3/4 (806) | 2'9 3/4 (857) | 2'11 3/4 (908) |
|--|--|--|--|--|--|--|
| RO (mm) | 1'10 1/4 (565) | 2'21/4 (667) | 2'6 1/4 (768) | 2'8 1/4 (819) | 2'10 1/4 (870) | 3'0 1/4 (921) |
| FS (mm) | 1'9 1/4 (540) | 2'11/4 (641) | 2'5 1/4 (743) | 2'7 1/4 (794) | 2'9 1/4 (845) | 2'11 1/4 (895) |
| DLO (mm) | 14 47/64 (347) | 18 47/64 (476) | 22 47/64 (577) | 24 47/64 (628) | 26 47/64 (679) | 28 47/64 (730) |
| 2'7 3/4 (806) 2'8 (813) 2'7 1/2 (800) 10 3/4 (273) |  CUDH-NG1612 |  CUDH-NG2012 |  CUDH-NG2412 |  CUDH-NG2612 |  CUDH-NG2812 |  CUDH-NG3012 |
| 2'11 3/4 (908) 3'0 (914) 2'11 1/2 (902) 12 3/4 (324) |  CUDH-NG1614 |  CUDH-NG2014 |  CUDH-NG2414 |  CUDH-NG2614 |  CUDH-NG2814 |  CUDH-NG3014 |
| 3'3 3/4 (1010) 3'4 (1016) 3'3 1/2 (1003) 14 3/4 (375) |  CUDH-NG1616 |  CUDH-NG2016 |  CUDH-NG2416 |  CUDH-NG2616 |  CUDH-NG2816 |  CUDH-NG3016 |
| 3'7 3/4 (1111) 3'8 (1118) 3'7 1/2 (1105) 16 3/4 (425) |  CUDH-NG1618 |  CUDH-NG2018 |  CUDH-NG2418 |  CUDH-NG2618 |  CUDH-NG2818 |  CUDH-NG3018 |
| 3'11 3/4 (1213) 4'0 (1219) 3'11 1/2 (1207) 18 3/4 (476) |  CUDH-NG1620 |  CUDH-NG2020 |  CUDH-NG2420 |  CUDH-NG2620 |  CUDH-NG2820 |  CUDH-NG3020 |
| 4'3 3/4 (1314) 4'4 (1321) 4'3 1/2 (1308) 20 3/4 (527) |  CUDH-NG1622 |  CUDH-NG2022 |  CUDH-NG2422 |  CUDH-NG2622 |  CUDH-NG2822 |  CUDH-NG3022 |
| 4'7 3/4 (1416) 4'8 (1422) 4'7 1/2 (1410) 22 3/4 (578) |  CUDH-NG1624 |  CUDH-NG2024 |  CUDH-NG2424 |  CUDH-NG2624 |  CUDH-NG2824 |  CUDH-NG3024 |
| 4'11 3/4 (1518) 5'0 (1524) 4'11 1/2 (1511) 24 3/4 (629) |  CUDH-NG1626 |  CUDH-NG2026 |  CUDH-NG2426 |  CUDH-NG2626 |  CUDH-NG2826 |  CUDH-NG3026 |
| 5'3 3/4 (1619) 5'4 (1626) 5'3 1/2 (1613) 26 3/4 (679) |  CUDH-NG1628 |  CUDH-NG2028 |  CUDH-NG2428 |  CUDH-NG2628 |  CUDH-NG2828 |  CUDH-NG3028 E |

MULTIPLE ASSEMBLY CONVERSIONS

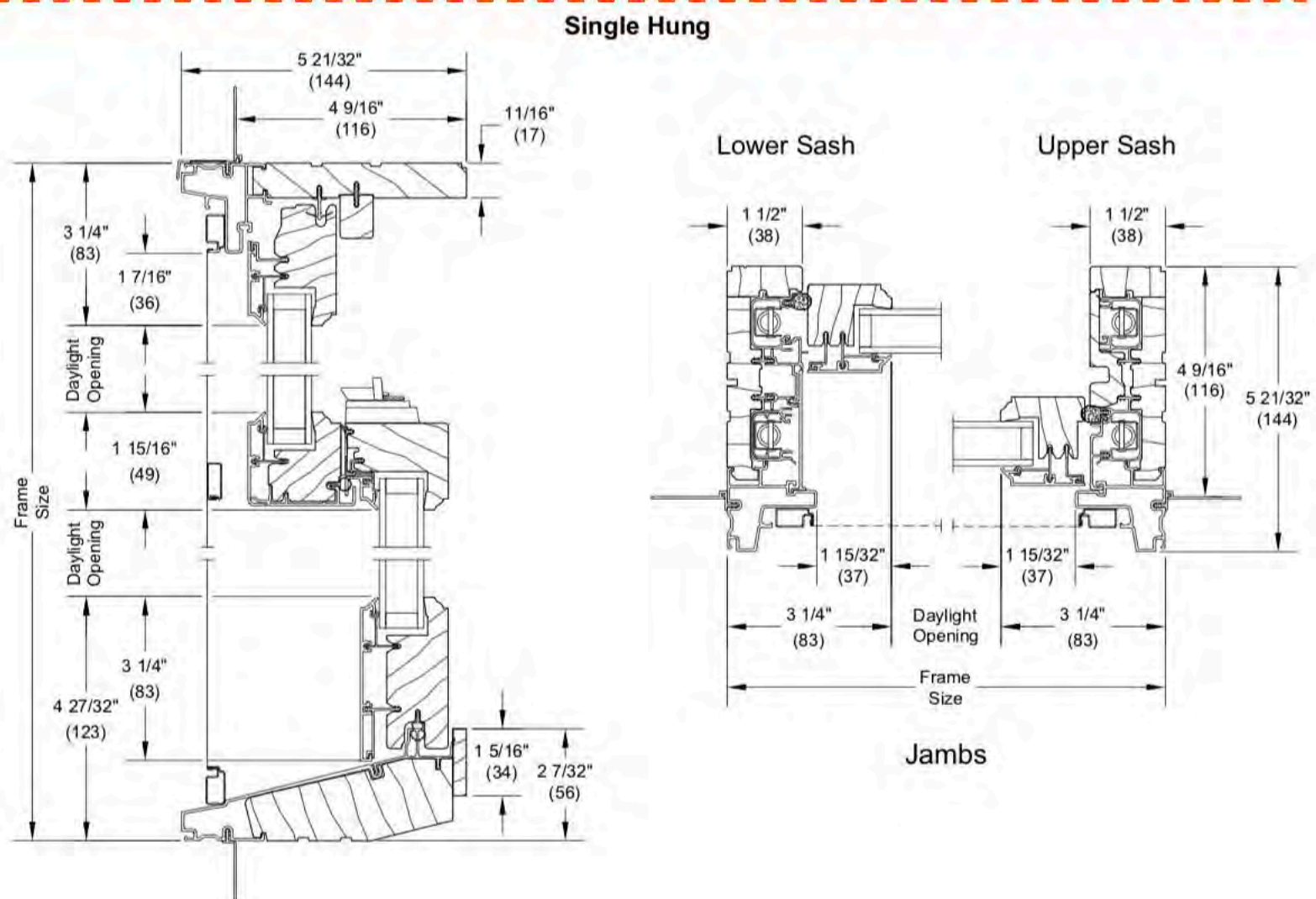
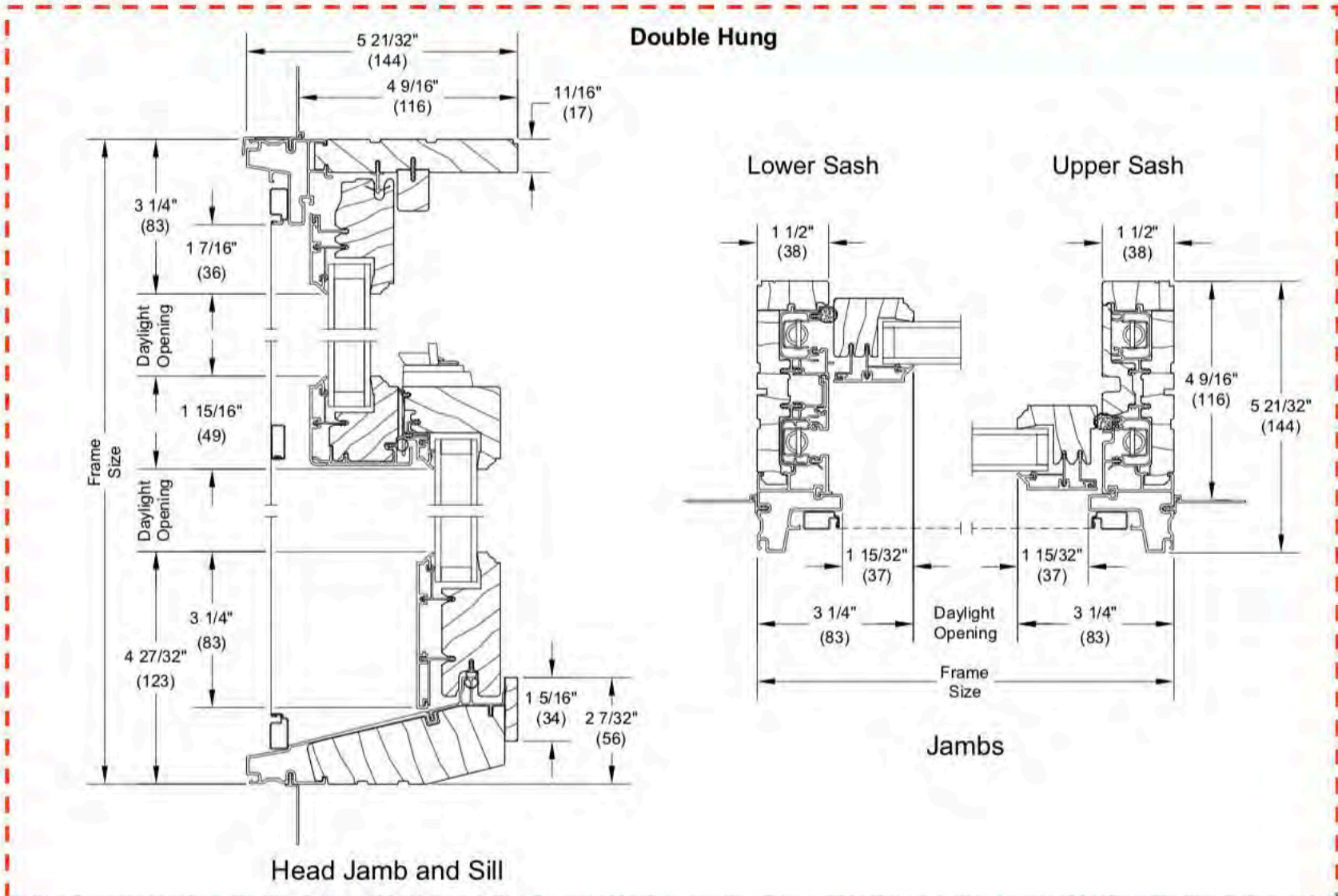
| ROUGH OPENING | | MASONRY OPENING WITHOUT BMC | |
|-------------------------------------|-----------------------------------|---------------------------------------|----------------------------------|
| Width | Height | Width | Height |
| Add all frame sizes plus 1" (25) | Add frame sizes plus 1/2" (13) | Add all frame sizes plus 1/2" (13) | Add frame sizes plus 1/4" (6) |

