

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7402 Carroll Ave., Takoma Park	<b>Meeting Date:</b>	5/21/2019
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	5/14/2019
<b>Applicant:</b>	Jocelyn Lyle & Colin O'Neil	<b>Public Notice:</b>	5/7/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	37/03-19W	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b> Deck Construction			

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**RECOMMENDATION**

Staff recommends the HPC approve the HAWP application with one condition:

1. The deck and stair railing needs to be designed so that the pickets are inset between the top and bottom rail, not applied to the exterior of the bottom rails. Permit drawings showing this condition need to be submitted for stamping prior to the issuance of permits.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c1920s



Figure 1: 7402 Carroll Ave.

## **BACKGROUND**

In December 2017 (under a previous owner) the subject property suffered an extensive fire in the rear kitchen, which required extensive repair work. The structure of the house was partially reconstructed in the rear and all of the windows were damaged and replaced.



*Figure 2: December 2017 shortly after the fire had been extinguished. The fire originated in the kitchen to the rear.*

## **PROPOSAL**

The applicant proposes to construct a deck on the right side of the house.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

While additions should be compatible, they are not required to be replicative of earlier architectural styles.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

### **Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

The applicant proposes constructing a new wood deck off of the right side of the house and converting two windows to a pair of French doors. Staff finds the proposal to be in keeping with the character of the house and surrounding district and recommends approval.

The subject property has a c.1920s craftsman house that was virtually reconstructed in 2018. There are very few historic features or historic fabric remaining. Additionally, Staff's review of the 1927 Sanborn Map for shows that this section of the house was originally a porch. This section of the house has lost both the integrity of materials and integrity of design and a higher degree of alteration should be supported in this location.

The house is on a double lot with a large side yard that is terraced to step down at the chimney. The applicant proposes to construct a deck in the lower terrace off of the northwest (right, rear) corner of the house. The deck will 16' × 12' (sixteen feet wide, by twelve feet deep) with a 3' (three foot) wide set of stairs. At its maximum, the deck will be 98" (ninety-eight inches, just over 8') above grade. The decking and stairs will be constructed out of wood. Due to the change in grade, the deck will only be approximately 2' (two feet) above grade from the public right-of-way. The proposal calls for the railing pickets to be installed to the outside of the bottom rail both around the deck and for the stairs.

Staff finds the placement of the deck to be acceptable. Generally, the preferred location for decks in the Takoma Park Historic District is to the rear. This lessens the visual impact the new deck will have on the historic resource and surrounding streetscape. In this instance, there is no space to the rear to install the deck. Automobile access to the subject property is via Sherman Ave. with a gravel parking pad to the rear of the house. There are trees throughout the remainder of the yard (see the photo below). Staff finds the proposed location is acceptable as it will not disrupt the streetscape pattern or obscure any historic feature of the house.



*Figure 3: View of the right side of the house showing the parking area to the rear. The deck will be constructed off the smaller pair of sash windows to the rear.*

Staff additionally finds the materials to be in keeping with the house and surrounding district. Wood is the preferred material for decks throughout the Takoma Park Historic District.

The simple design and construction of the proposed deck will not detract from the surrounding district. There is one design element, however, that Staff recommends the HPC condition approval of the deck railing so that the pickets are installed between the top and bottom rail, rather than applied to the exterior of the bottom rail as proposed. The proposed design is a late 20<sup>th</sup> century configuration and is not compatible with traditional construction methods.

To access the deck from the house, the applicants are proposing to remove the paired sash windows in the kitchen and install a pair of French doors in the same location. The proposed French doors are 1" (one inch) wider than the existing window openings and will match the height, so no trim will need to be removed from above the new opening. New trim will be installed to the sides of the new doors maintain a consistent appearance. The proposed doors will be a Smooth Star fiberglass door. Staff's research of this specific manufacture indicates that the surface is paintable. Staff finds that a non-original material may be appropriate in this location, because it is not impacting any historic building materials and is set back from the right-of-way more than 60' (sixty feet).

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application with one condition;

1. The deck and stair railing needs to be designed so that the pickets are inset between the top and bottom rail, not applied to the exterior of the bottom rails. Permit drawings showing this condition need to be submitted for stamping prior to the issuance of permits; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400****APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Email: jocelyn.lyle@gmail.com Contact Person: Jocelyn Lyle  
Daytime Phone No.: 412-841-7154  
Tax Account No.: DIST B 0107605  
Name of Property Owner: Jocelyn Lyle + Colin O'Neil Daytime Phone No.: 412-841-7154  
Address: 7402 Carroll Ave TAKOMA PARK MD 20912  
Street Number City State Zip Code  
Contractor: Archadeck of MD Phone No.: 301-926-3001  
Contractor Registration No.: 121329 + 83402  
Agent for Owner: John Barrett Daytime Phone No.: 301-926-3001

**LOCATION OF BUILDING/PREMISE**

House Number: 7402 Street: Carroll Ave  
Town/City: TAKOMA PARK Nearest Cross Street: Sherman Ave  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 0025  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: N768

**PART ONE: TYPE OF PROPOSED ACTION/USE****1A. CHECK ALL APPLICABLE:**

☒ Construct ☐ Extend ☐ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Remove  
☐ Revision ☐ Repair ☐ Revocable

**CHECK ALL APPLICABLE:**

☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☒ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 10,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: N/A  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: N/A

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N/A  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J Lyle  
Signature of owner or authorized agent

4/29/19  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family home, rebuilt in 2018 by previous  
owner.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construction of deck off of kitchen over side yard.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PT # 1 Yellow Southern Pine

**5. PHOTOGRAPHS**

White French Double Door - Window Match

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> Colin O'Neill & Jocelyn Lyle 7402 Carroll Ave Takoma Park, MD 20912	<b>Owner's Agent's mailing address</b> Archadeck of MD 8302 Brenk Rd. Laytonsville, MD 20882
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Tom Dent 7406 Carroll Ave Takoma Park, MD 20912	Paul Huebner & Kathryn Phillips 7405 Carroll Ave. Takoma Park, MD 20912
Fanny Moses 7400 Carroll Ave Takoma Park, MD 20912	Shmuel Shohama & Ruth Polk 7407 Carroll Ave. Takoma Park, MD 20912
Bradley & Karen Gude 7403 Carroll Ave Takoma Park, MD 20912	

**Existing Property Condition Photographs** (duplicate as needed)

see attached images (front, rear, side, public view)

Detail: \_\_\_\_\_

Detail: \_\_\_\_\_

Applicant: \_\_\_\_\_

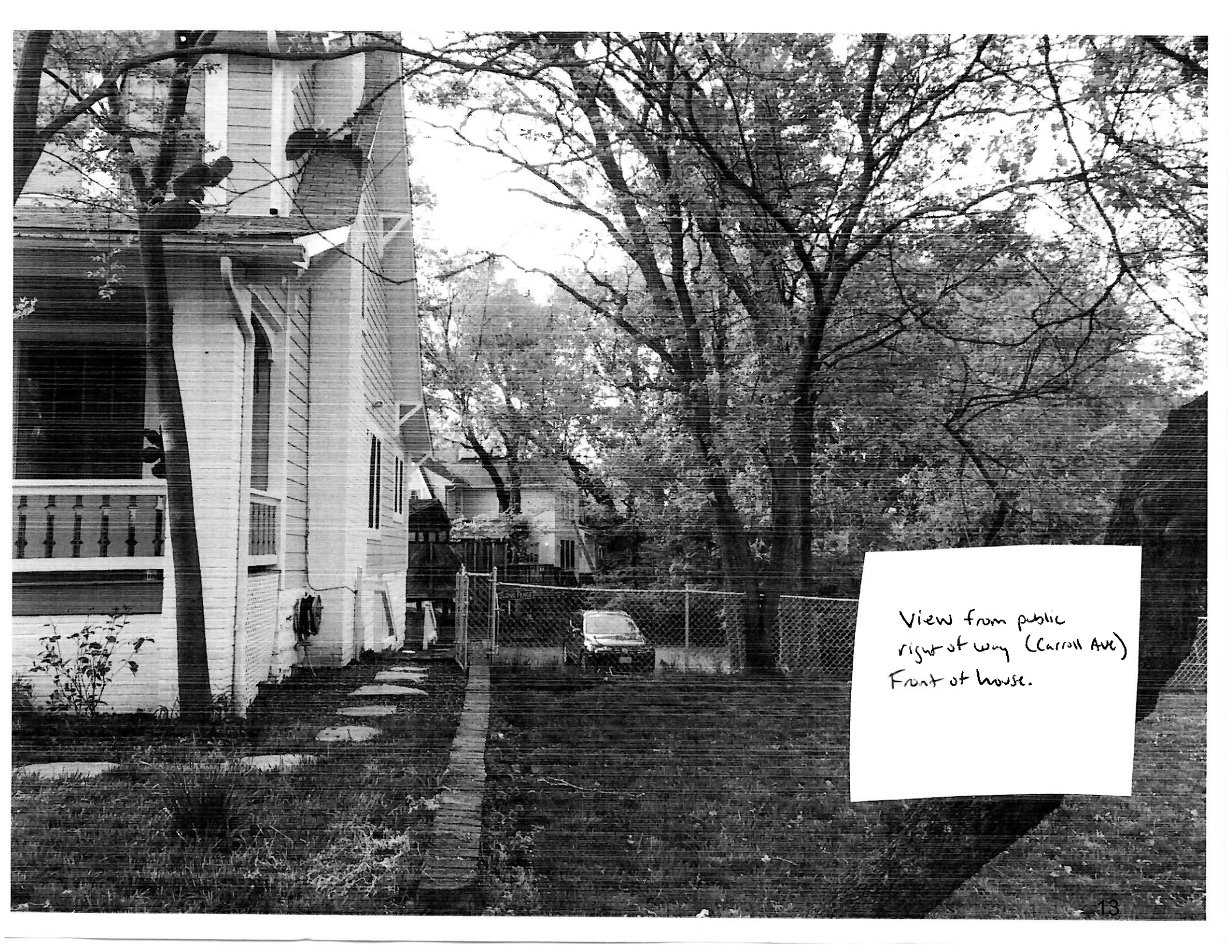
Site Plan

See attached.