Clad Ultimate Double Hung Next Generation: **CUDH-NG**

Clad Ultimate Double Hung - Next Generation 2.0

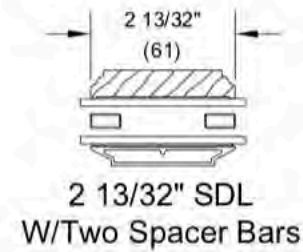
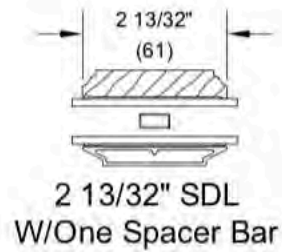
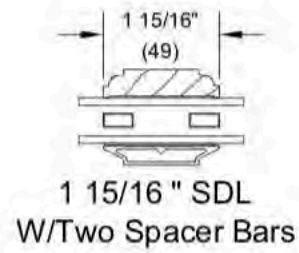
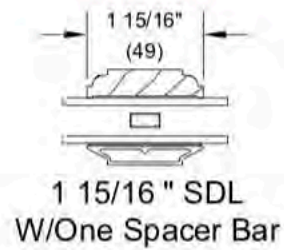
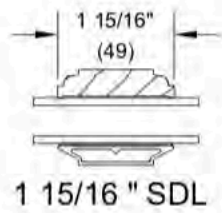
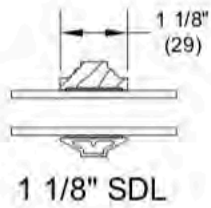
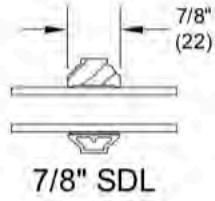
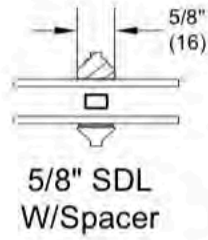
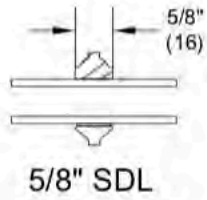
Section Details: Operating

Scale: 3" = 1' 0"



Clad Ultimate Double Hung - Next Generation 2.0

Lite Options





Features & Options

Features

- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites
- Hardware
- Screens

Features | Standard Specifications



Features

- Featuring an opening that is wider than ever, the Ultimate Push Out Awning adds light to a room and provides better airflow and expansive, open views.
- Innovative engineering allows the window to be opened easily by turning the handle and pushing out the sash.
- The Ultimate Awning can be used on its own or as a complement to picture or casement windows.



This product is
CE certified.

GARAGE + BASEMENT AWNING

MARVIN ULTIMATE PUSH OUT
AWNING

The Marvin Ultimate Push Out Awning window features innovative engineering that allows the window to be opened easily by turning the handle and pushing out the sash. The Ultimate Push Out Awning can be used on its own or as a complement to picture or casement windows.

Find a Dealer


[View All Awning Windows](#)



Features & Options

- Features
- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites
- Hardware
- Screens

Cladding Colors | Wood Options

| | | |
|---|--|---|
|  |  |  |
| Copper (Pearlescent) | Bright Silver (Pearlescent) | Liberty Bronze (Pearlescent) |
|  |  |  |
| Clay | Suede | Gunmetal |
|  |  |  |
| Cashmere | Stone White | Sierra White |
|  |  |  |
| Coconut Cream | Pebble Gray | Cadet Gray |
|  |  |  |
| Cascade Blue | Hampton Sage | Evergreen |
|  |  |  |
| Bronze | Bahama Brown | Wineberry |
|  |  | |
| Ebony | Custom Color | |

Cladding Colors

Marvin's low maintenance, clad-wood products feature an extruded aluminum exterior with high performance PVDF fluoropolymer paint finish as a standard that offers superior resistance to fading and chalking and meets the toughest AAMA 2605 standard. Marvin's palette of nineteen durable colors includes a spectrum of rich colors and three fresh, pearlescent finishes backed by a twenty year warranty.

Custom Colors

Any color. Any window or door. You name it.

No matter what your inspiration for a custom window or door color, Marvin® will match it. You get any color your heart desires, with your own personal custom color name and a 20-year warranty.

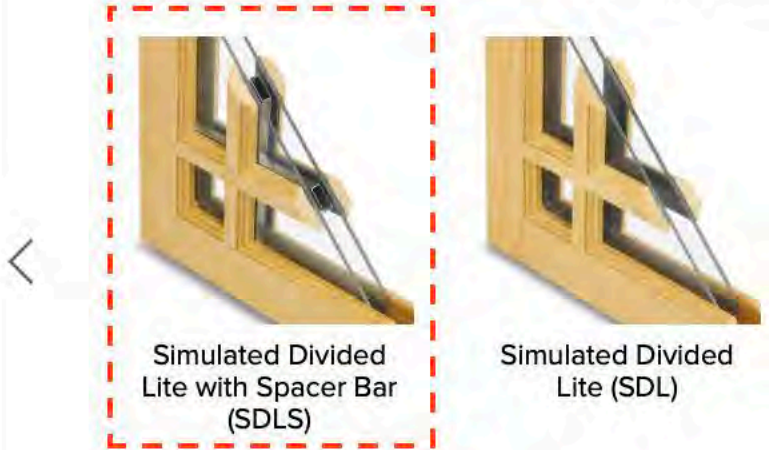
See your Marvin dealer for details and ask about special pricing.



Features & Options

- Features
- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites
- Hardware
- Screens

Simulated Divided Lite | Grilles | Authentic Divided Lite | Patterns



Simulated Divided Lite

- **Simulated Divided Lite with Spacer Bar (SDLS)** - an energy-efficient way to create the look of divided lites. SDLS bars are permanently adhered to both sides of the glass. A spacer bar is installed between the glass, creating the essence of Authentic Divided Lites.
- **Simulated Divided Lite (SDL)** - SDL bars are permanently adhered to both sides of the glass.


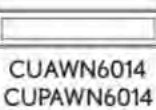
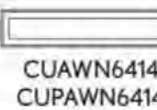
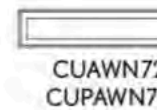



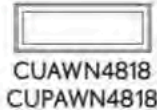

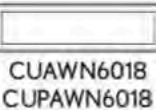
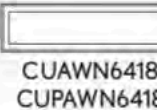

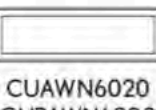
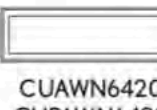



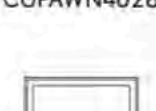
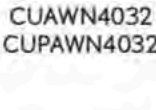
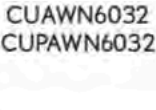






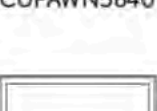
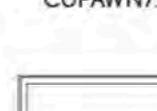
Professional Resources

- Sizes / Elevations
- Architectural Detail Manuals
- Energy Information
- Construction Specifications
- Installation Instructions
- Owners Manuals
- Parts Manuals
- Drawings

Sizes / Elevations

| Title | |
|---|---|
|  | Clad Ultimate Awning Push Out Awning Elevations |
|  | Wood Ultimate Awning Push Out Awning Elevations |

CLAD ULTIMATE AWNING/PUSH OUT AWNING

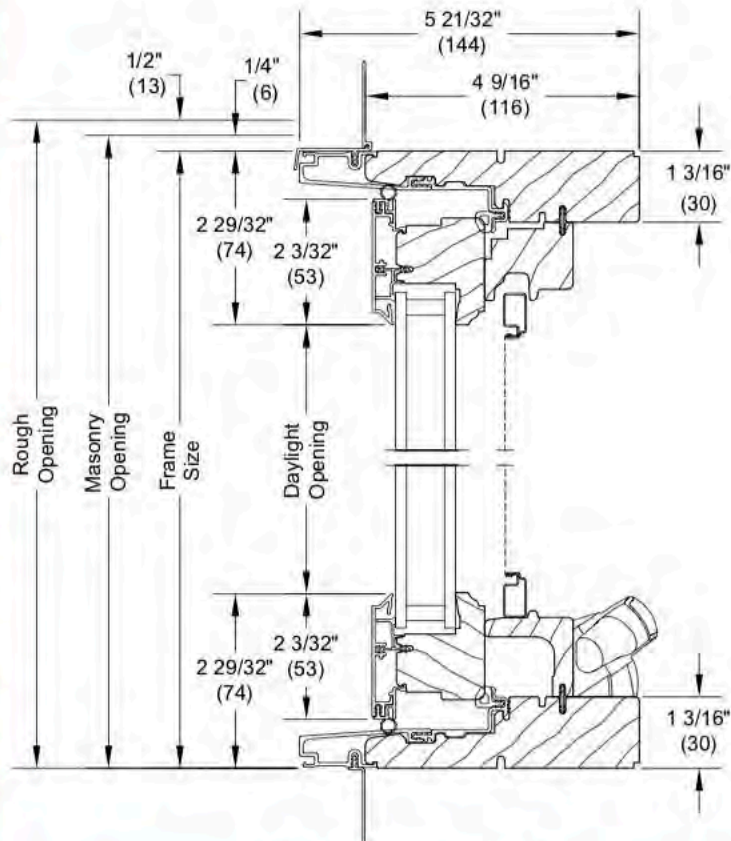
| MO (mm) | 3 - 1/2 (927) | 3 - 4 1/2 (1028) | 4 - 1/2 (1232) | 4 - 8 1/2 (1435) | 5 - 1/2 (1537) | 5 - 4 1/2 (1638) | 6 - 1/2 (1842) |
|-------------------|---|---|---|---|---|---|---|
| RO (mm) | 3 - 1 (939) | 3 - 5 (1041) | 4 - 1 (1245) | 4 - 9 (1448) | 5 - 1 (1549) | 5 - 5 (1651) | 6 - 1 (1854) |
| FS (mm) | 3 - 0 (914) | 3 - 4 (1016) | 4 - 0 (1219) | 4 - 8 (1422) | 5 - 0 (1524) | 5 - 4 (1626) | 6 - 0 (1829) |
| DLO (mm) | 2 - 6 13/64 (767) | 2 - 10 13/64 (869) | 3 - 6 13/64 (1072) | 4 - 2 13/64 (1275) | 4 - 6 13/64 (1377) | 4 - 10 13/64 (1478) | 5 - 6 13/64 (1682) |
| 1 - 1 3/8 (339) |  |  |  |  |  |  |  |
| 1 - 3 3/8 (390) |  |  |  |  |  |  |  |
| 1 - 5 3/8 (441) |  |  |  |  |  |  |  |
| 1 - 7 3/8 (492) |  |  |  |  |  |  |  |
| 1 - 11 3/8 (593) |  |  |  |  |  |  |  |
| 2 - 3 3/8 (695) |  |  |  |  |  |  |  |
| 2 - 7 3/8 (796) |  |  |  |  |  |  |  |
| 2 - 11 3/8 (898) |  |  |  |  |  |  |  |
| 3 - 3 3/8 (1000) |  |  |  |  |  |  |  |
| 3 - 7 3/8 (1101) |  |  |  |  |  |  |  |
| 3 - 11 3/8 (1203) |  |  |  |  |  |  |  |