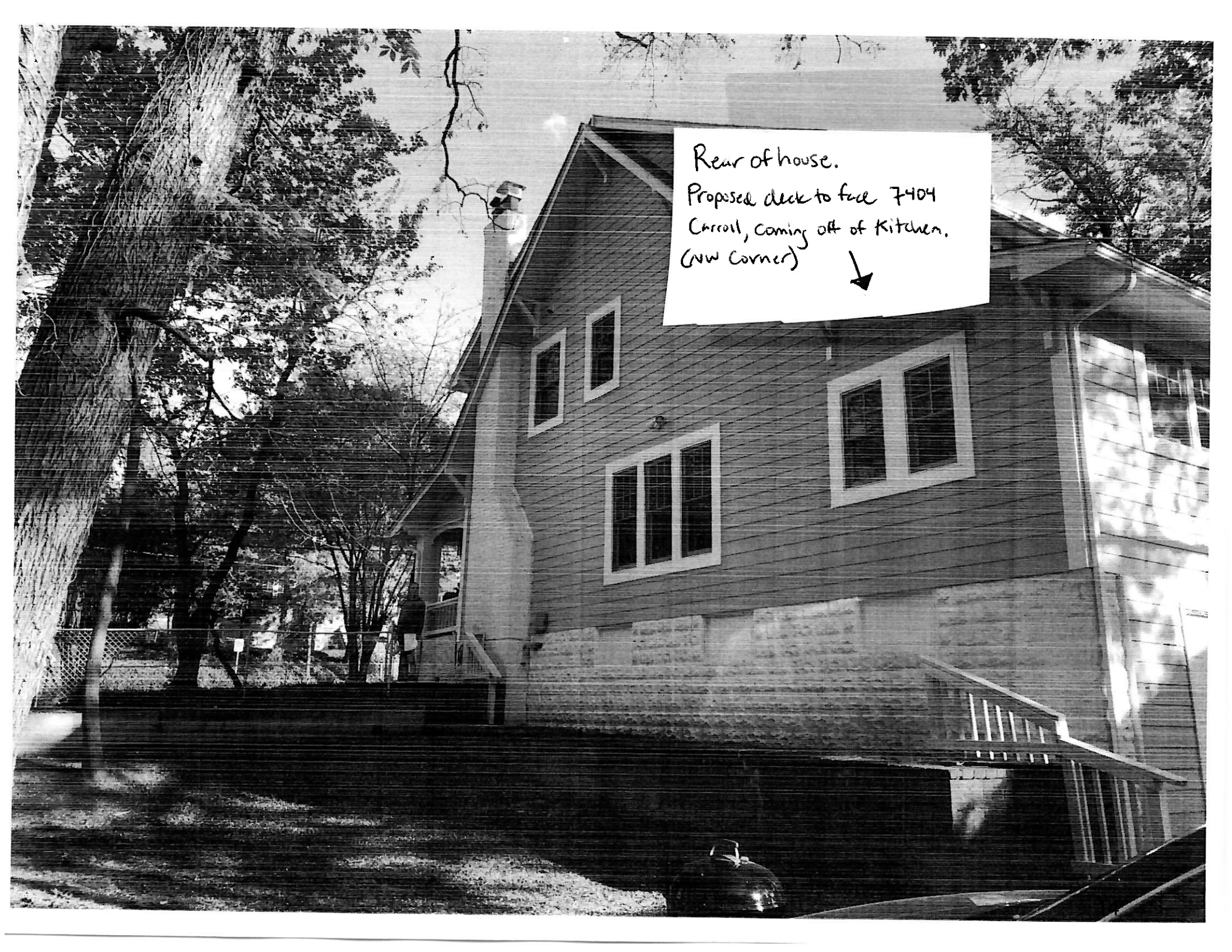


Shade portion to indicate North

Applicant: \_\_\_\_\_



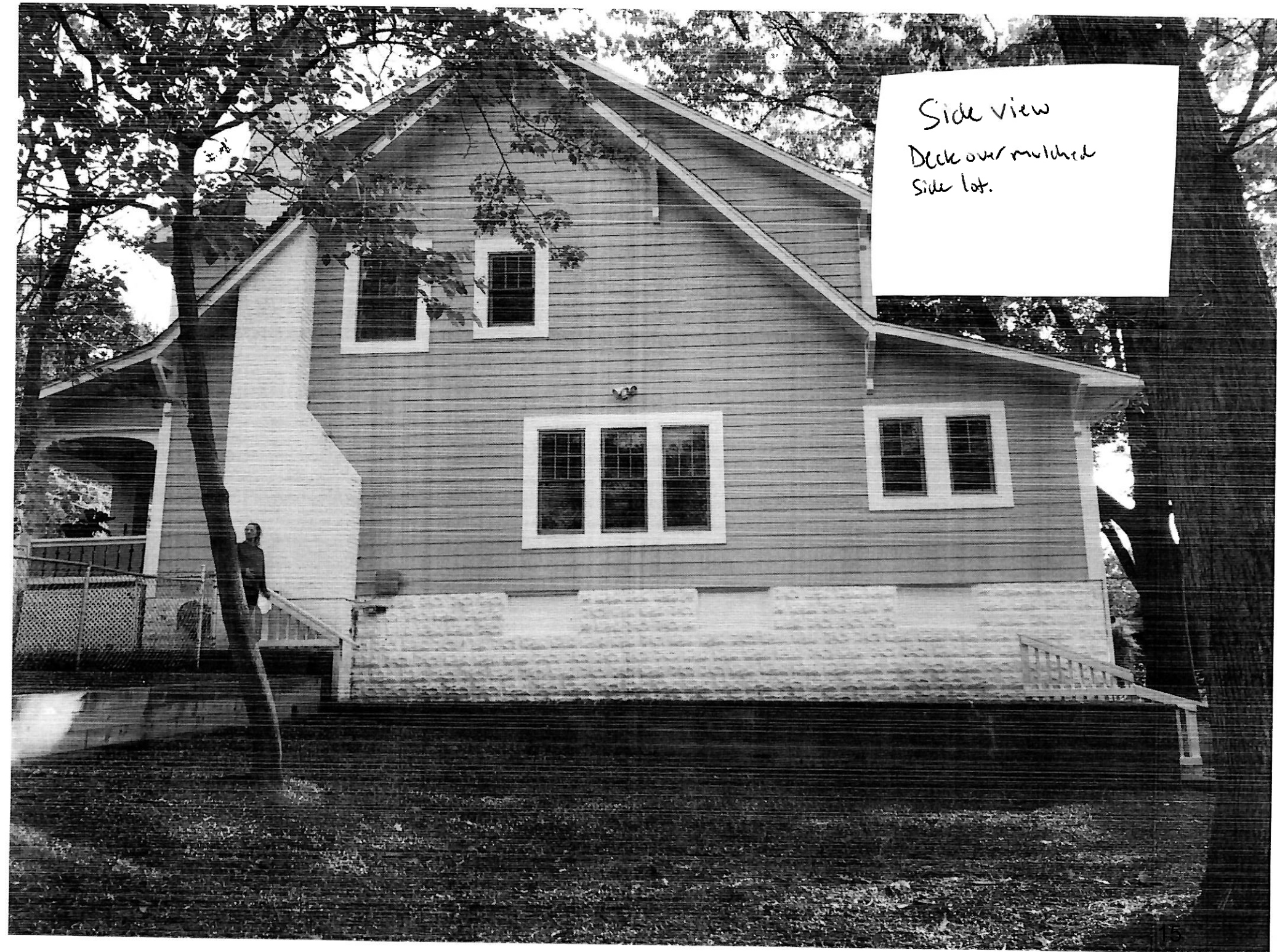
View from public  
right of way (Carroll Ave)  
Front of house.

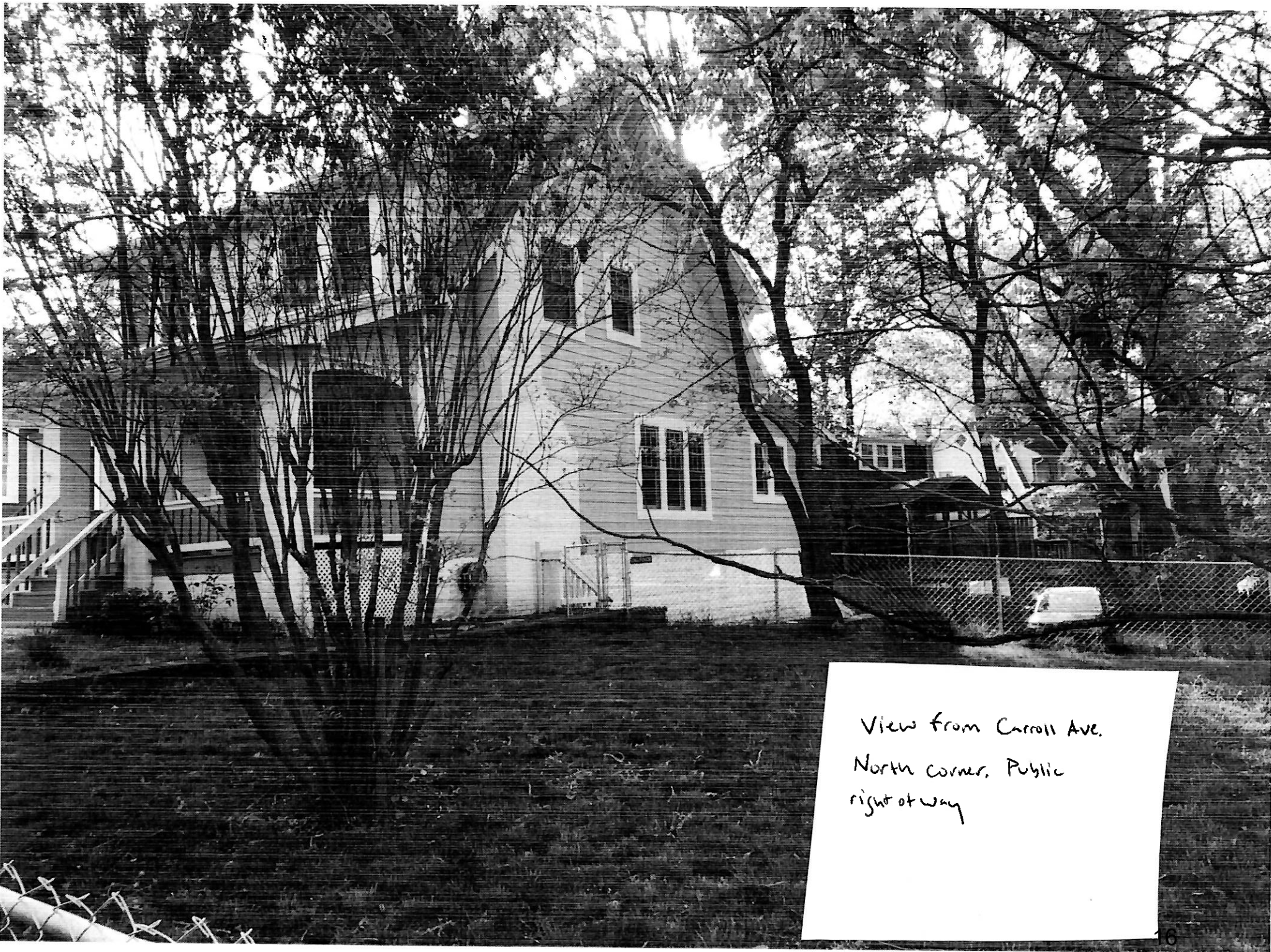


Rear of house.  
Proposed deck to face 7404  
Carroll, coming off of Kitchen.  
(NW corner)



Side view  
Deck over mulched  
side lot.





View from Carroll Ave.  
North corner, Public  
right of way

# PARAGONTITLE

7415 ARINGTON ROAD, BETHESDA, MD 20814 | 800.286.1115



PROPERTY ADDRESS: 7402 CARROLL AVENUE, TAKOMA PARK, MARYLAND 20912

SURVEY NUMBER: 1901.1688

FIELD WORK DATE: 1/26/2019

REVISION HISTORY: (REV.0 1/29/2019)

19011688

LOCATION DRAWING

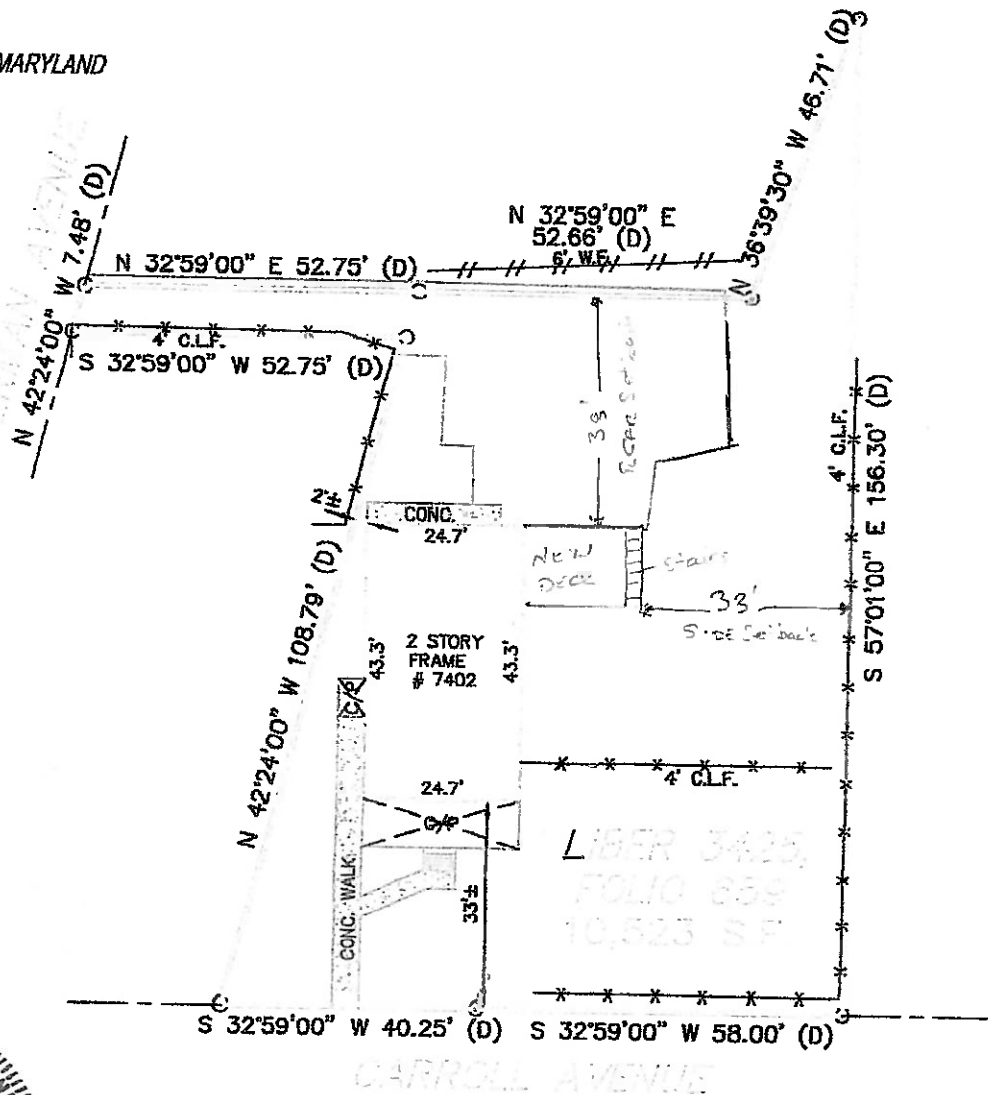
LOT N768 & N745

MONTGOMERY COUNTY, MARYLAND

01-28-2019 SCALE 1"=30'



Site Plan



*William R. Herbert*  
EXPIRES 1-14-2021



GRAPHIC SCALE (In Feet)

1 inch = 30' ft.

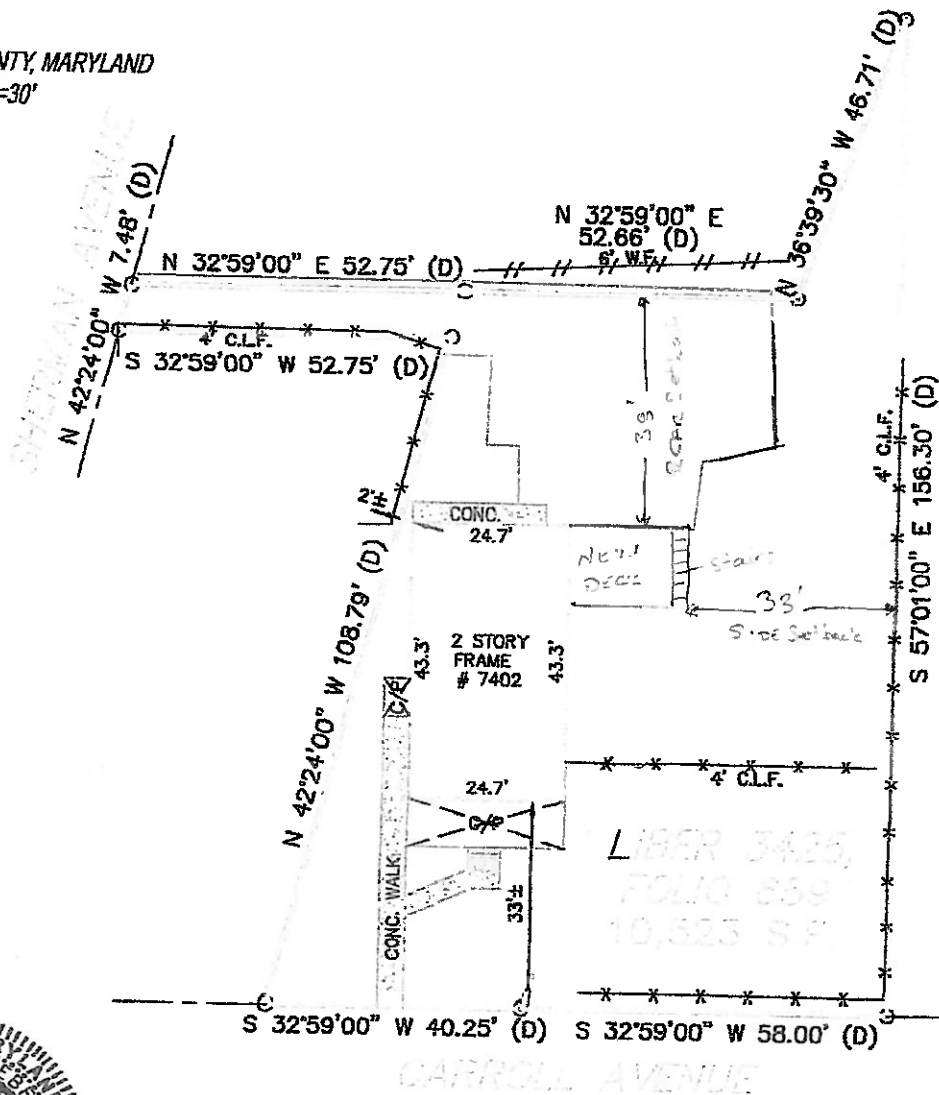
ACCURACY=1/4"



**SURVEY NUMBER:** 1901.1688

**REVISION HISTORY:** (REV'D 1/29/2019)

01-28-2019 SCALE 1"=30'



## Site Plan



ACCURACY=1'±



WCI, INC.