Clad Ultimate Casement, Awning and Picture

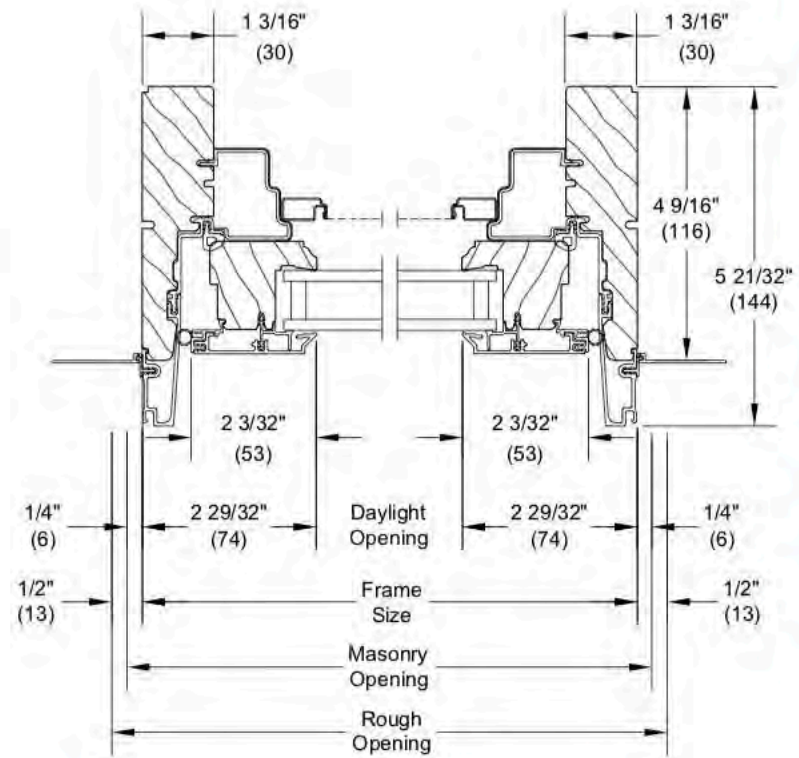
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Scale: 3" = 1' 0"