d.b.a. Archadeck of Montgomery County

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DESIGN LOAD CRITERIA

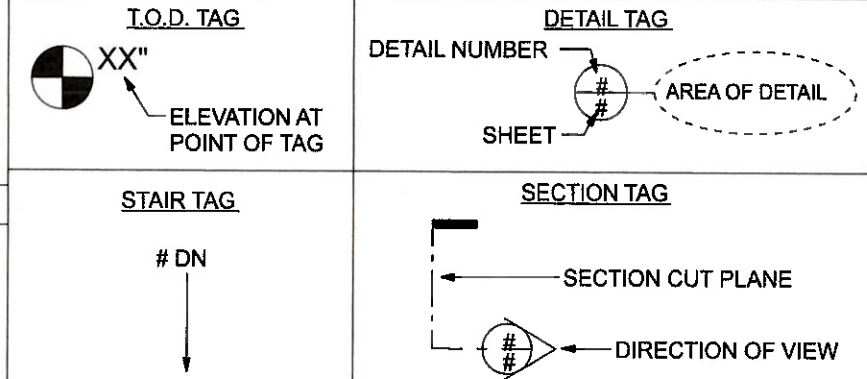
FOOTING/FOUNDATION LOADS	P.S.F.	CEILING	P.S.F.
LIVE LOAD	58	WITH STORAGE (L/240)	20
DEAD LOAD	10	WITHOUT STORAGE (L/240)	10
TOTAL DESIGN LOAD	68		
DECK LOADS (L/240)	P.S.F.	WITH STORAGE (L/360)	20
(DECK FRAMING)		WITHOUT STORAGE (L/360)	10
FRAMING DESIGN LIVE LOAD	60	DEAD LOAD	10
FRAMING DESIGN DEAD LOAD	10		
TOTAL FRAMING DESIGN LOAD	70		
FLOOR LOADS (L/360)	P.S.F.	ROOF LOADS (L/240)	P.S.F.
LIVE LOAD (LIVING)	40	SNOW LOAD	30
LIVE LOAD (SLEEPING)	30	DEAD LOAD	10
DEAD LOAD	10	TOTAL DESIGN LOAD	40
SPA LOADS (L/240)	P.S.F.	PERGOLA LOADS (L/240)	P.S.F.
LIVE LOAD	100	LIVE LOAD	10
DEAD LOAD	10	DEAD LOAD	5
TOTAL DESIGN LOAD	110	TOTAL DESIGN LOAD	15
**ASSUMED SPA LOADING, VERIFY w/ SPA MANUFACTURER**		**ASSUMED OPEN FRAMED PERGOLA, NOT DESIGNED FOR SNOW LOADS**	

APRIL 10, 2019 63-03181902-1  
LYLE  
7402 CARROLL AVE  
TAKOMA PARK, MD, 20912

ABBREVIATIONS:

#B	- BEAM	GLU.	- GLULAM
#BB	- BAND BOARD	HDR.	- HEADER
#C	- RAIL CAP LENGTH	INT.	- INTERIOR
#CB	- COLLAR BEAM	IN.	- INCH
#DB	- DOUBLE BAND	JST.	- JOIST
#DJ	- DOUBLE JOIST	LB.	- POUNDS
#DR	- DOUBLE RAFTER	L.L.	- LIVE LOAD
#F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
#G	- GIRDER	LOWR.	- LOWER
#HB	- HOUSE BAND	MANUF.	- MANUFACTURER
#HBE	- HOUSE BAND EXTENSION	MAX.	- MAXIMUM
#KB	- KING BEAM	MIN.	- MINIMUM
#QJ	- QUAD JOIST	MOD.	- MODIFIED
#RB	- RIDGE BEAM	N.T.S.	- NOT TO SCALE
#RP	- ROOF PLATE	O.C.	- ON CENTER
#TB	- TRIPLE BAND	OPT.	- OPTIONAL
#TJ	- TRIPLE JOIST	O.S.B.	- ORIENTED STRAND BOARD
ALT.	- ALTERNATE	P.L.	- POINT LOAD
ALUM.	- ALUMINUM	P.L.F.	- POUNDS PER LINEAR FOOT
APX.	- APPROXIMATE	P.S.F.	- POUNDS PER SQUARE FOOT
BD.	- BOARD	P.S.I.	- POUNDS PER SQUARE INCH
C/L	- CENTER LINE	P.S.L.	- PARALLEL STRAND LUMBER
CJ	- CEILING JOIST	P.T.	- PRESSURE TREATED
CLG.	- CEILING	P.T.T.	- POUR TO TOP
C.M.U.	- CONCRETE MASONRY UNIT	P.V.C.	- POLY VINYL CHLORIDE
CONC.	- CONCRETE	RBD.	- RIDGE BOARD
CONT.	- CONTINUOUS	REQD.	- REQUIRED
DBL.	- DOUBLE	R.O.	- ROUGH OPENING
DIA.	- DIAMETER	RSW	- RIDGE SUPPORT WALL
DIM.	- DIMENSION	S.F.	- SQUARE FOOT/FEET
D.L.	- DEAD LOAD	SQ.	- SQUARE
DN.	- DOWN	T&G	- TONGUE & GROOVE
DTL.	- DETAIL	T.L.	- TOTAL LOAD
ELEC.	- ELECTRICAL	T.O.D.	- TOP OF DECK
ELEV.	- ELEVATION (SEE T.O.D.)	TYP.	- TYPICAL
EQ.	- EQUIVALENT	UNFIN.	- UNFINISHED
EXT.	- EXTERIOR	U.N.O.	- UNLESS NOTED OTHERWISE
FIN.	- FINISH	UPR.	- UPPER
FLR.	- FLOOR	W/	- WITH
FND.	- FOUNDATION	W/O	- WITHOUT
FT.	- FOOT/FEET		
F.V.	- FOUNDATION VENT		

SYMBOL LEGEND



SOLD BY: JOHN BARRETT  
DRAWN BY: JTF EXT: 235

<input type="checkbox"/> - RAIL POST	<input checked="" type="checkbox"/> - 4 x 4 DECK COLUMN	X - X BRACING
<input checked="" type="checkbox"/> - FENCE POST	<input checked="" type="checkbox"/> - 4 x 6 DECK COLUMN	(PB) - PARTING BOARD LOCATION & CENTER LINE
<input checked="" type="checkbox"/> - ROOF POST/ PERGOLA POST	<input checked="" type="checkbox"/> - 6 x 6 DECK COLUMN	
<input checked="" type="checkbox"/> - STUD LOCATION		

CONTACT

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:  
WCI, INC.  
8302 Brink Road, Laytonsville, MD 20882  
PHONE: (301) 926-3001

ENGINEER OF RECORD  
(AS APPLICABLE)

DRAWINGS PREPARED BY: ARCHADECK FRANCHISING CORPORATION  
CONSTRUCTION & DRAFTING DEPARTMENT  
2924 EMERYWOOD PARKWAY, SUITE 101  
RICHMOND, VA 23294

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UNAUTHORIZED DUPLICATION IS A VIOLATION OF ALL  
APPLICABLE LAWS

DESIGN CRITERIA:

NOTES:

- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE).
- WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
- IN-GRADE DESIGN VALUES BASED ON AF&PA.
- PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS.
- PRESUMPTIVE SAFE SOIL BEARING CAPACITY IS 2000 PSI.
- FROST LINE 30".
- CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE

LUMBER:

- ALL FRAMING LUMBER TO BE #1 S.P. (SOUTHERN PINE) OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.
- ALL PSL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: P.S.L. STRESS CLASS (2.0E, 2900Fb) P.S.I.
- ALL GLULAM ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: GLULAM STRESS CLASS (1.9E, 2600Fb) P.S.I.
- ALL LVL/MICROLLAM ENGINEERED TYPE LUMBER TO BE INTERIOR USE ONLY: L.V.L. STRESS CLASS (1.8E, 2600Fb) P.S.I.

CONCRETE:

- MINIMUM 28 DAY COMPRESSIVE STRENGTH = 2500 PSI.

SHEET INDEX

NOTE THAT NOT ALL JOBS REQUIRE ALL SHEETS

ST	-SITE	FF-#	-FLOOR FRAMING
PL-#	-PLAN	FP-#	-FLOOR PLAN
EV-#	-ELEVATION	CF-#	-CEILING FRAMING
FD-#	-FOUNDATION/FOOTINGS	RF-#	-ROOF FRAMING
		SD-#	-SECTION/DETAIL

FRONT ELEVATION



FRONT ELEVATION



**archadeck®**  
outdoor living  
of  
Montgomery Co. & Central Maryland

**SHEET:**

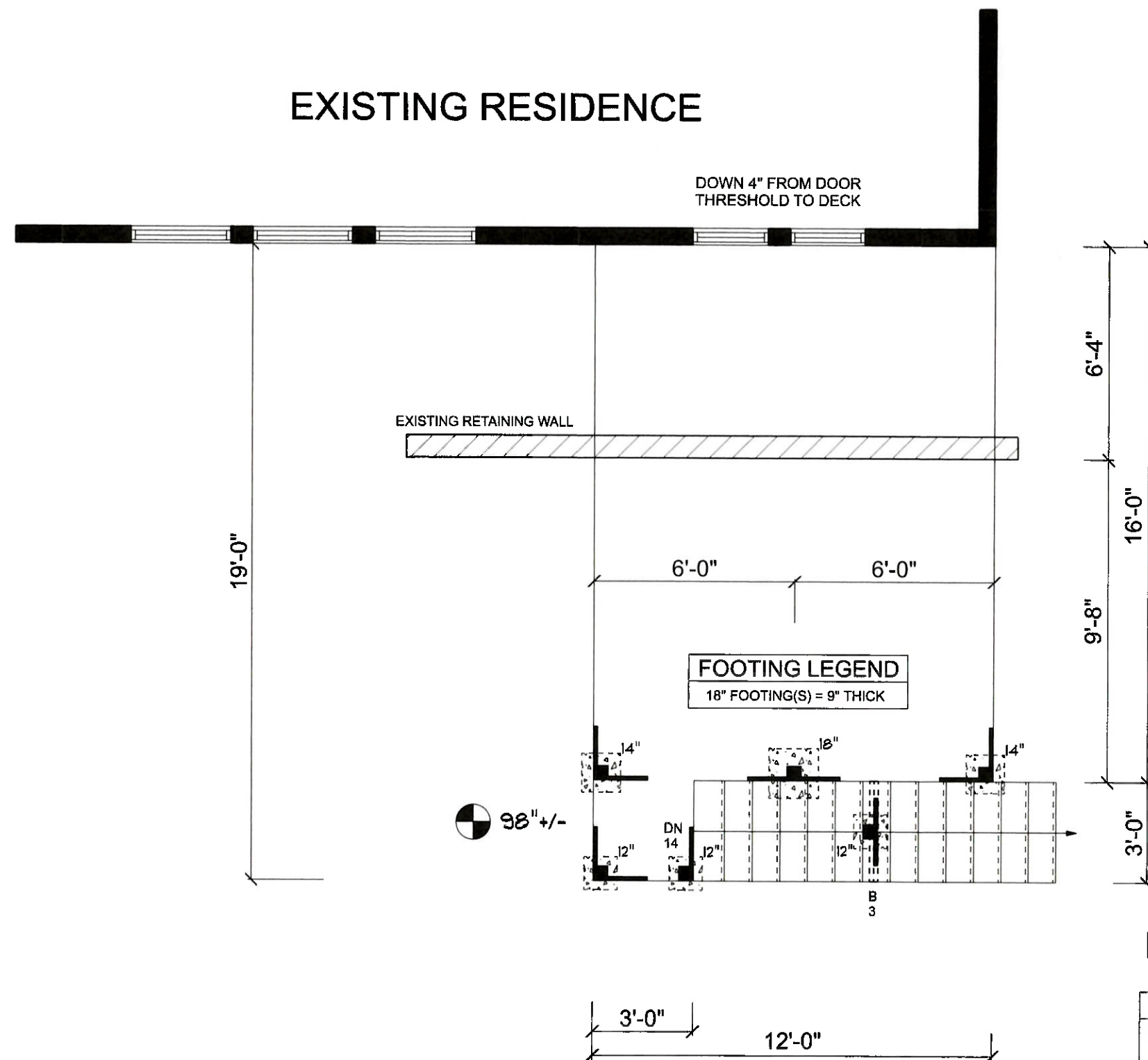
2/9

FD-1

Prepared by:  
Archadeck Franchising Corporation  
2924 Emerywood Parkway  
Suite 101  
Richmond, VA 23294

Construction & Drafting Department  
©2017 Archadeck Franchising Corporation  
All rights reserved. Unauthorized  
duplication is a violation of  
all applicable laws.

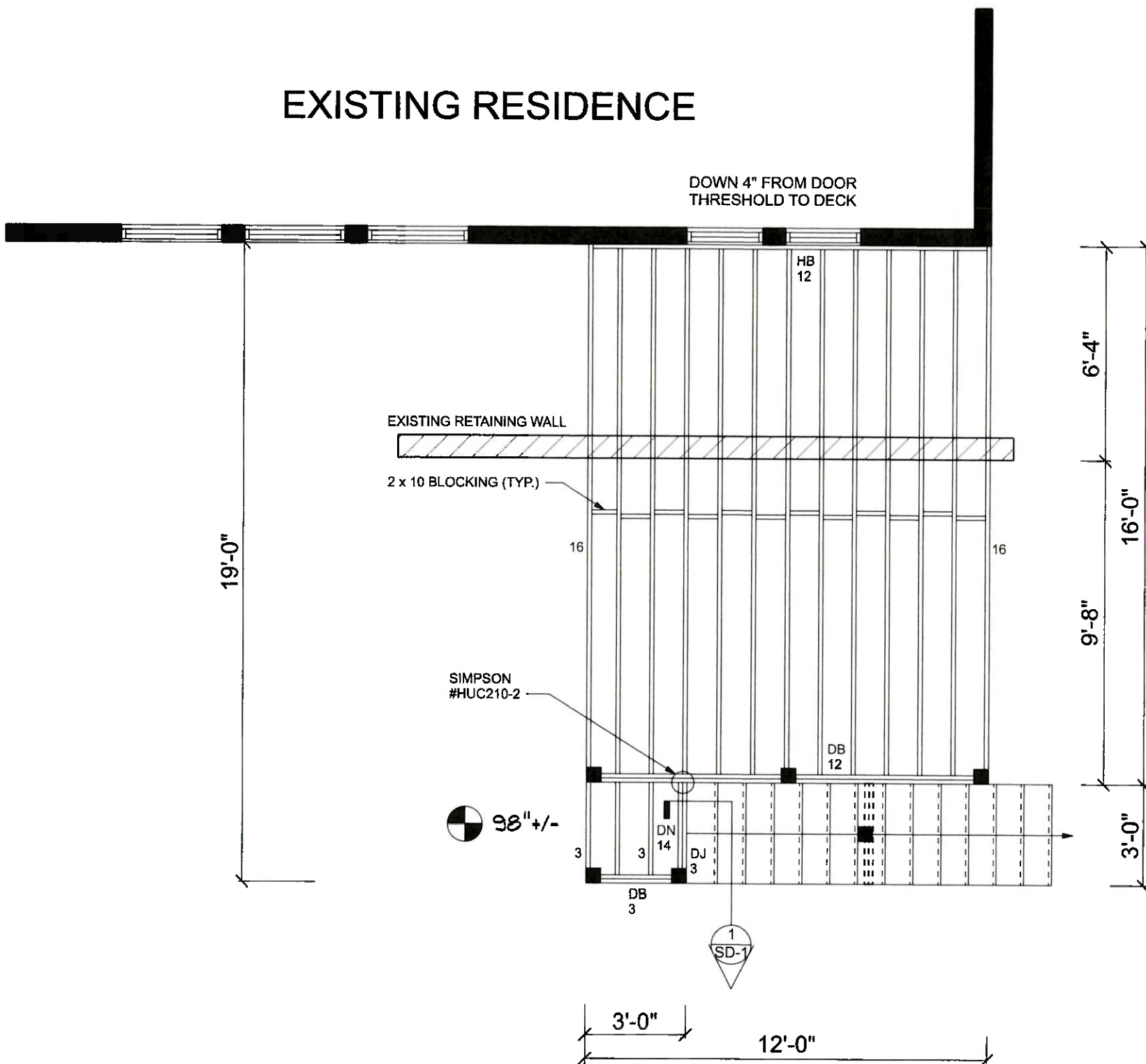
063-LYLE-03181902-1  
7402 CARROLL AVE  
TAKOMA PARK, MD 20912  
DRAWN BY: JTF EXT: 235  
APRIL 10, 2019