Operating

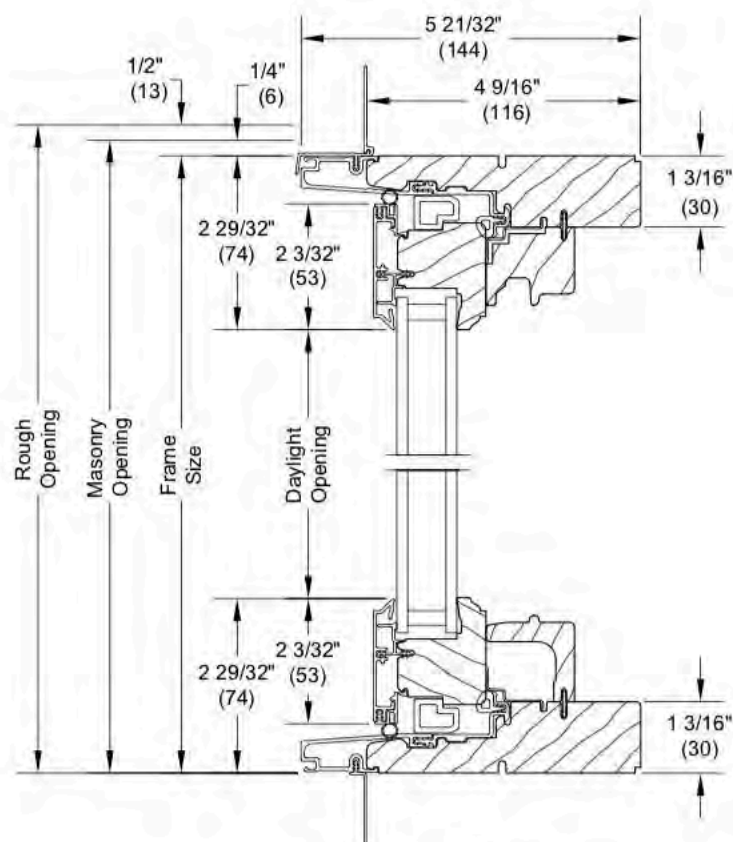


Head Jamb and Sill

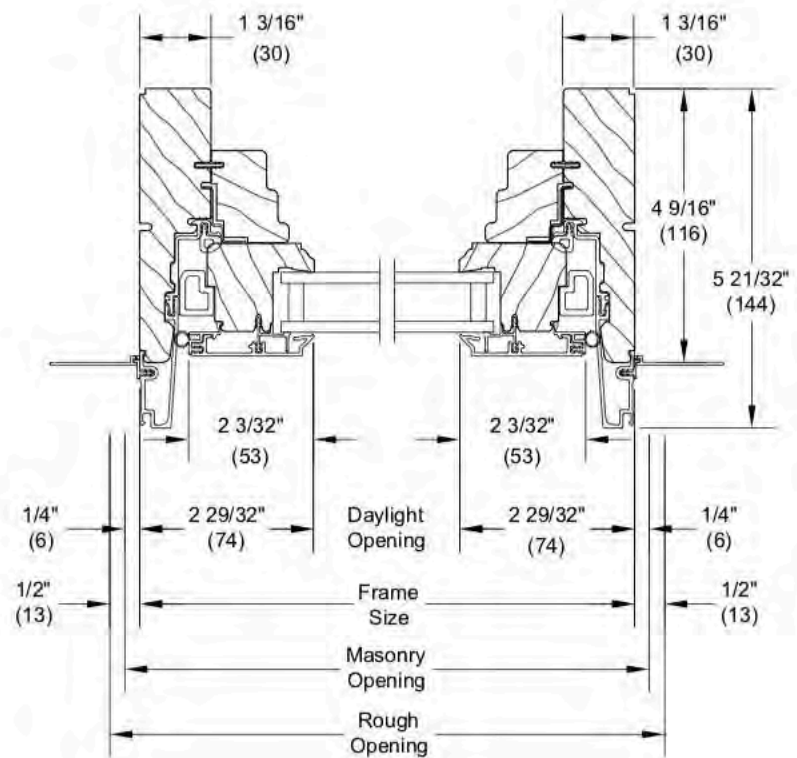


Jambs

Stationary/Picture



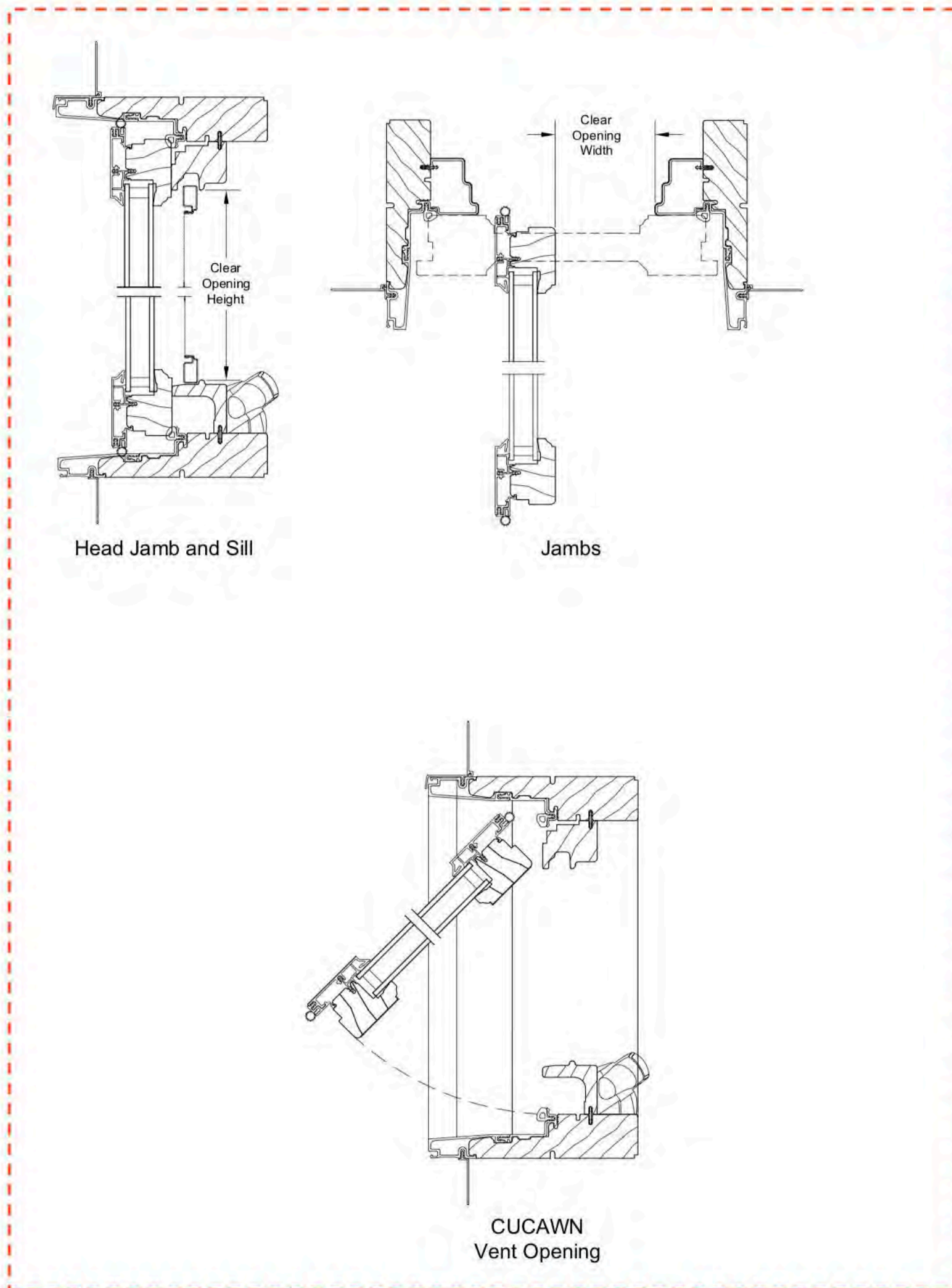
Head Jamb and Sill



Jambs

Clad Ultimate Casement, Awning and Picture

Egress and Vent Opening Measurements for Full Frame Casement and Awning





MUDROOM REAR + GARAGE SIDE DOORS

MARVIN ULTIMATE SWINGING
FRENCH DOOR

The Marvin Ultimate Swinging French Door is a modern classic. Unmatched in fit and finish, these doors combine traditional design and expert Marvin craftsmanship with endless design combinations that will complement any space. Choose from Inswing or Outswing doors in a variety of styles.

Find a Dealer

View All Swinging Patio Doors

Features & Options

Features

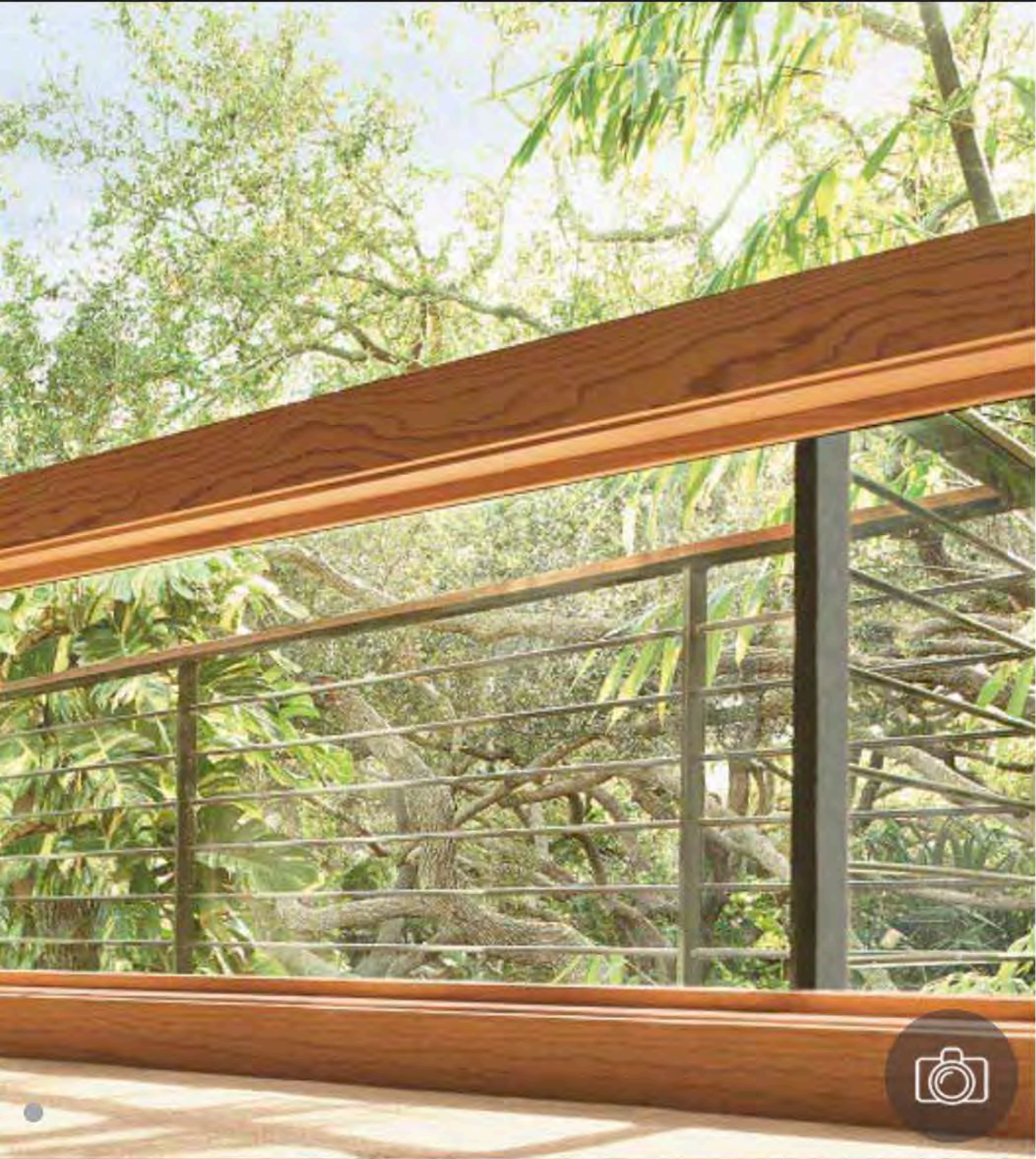
- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites
- Hardware
- Sills
- Screens
- Home Automation

Features | Standard Specifications



Standard
Specifications

- Tempered, one-lite Low E2 with argon insulating glass
- Available with traditional shadow lines of a raised panel or the crisp, clean look of a flat panel
- Multi-point locking system on the active panel
- Head and foot bolts on inactive panel
- Satin Taupe adjustable hinges
- Bare wood interior
- Extruded aluminum clad exterior (clad units)
- All-wood brick mould casing (wood units)
- Optional Oak sill liner
- 4 9/16" jambs
- Most Ultimate French Doors have a DP40 rating for commercial-grade performance



MARVIN ULTIMATE SWINGING FRENCH DOOR

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[Find a Dealer](#)

[View All Swinging Patio Doors](#)

Features & Options

- Features
- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites**
- Hardware
- Sills
- Screens
- Home Automation

Simulated Divided Lite

Grilles | Authentic Divided Lite | Patterns



Simulated Divided Lite with Spacer Bar (SDLS)



Simulated Divided Lite (SDL)

Simulated Divided Lite

- **Simulated Divided Lite with Spacer Bar (SDLS)** - an energy-efficient way to create the look of divided lites. SDLS bars are permanently adhered to both sides of the glass. A spacer bar is installed between the glass, creating the essence of Authentic Divided Lites.
- **Simulated Divided Lite (SDL)** - SDL bars are permanently adhered to both sides of the glass.



MARVIN ULTIMATE SWINGING
FRENCH DOOR

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Find a Dealer

[View All Swinging Patio Doors](#)

Features & Options

- Features
- Coastal
- Exterior Finish
- Casing
- Interior Finish
- Glass
- Divided Lites
- Hardware
- Sills
- Screens
- Home Automation

Cladding Colors | Wood Options

| | | |
|---|--|---|
|  <div>Copper (Pearlescent)</div> |  <div>Bright Silver (Pearlescent)</div> |  <div>Liberty Bronze (Pearlescent)</div> |
|  <div>Clay</div> |  <div>Suede</div> |  <div>Gunmetal</div> |
|  <div>Cashmere</div> |  <div>Stone White</div> |  <div>Sierra White</div> |
|  <div>Coconut Cream</div> |  <div>Pebble Gray</div> |  <div>Cadet Gray</div> |
|  <div>Cascade Blue</div> |  <div>Hampton Sage</div> |  <div>Evergreen</div> |

Cladding Colors

Marvin's low maintenance, clad-wood products feature an extruded aluminum exterior with high performance PVDF fluoropolymer paint finish as a standard that offers superior resistance to fading and chalking and meets the toughest AAMA 2605 standard. Marvin's palette of nineteen durable colors includes a spectrum of rich colors and three fresh, pearlescent finishes backed by a twenty year warranty.

Custom Colors

Any color. Any window or door. You name it.

No matter what your inspiration for a custom window or door color, Marvin® will match it. You get any color your heart desires, with your own personal custom color name and a 20-year warranty.

See your Marvin dealer for details and ask about special pricing.

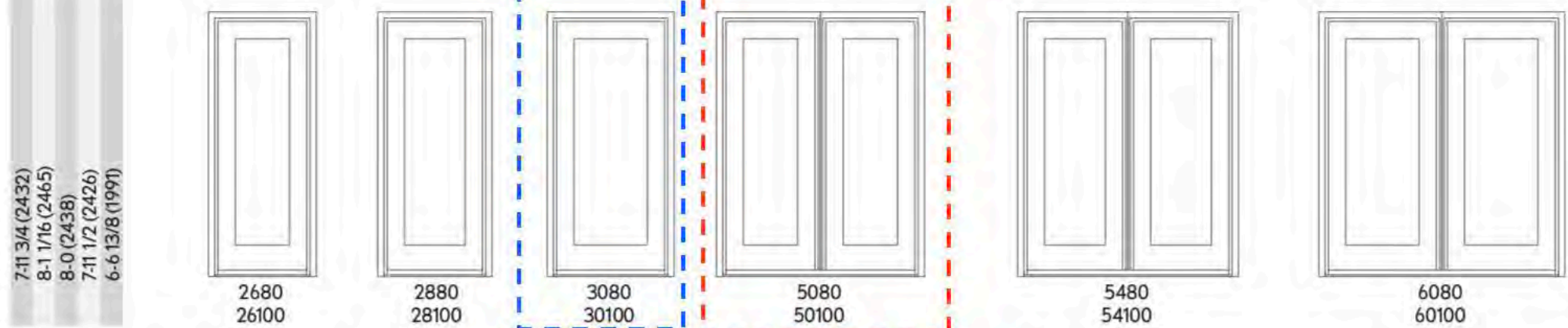
2 1/4" SWINGING FRENCH DOOR

MUDROOM ENTRY: CLAD INSWING

GARAGE SIDE DOOR: CLAD OUTSWING / PAIR

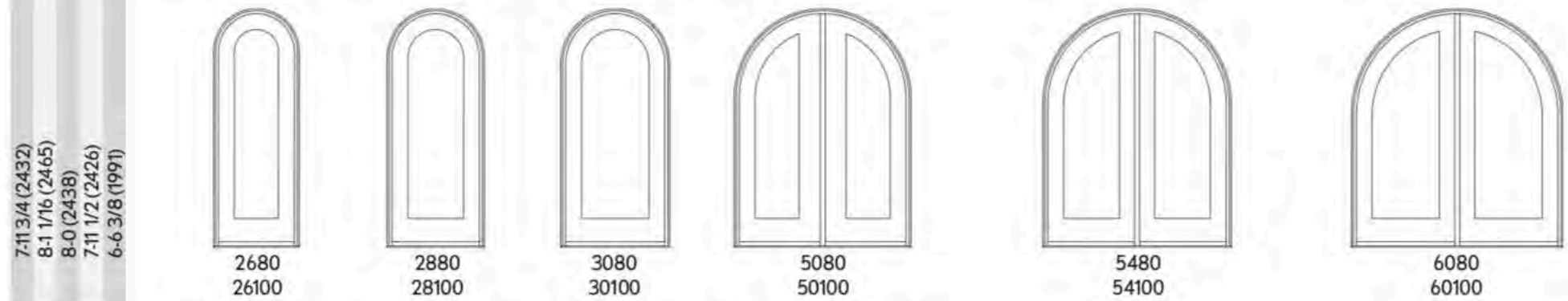
8/0 HEIGHT RECTANGLE INSWING AND OUTSWING (10/0 HEIGHT SEE BELOW)

| | | | | | | |
|--------------|-----------------|-----------------|-----------------|----------------|----------------|-----------------|
| Clad MO (mm) | 2-7 15/16 (811) | 2-9 15/16 (862) | 3-1 15/16 (964) | 5-1 1/8 (1533) | 5-5 1/8 (1654) | 6-1 1/8 (1857) |
| Wood MO (mm) | 2-10 9/16 (878) | 3-0 9/16 (929) | 3-4 9/16 (1030) | 5-3 3/4 (1619) | 5-7 3/4 (1721) | 6-3 3/4 (1924) |
| RO (mm) | 2-8 7/16 (824) | 2-10 7/16 (875) | 3-2 7/16 (976) | 5-15/8 (1565) | 5-5 5/8 (1667) | 6-15/8 (1870) |
| FS (mm) | 2-7 7/16 (799) | 2-9 7/16 (849) | 3-17/16 (951) | 5-0 5/8 (1540) | 5-4 5/8 (1641) | 6-0 5/8 (1845) |
| DLO (mm) | 1-5 3/32 (434) | 1-7 3/32 (485) | 1-11 3/32 (587) | 1-5 3/32 (434) | 1-7 3/32 (485) | 1-11 3/32 (587) |



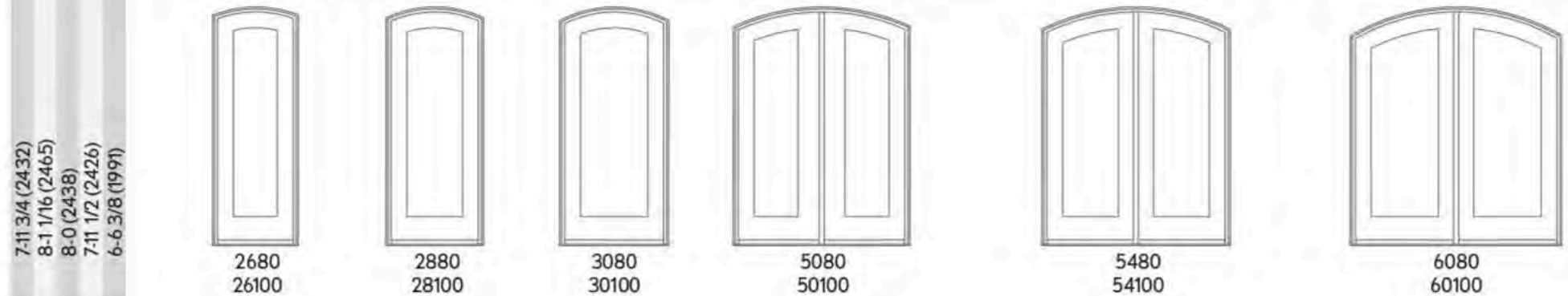
8/0 HEIGHT ARCHTOP RT2 INSWING AND OUTSWING (10/0 HEIGHT SEE BELOW)

| | | | | | | |
|--------------|-----------------|-----------------|-----------------|----------------|----------------|-----------------|
| Clad MO (mm) | 2-7 15/16 (811) | 2-9 15/16 (862) | 3-1 15/16 (964) | 5-1 1/8 (1533) | 5-5 1/8 (1654) | 6-1 1/8 (1857) |
| Wood MO (mm) | 2-10 9/16 (878) | 3-0 9/16 (929) | 3-4 9/16 (1030) | 5-3 3/4 (1619) | 5-7 3/4 (1721) | 6-3 3/4 (1924) |
| RO (mm) | 2-8 7/16 (824) | 2-10 7/16 (875) | 3-2 7/16 (976) | 5-15/8 (1565) | 5-5 5/8 (1667) | 6-15/8 (1870) |
| FS (mm) | 2-7 7/16 (799) | 2-9 7/16 (849) | 3-17/16 (951) | 5-0 5/8 (1540) | 5-4 5/8 (1641) | 6-0 5/8 (1845) |
| DLO (mm) | 1-5 3/32 (434) | 1-7 3/32 (485) | 1-11 3/32 (587) | 1-5 3/32 (434) | 1-7 3/32 (485) | 1-11 3/32 (587) |



8/0 HEIGHT ARCHTOP RT6 INSWING AND OUTSWING (10/0 HEIGHT SEE BELOW)

| | | | | | | |
|--------------|-----------------|-----------------|-----------------|----------------|----------------|-----------------|
| Clad MO (mm) | 2-7 15/16 (811) | 2-9 15/16 (862) | 3-1 15/16 (964) | 5-1 1/8 (1533) | 5-5 1/8 (1654) | 6-1 1/8 (1857) |
| Wood MO (mm) | 2-10 9/16 (878) | 3-0 9/16 (929) | 3-4 9/16 (1030) | 5-3 3/4 (1619) | 5-7 3/4 (1721) | 6-3 3/4 (1924) |
| RO (mm) | 2-8 7/16 (824) | 2-10 7/16 (875) | 3-2 7/16 (976) | 5-15/8 (1565) | 5-5 5/8 (1667) | 6-15/8 (1870) |
| FS (mm) | 2-7 7/16 (799) | 2-9 7/16 (849) | 3-17/16 (951) | 5-0 5/8 (1540) | 5-4 5/8 (1641) | 6-0 5/8 (1845) |
| DLO (mm) | 1-5 3/32 (434) | 1-7 3/32 (485) | 1-11 3/32 (587) | 1-5 3/32 (434) | 1-7 3/32 (485) | 1-11 3/32 (587) |



Clad 2 1/4" Inswing French Door: **CMIFD**
 Clad 2 1/4" Outswing French Door: **CMOFD**
 Wood 2 1/4" Inswing French Door: **WMIFD**
 Wood 2 1/4" Outswing French Door: **MOFD**

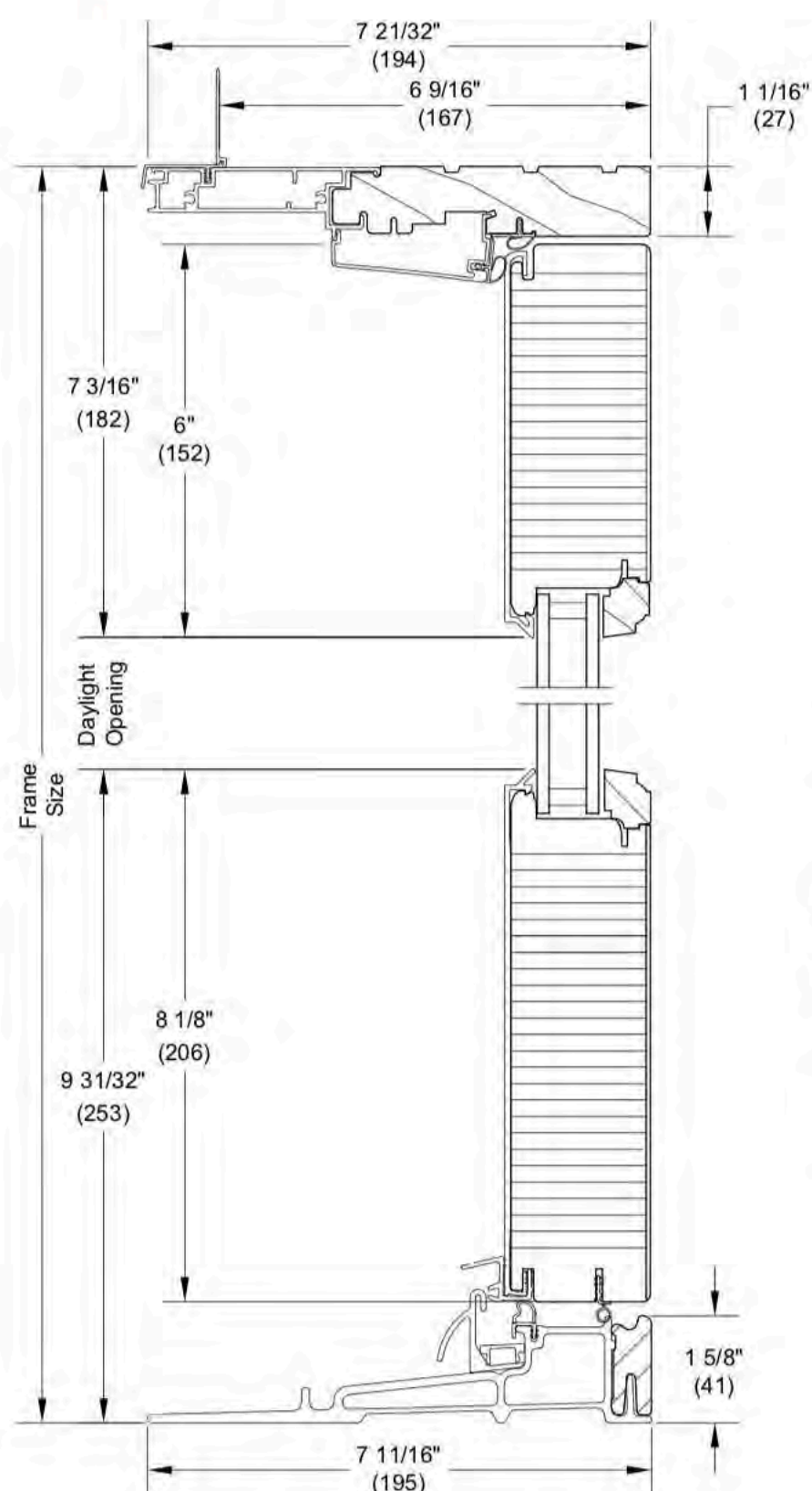
10-0 HEIGHTS:

| | 10-0 Height |
|--------------|---------------------|
| Clad MO (mm) | 9-13/4 (2788) |
| Wood MO (mm) | 10-1 1/16 (3075) |
| RO (mm) | 10-0 (3048) |
| FS (mm) | 9-11 1/2 (3035) |
| DLO (mm) | 8-6 3/8 (2600) O.A. |