## GENERAL DECK NOTES

12" x 12" x 8" CAST IN PLACE (SQUARE) FOOTING (TYPICAL), UNLESS NOTED OTHERWISE. SEE PLAN FOR LOCATION
(2) 2 x 8 P.T. BEAM(S), SEE PLAN FOR LOCATION
6 x 6 P.T. COLUMN (TYPICAL), TREATED FOR GROUND CONTACT
2 x 6 P.T. BRACING (TYPICAL), SEE PLAN FOR LOCATION

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



USE (#1 GRADE) MATERIAL

GENERAL DECK NOTES
2 x 10 P.T. JOISTS @ 12" O.C. (TYP)
(2) 2 x 10 P.T. BAND(S), SEE PLAN FOR LOCATION
2 x 10 P.T. HOUSE BAND w/ JOIST HANGERS w/ SIMPSON CONNECTORS #DTT1Z (INSTALLED PER MANUFACTURER'S SPECIFICATION'S)

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of  
Montgomery Co. & Central Maryland

SHEET DESCRIPTION

SHEET:

3/9

FF-1

SCALE: 1/4" = 1'-0"

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Archadeck Franchising Corporation  
2924 Emerywood Parkway  
Suite 101  
Richmond, VA 23294

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063-LYLE-03181902-1  
7402 CARROLL AVE  
TAKOMA PARK, MD 20912  
DRAWN BY: JTF EXT: 235  
APRIL 10, 2019

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SHEET DESCRIPTION

SHEET:

4/9

FP-1

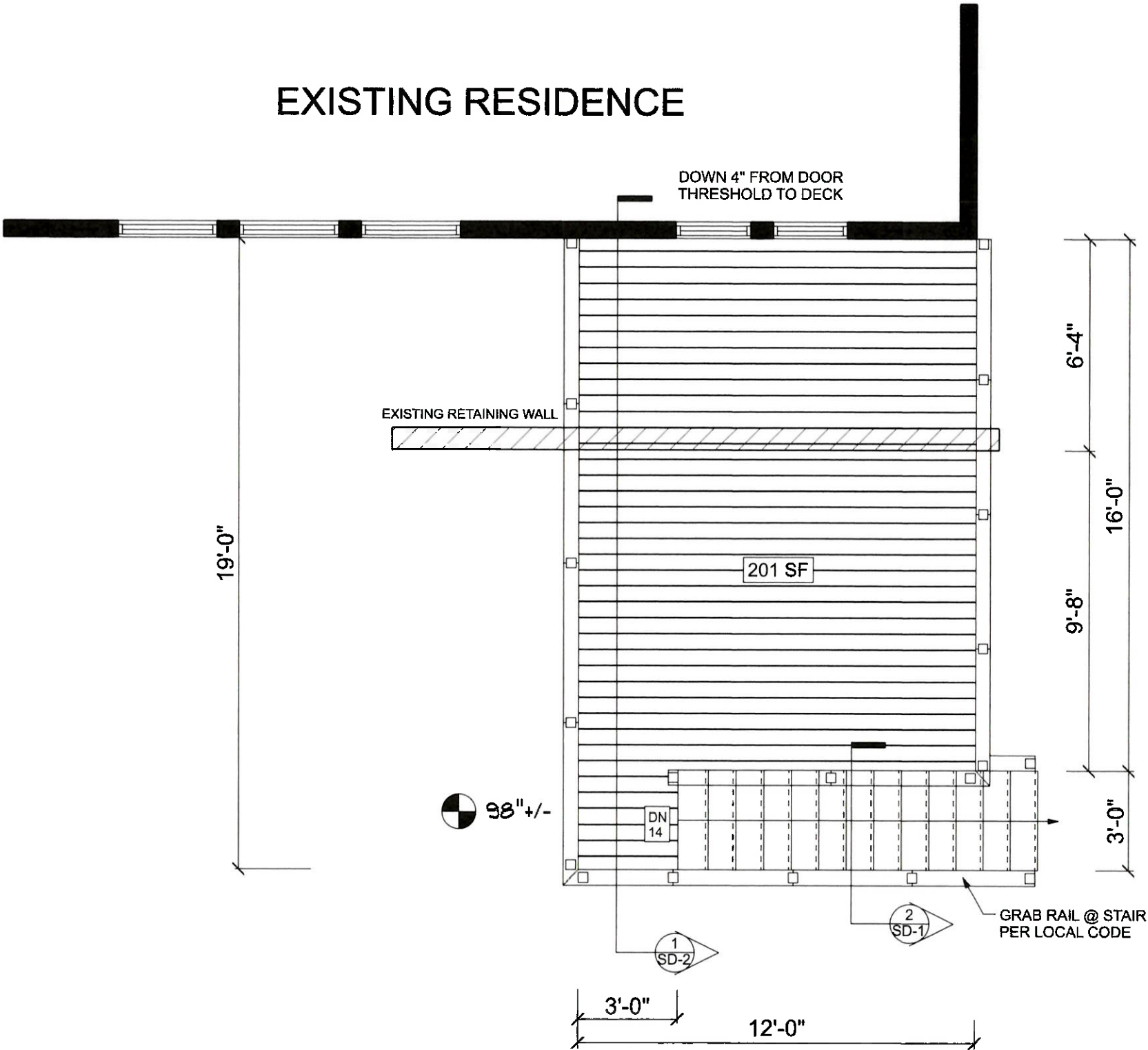
SCALE: 1/4" = 1'-0"

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EXISTING RESIDENCE

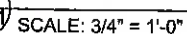
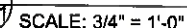


GENERAL DECK NOTES

- 5/4 x 6 P.T. DECKING w/ HDG SCREW FASTENERS
- 1 x 4 P.T. TRIM @ PERIMETER
- 36" HIGH STANDARD P.T. RAIL
- 2 x 2 P.T. PICKETS SPACED PER CODE
- P.T. STAIR #400-A w/ 5/4 x 6 TREADS & 1 x 8 RISERS w/ 2 x 12 P.T. STRINGERS @ 24" O.C.