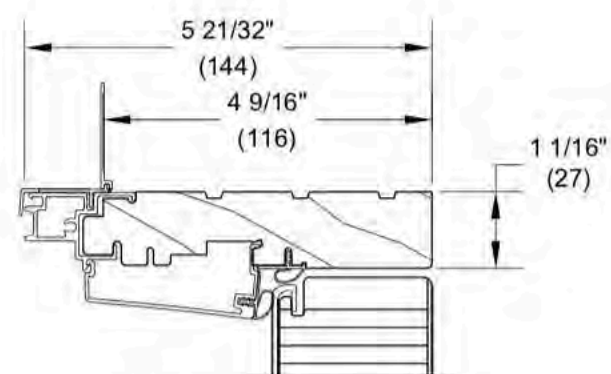
2 1/4" Clad Swinging French Doors

Inswing Section Details: Operating

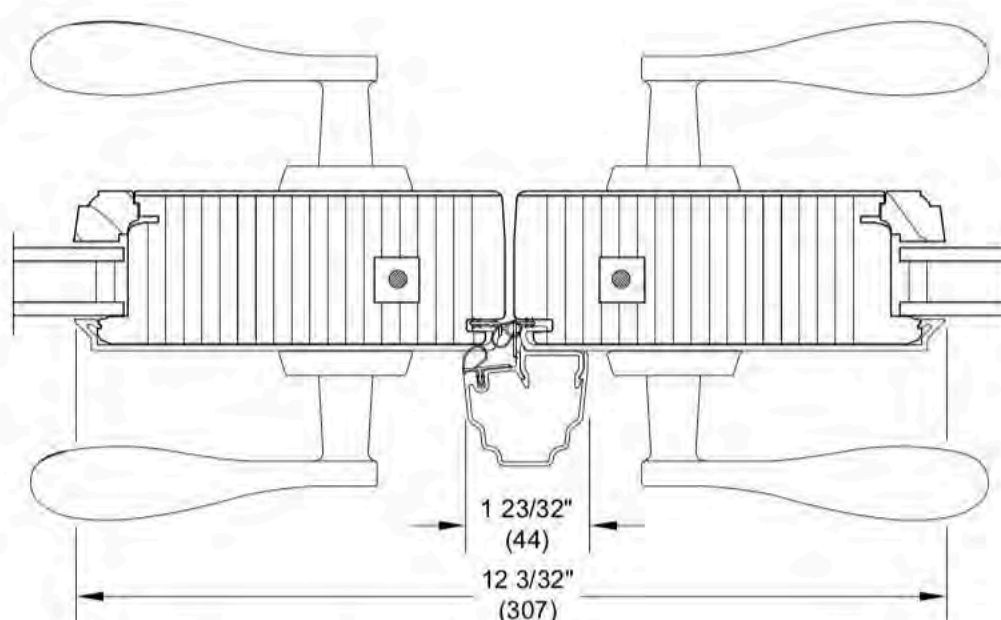
Scale: 3" = 1' 0"



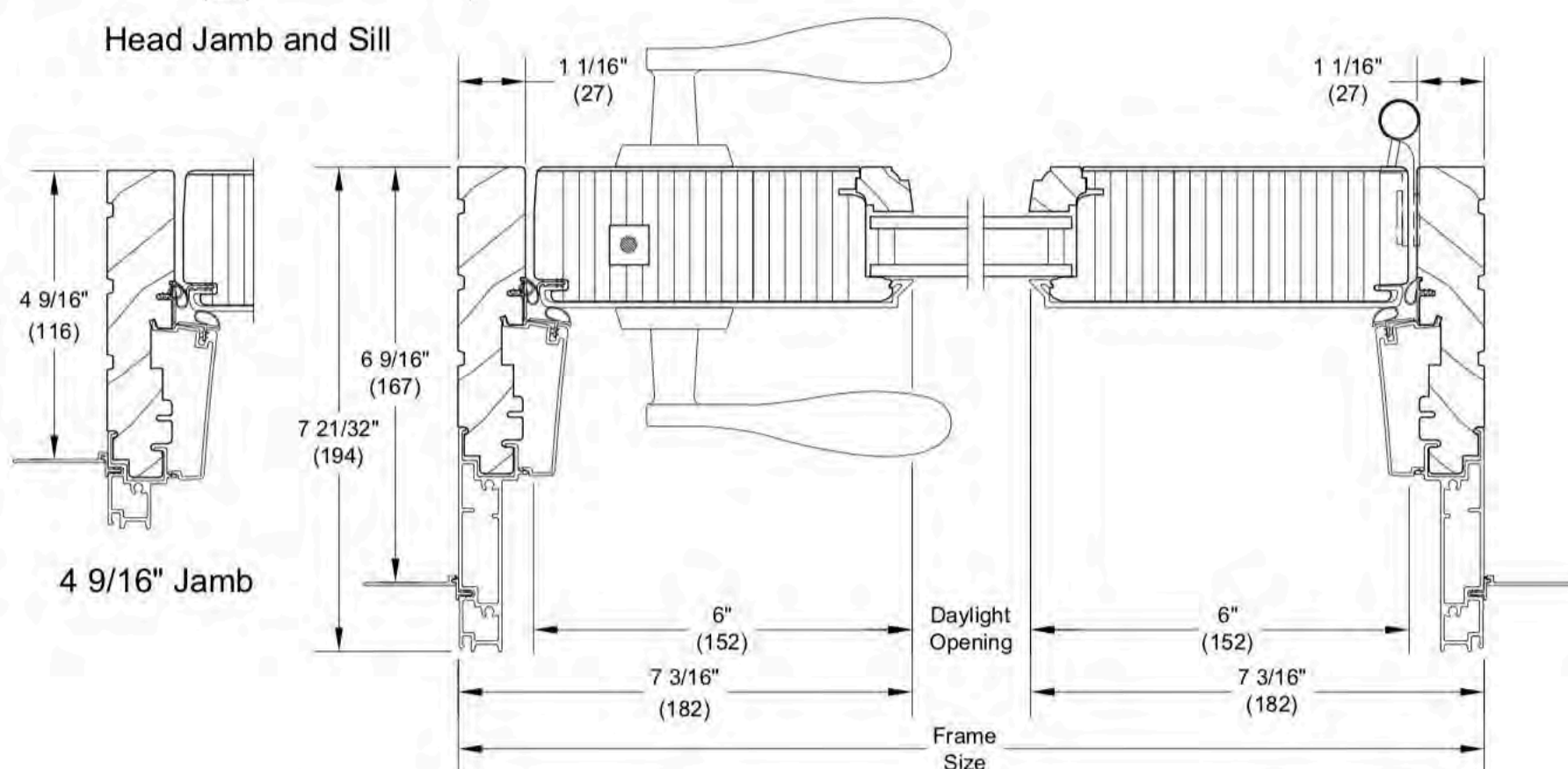
Head Jamb and Sill



4 9/16" Head Jamb



XX L Meeting Stiles



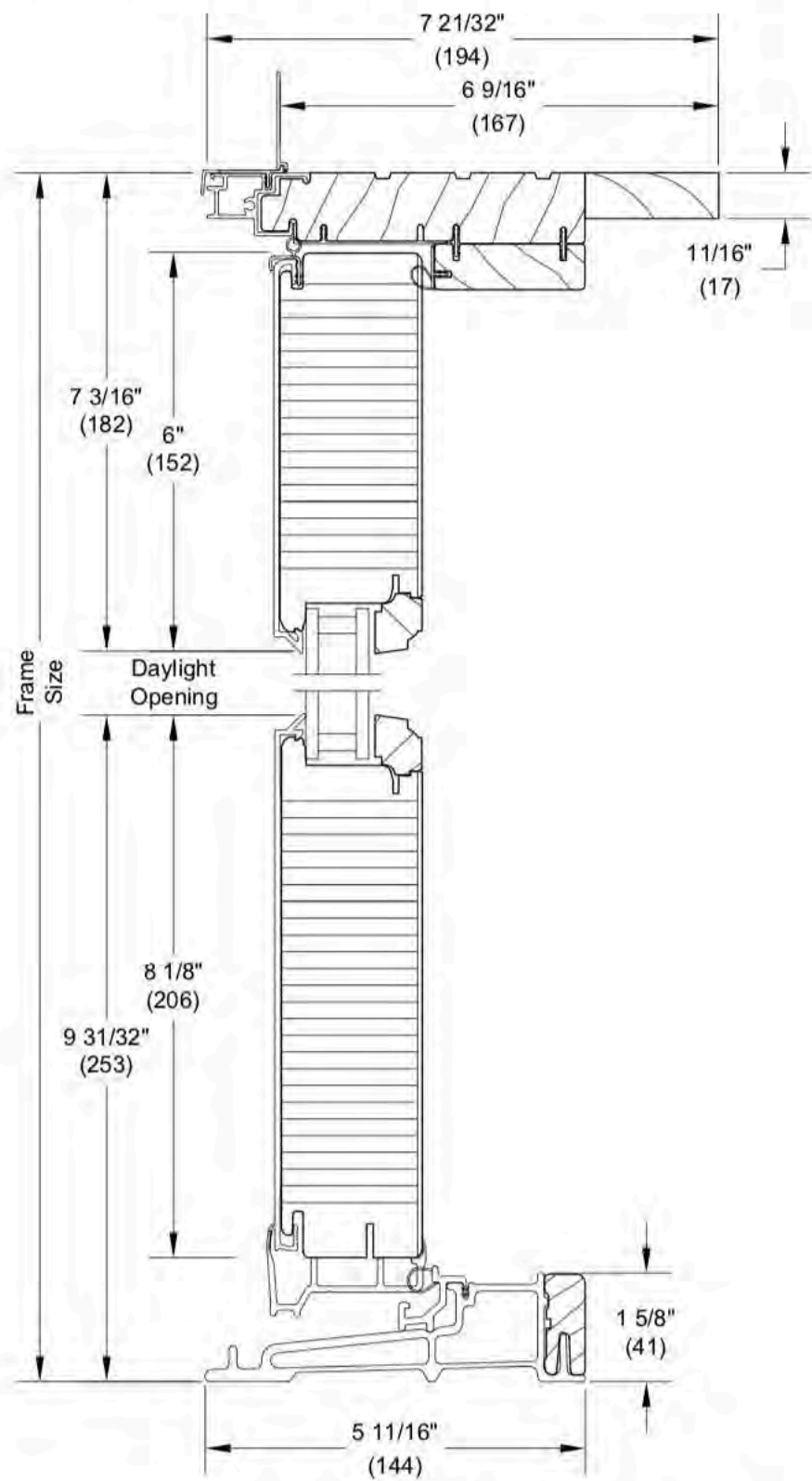
X R Jamb

NOTE: Square sticking is the default for the contemporary product.