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1 DECK SECTION  
SD-2 SCALE: 3/4" = 1'-0"

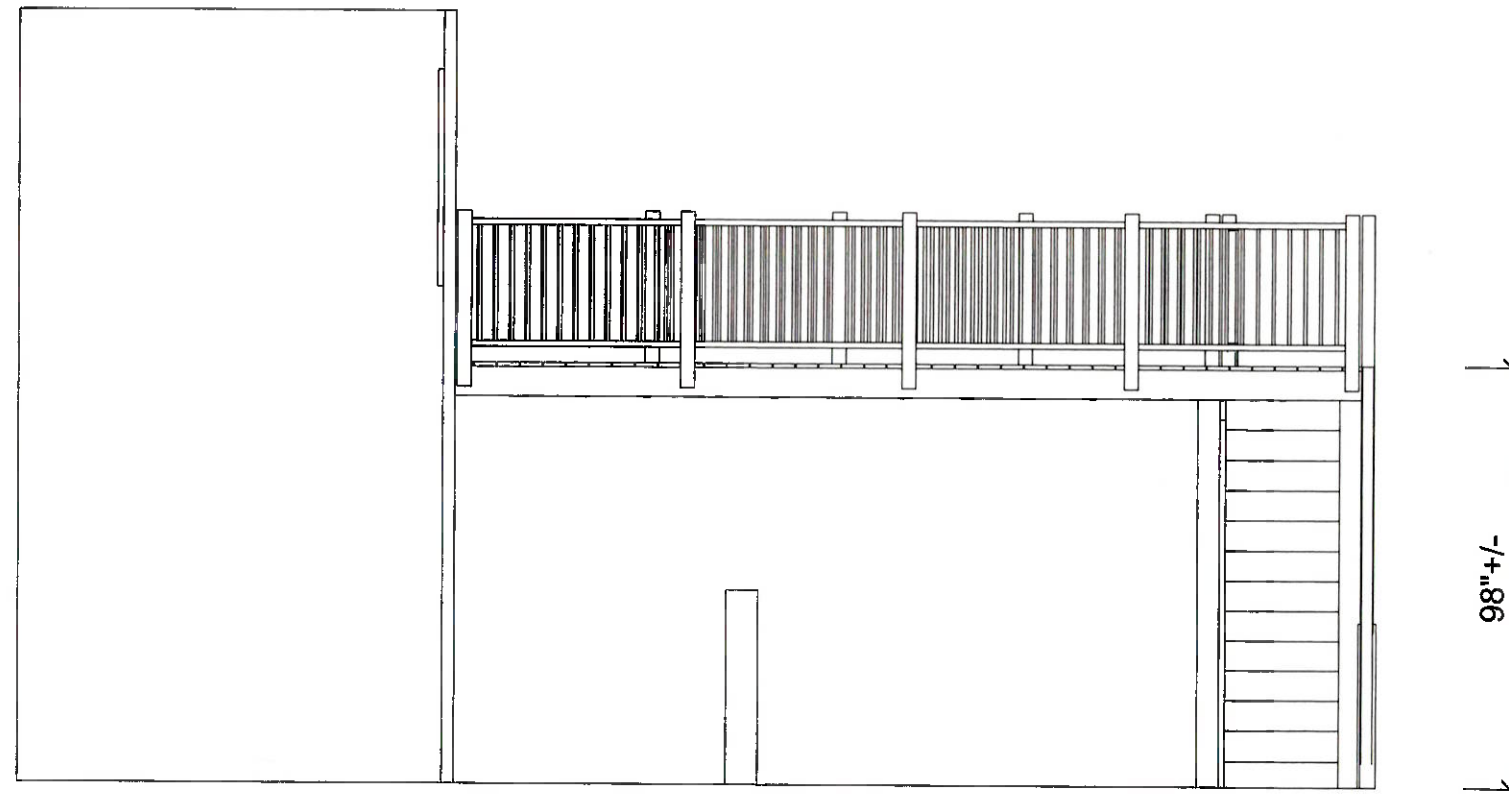


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LEFT ELEVATION

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SHEET DESCRIPTION

SHEET:

8/9

EV-2

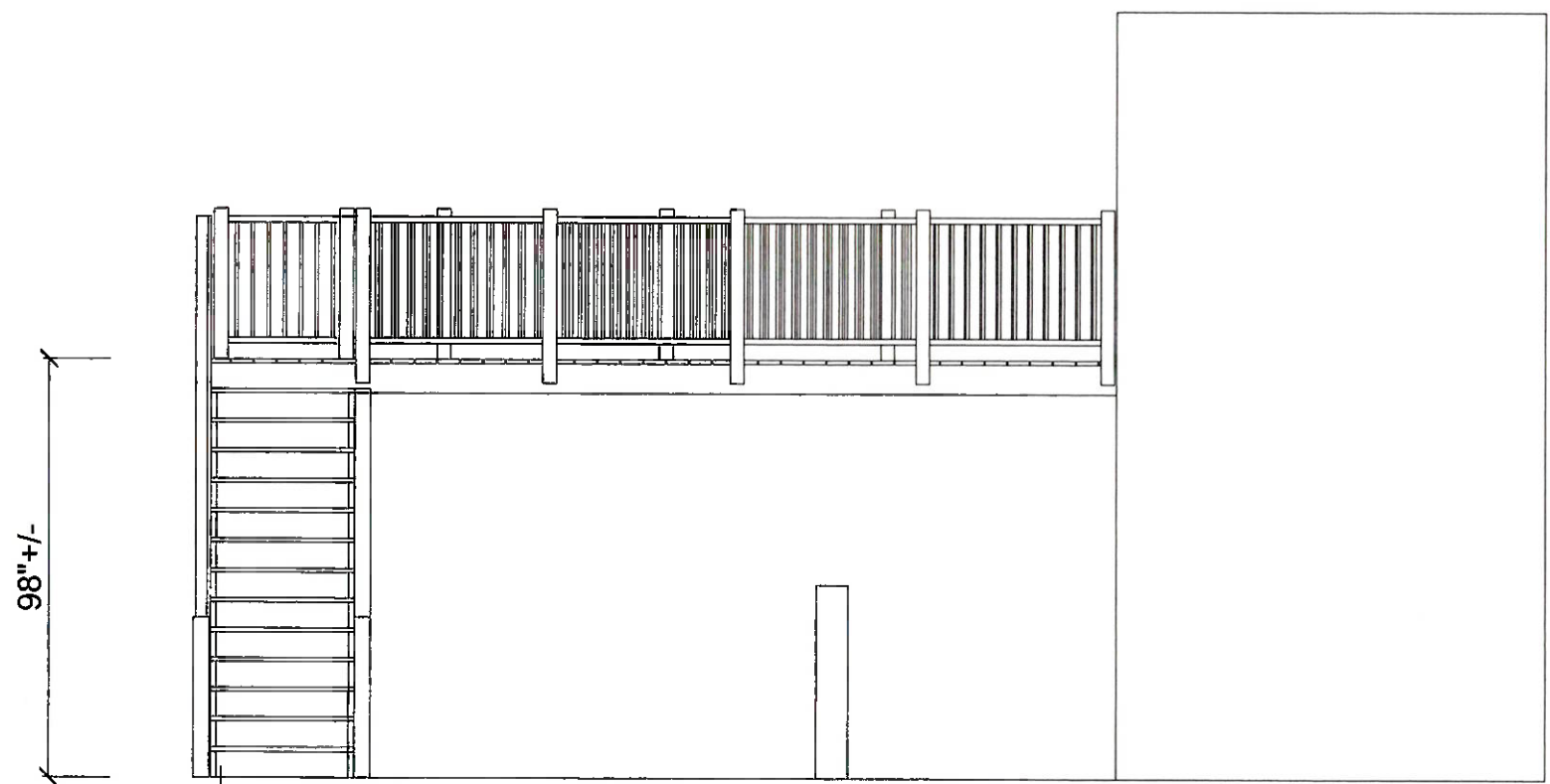
SCALE: 1/4" = 1'-0"

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RIGHT ELEVATION

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SHEET DESCRIPTION

SHEET:

9/9

EV-3

SCALE: 1/4" = 1'-0"

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