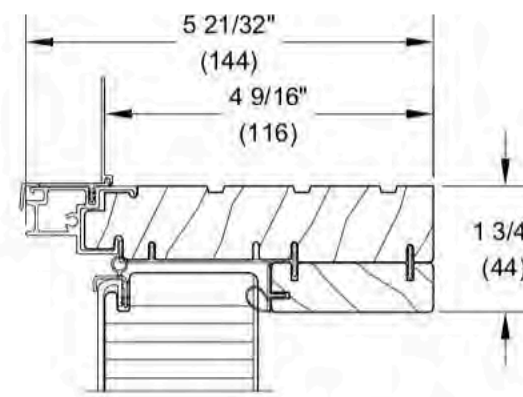
2 1/4" Clad Swinging French Doors

Outswing Section Details: Operating

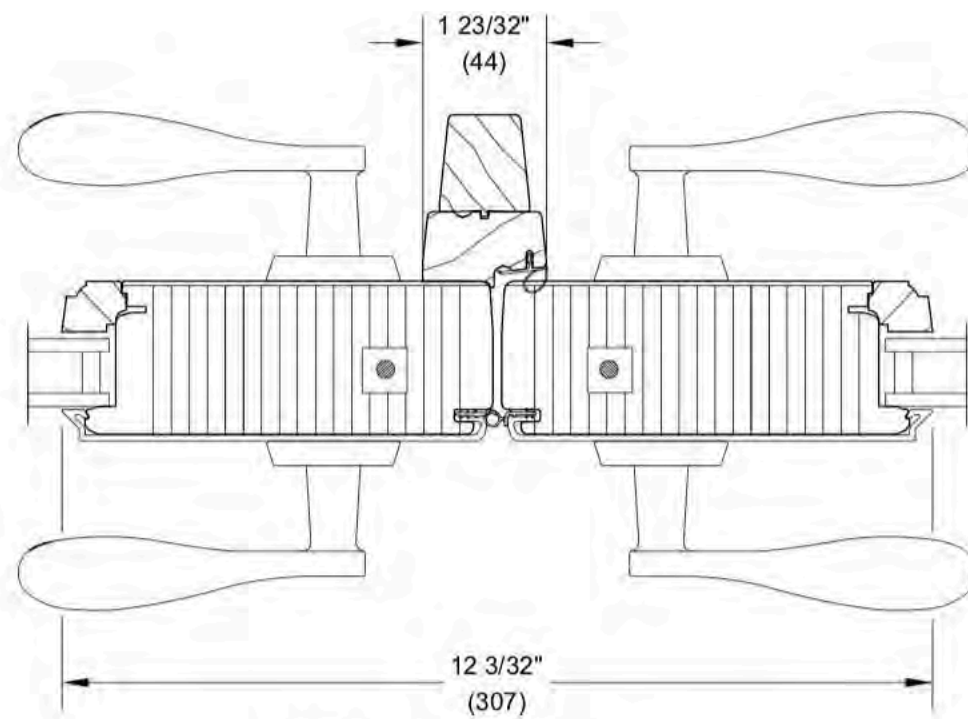
Scale: 3" = 1' 0"



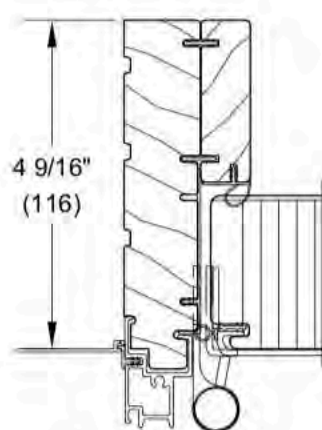
Head Jamb and Sill



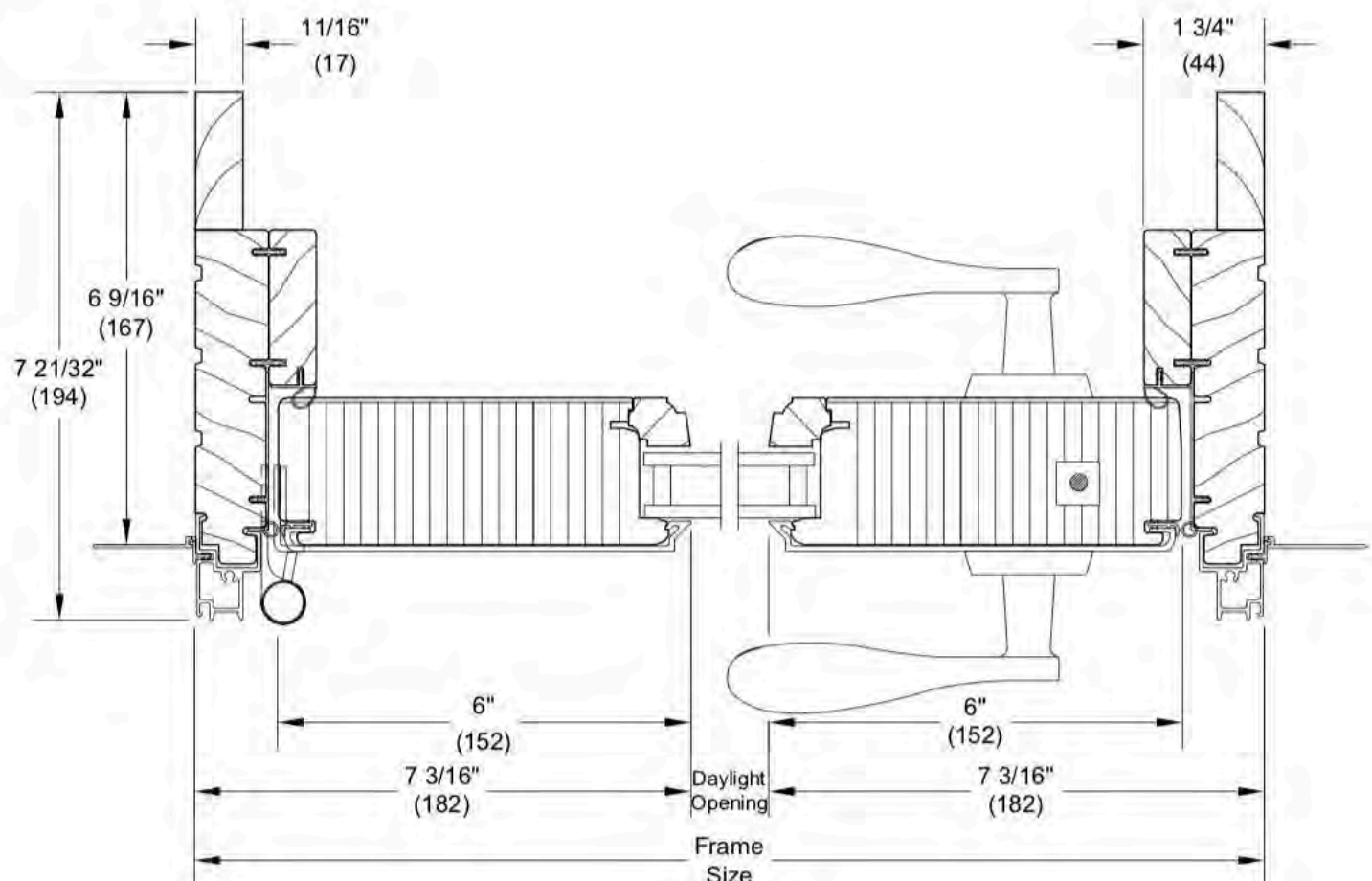
4 9/16" Head Jamb



XX L - Meeting Stiles



4 9/16" Jamb



X R - Jamb

GARAGE OVERHEAD DOOR

Signature[®] Carriage WOOD



Custom crafted wood doors provide distinctive charm and unmatched luxury

The Genuine. The Original.





Signature® Carriage Wood doors combine the classic swing-open appearance and detailing of carriage house wood doors with the convenience of sectional garage doors. Inspired by Amish craftsmen, premium wood is transformed into the finest garage doors.

Built better from the inside out



Ponderosa Collection, Buchanan model, (580 B) stained finish, 4PA- Four Pane Arched Top

Multiple designs and options let you choose the perfect complement to your home with our style, window and glass options.

World class door with the best species of wood available.

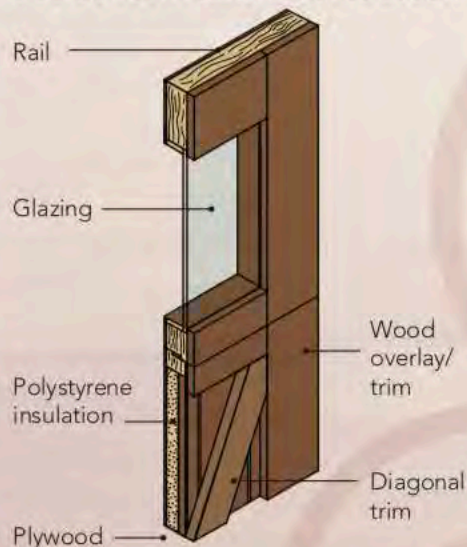
Polystyrene insulation can diminish street noise and provide quieter door operation. R-value* of 4.75 available for select models.

Our WindStorm™ wind load-rated system is available on select products to meet regulations for a variety of wind speeds.

*Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

Door construction

580 Series Premium Construction



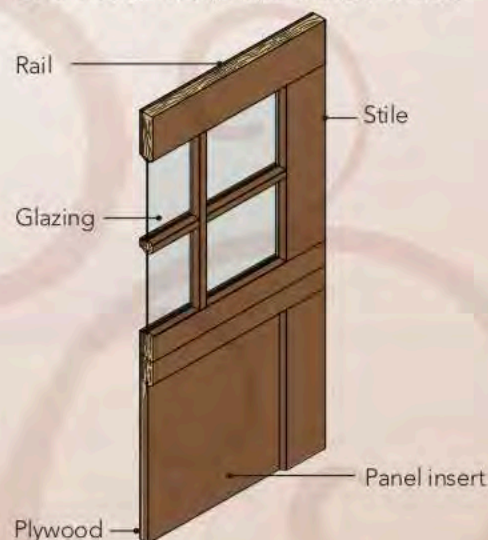
Paint or stain grade, insulation standard.

2" four-layer construction[†].

Polystyrene insulation provides an R-value of 4.75*.

[†] Thickness may vary slightly depending on wood type.

570 Series Standard Construction



Paint or stain grade, insulation optional.

Up to 1 5/8" thick rail and stile construction with panel inserts.

The perfect combination. We combine our trusted technical experience with the elegance of Amish craftsmanship to create a door that reflects handmade artistry built to stand the test of time.

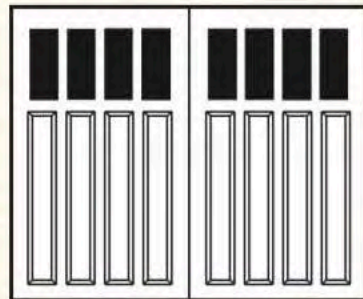
Parson Collection

Simply sophisticated, the Parson Collection's classic solid wood designs are the essence of luxury.
Doors provided in unfinished, paint-grade or stain-grade wood.

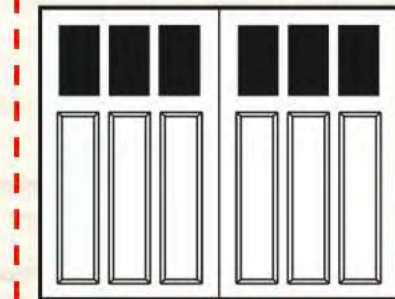
Premium Construction (Insulated)

Bristol Narrow
(580 BN)
Raised panel

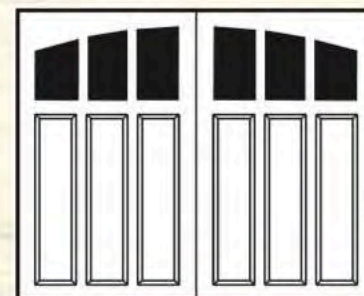
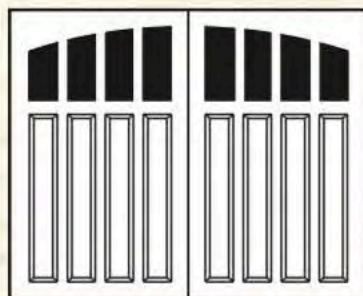
Square
top



Bristol Wide
(580 BW)
Raised panel



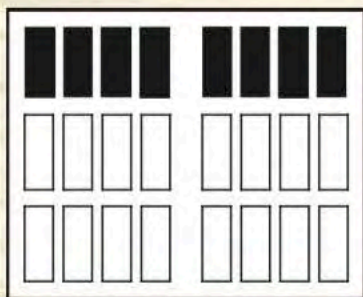
Arched
top



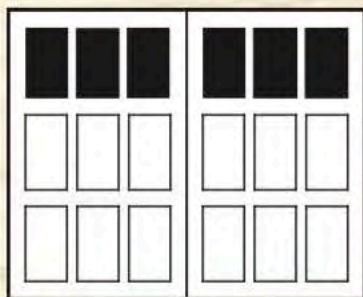
Standard Construction (Insulation optional)

Drake Narrow
(570 DN)

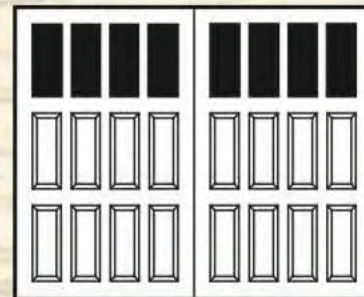
Square
top



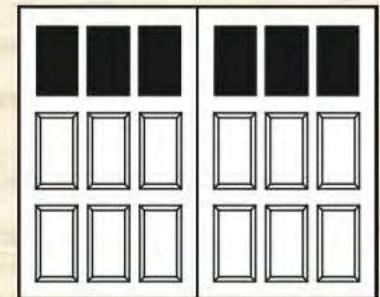
Drake Wide
(570 DW)



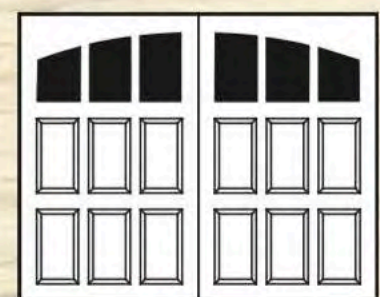
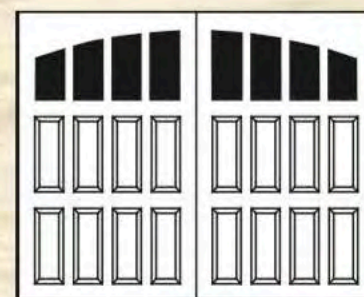
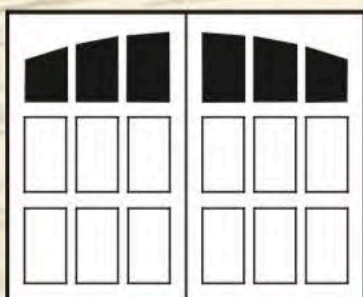
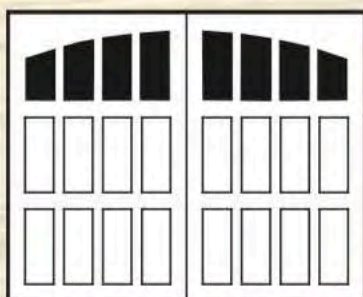
Kingston Narrow
(571 N)
Raised panel



Kingston Wide
(571 W)
Raised panel



Arched
top



Doors come standard without windows. Doors above are pictured with optional windows.
See additional window options on page 14.

Customize your door with windows and glass types

Choose a window style:

Single Door



3PS- Three Pane Square Top



3PA- Three Pane Arched Top



4PS- Four Pane Square Top



4PA- Four Pane Arched Top



6PS- Three over Three Square Top



6PA- Three over Three Arched Top



8PS- Four over Four Square Top



8PA- Four over Four Arched Top



2PS- Two Pane Square Top



2PA- Two Pane Arched Top



22S- Two over Two Square Top



22A- Two over Two Arched Top

Double Door



3PS- Three Pane Square Top



3PA- Three Pane Arched Top



4PS- Four Pane Square Top



4PA- Four Pane Arched Top



6PS- Three over Three Square Top



6PA- Three over Three Arched Top



8PS- Four over Four Square Top



8PA- Four over Four Arched Top



2PS- Two Pane Square Top



2PA- Two Pane Arched Top



22S- Two over Two Square Top



22A- Two over Two Arched Top

Double Door - Double Arch



3PD- Three Pane Double Arched Top



4PD- Four Pane Double Arched Top



6PD- Three over Three Double Arched Top



8PD- Four over Four Double Arched Top



2PD- Two Pane Double Arched Top



22D- Two over Two Double Arched Top

Not all window options are available for all models. Consult your Overhead Door™ Distributor for additional options that may be available.

2 Choose a wood species

Select the material for your door

Contact your Overhead Door™ Distributor to see samples of wood options.

| Wood Options *Consult factory for pricing | | | | | | | | | |
|--|--------------------------|--------------------------|------------------------------|---------------------|--------------------|----------|-------------------|----------|---------------|
| Doors provided in unfinished, paint-grade or stain-grade wood. | Paint grade | | | Stain grade | | | | | |
| | T1-11 4" Grooved Plywood | T1-11 8" Grooved Plywood | Medium Density Overlay (MDO) | Smooth/Luan Plywood | Rough sawn Plywood | Hemlock | Western Red Cedar | Mahogany | Knotty Cedar* |
| Model | | | | | | | | | |
| Parson Collection | | | | | | | | | |
| †Drake Narrow (570 DN) | | | Standard | Optional | | | | | |
| †Drake Wide (570 DW) | | | Standard | Optional | | | | | |
| †Kingston Narrow (571 N) | | | Standard | | | Standard | Optional | Optional | |
| †Kingston Wide (571 W) | | | Standard | | | Standard | Optional | Optional | |
| †Bristol Narrow (580 BN) | | | | | | Standard | Optional | | |
| †Bristol Wide (580 BW) | | | | | | Standard | Optional | | |
| Ponderosa Collection | | | | | | | | | |
| Buchanan (580 B) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |
| Dakota (580 D) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |
| Sierra (580 S) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |
| †Austin (570 A) | | | Standard | Optional | | | | | |
| †Baxter (570 B) | | | Standard | Optional | | | | | |
| Villa Madre Collection | | | | | | | | | |
| Ortega (580 Base) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |
| †Castille (570 C) | | | Standard | Optional | | Optional | Optional | Optional | |
| Medina (580 M) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |
| Pizarro (580 P) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |
| Cruz (580 C) | Optional | Optional | Standard | Optional | Optional | Optional | Optional | Optional | Optional |

*Call the wood group for special pricing **866-672-4154**

†Additional wood options are available. Please consult your factory Wood Door Specialist. odcwooddoor@OverheadDoor.com

| Base 580 Overlay Trim Options | | | | | |
|--|-------------|-------------|-------------------|----------|---------------|
| Model | Paint grade | Stain grade | | | |
| | Extira | Hemlock | Western Red Cedar | Mahogany | Knotty Cedar* |
| Parson Collection | | | | | |
| Bristol Wide (580 BW), Bristol Narrow (580 BN) | | Standard | Optional | | |
| Ponderosa Collection | | | | | |
| Buchanan (580 B), Dakota (580 D), Sierra (580 S) | Standard | Optional | Optional | Optional | Optional |
| Villa Madre Collection | | | | | |
| Ortega (580 Base), Medina (580 M), Pizarro (580 P), Cruz (580 C) | Standard | Optional | Optional | Optional | Optional |