

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7312 Willow Ave., Takoma Park	Meeting Date:	5/21/2019
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	5/14/2019
Applicant:	Nancy Hughes & Tim Rahn	Public Notice:	5/7/2019
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/03-19U	Staff:	Dan Bruechert
PROPOSAL: Porch Alterations, fence construction, hardscape alteration			

RECOMMENDATION

Staff recommends the HPC approve with **one condition** the HAWP application:

1. The proposed porch railing needs to be constructed out of wood, not the proposed Azek.
Permit drawings submitted for review need to satisfy this condition.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:	Contributing Resource within the Takoma Park Historic District
STYLE:	Craftsman
DATE:	1917

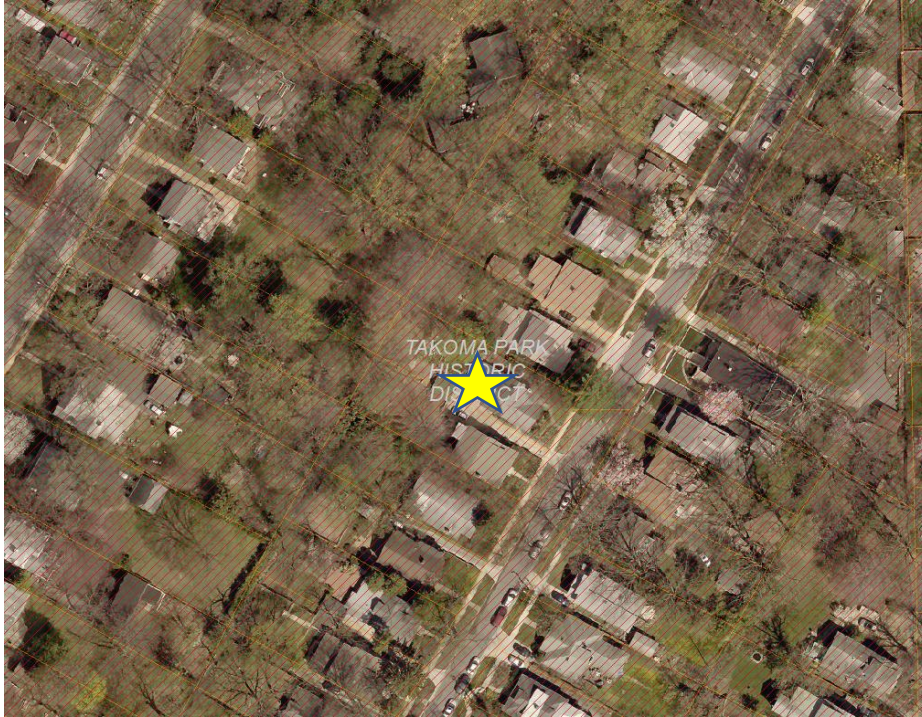


Figure 1: 7312 Willow Ave.

PROPOSAL

The applicant proposes to make modifications to the front porch, construct a new section of wood fence, undertake hardscape alterations, and to remove a number of dead trees.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to

the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

While additions should be compatible, they are not required to be replicative of earlier architectural styles.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of

distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
7. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

STAFF DISCUSSION

The applicant proposes work in several areas of the front of the house. First, several elements of the porch will be restored to their original appearance. Second, the applicant proposes to expand on the existing hardscaping. Third, the applicant proposes to construct a new section of fencing to the right of the house. Fourth the applicant proposes to remove one tree from the property.

Porch Alterations

The existing porch has been heavily modified from its original configuration (photo attached). The front-loading stairs have been relocated to the sides, the columns have been covered, and the projecting beams were removed. The application indicates that these changes were part of a renovation conducted in 1956. The applicant proposes to expose the columns and install new projecting beams that will match the historic appearance. There is a historical basis for this work and Staff finds that it is appropriate and completes a step toward partially restoring the house's historic appearance.

The applicant further proposes to replace the existing, iron, hand rail with a simply detailed Azek handrail. Staff finds that the iron is not in keeping with the historic character or appearance of the house and its removal will not impact the historic character. The proposed railing material should be compatible with the historic house and surrounding streetscape. Staff finds that the proposal should utilize traditional materials, with finishes and aging that is consistent with traditional materials. This is all the more significant in this location, because the material is on the first floor at the front of the house and will be more visible from the right-of-way and will be physically touched on a daily basis. Staff finds that the appropriate material is wood. Staff recommends the HPC add a condition for approval that the front railing be constructed out of wood. Staff can confirm that this condition has been met upon submission of permit drawings.

New Fencing

Currently, there is a 4' (four foot) chain link fence surrounding the property. The applicant proposes removing the section of chain link to the right of the house and proposes a new 4' 6" (four-foot, six inch) board-on-board fence with a slightly taller gate with a decorative pediment above. This fencing will match the fence installed in 2008, adjacent to the driveway. This fence exceeds the typical requirement that fences be no more than 48" (forty-eight inches) in front of

the historic rear wall plane. Staff, however, finds that proposed fence is set back a significant distance from the streetscape (approximately 46'), and due to the change in grade, and the narrow right setback, this fence will not have a significant impact on the historic house or surrounding district; and is, in fact, consistent with the fence installed to the left of the neighboring house at 7314 Willow Ave.

Staff Recommends approval of the proposed section of fencing.

Hardscape and Grade Alterations

The applicant proposes to continue the existing dry-laid stone wall from the side of the house around a portion of the front porch. Staff finds that this would not significantly alter the character of the house or district and there are a variety of wall materials found in the surrounding streetscape. Staff supports approval of the stone wall under 24A-8(b)(1).

The applicant also proposes to remove the degraded block retaining wall along the front of the property and regrade the property. The blocks are textured concrete and are typical of many site walls and foundations found throughout Takoma Park. The images shown in the applicant and confirmed in a site visit confirms to Staff that the wall has degraded beyond repair and needs to be removed. Rather than replacing the wall with a new wall, the applicant proposes re-grading approximately the front 5' (five feet) of the front yard. The surrounding streetscape shows a variety of solutions to addressing the grade along Willow Ave., from parged retaining walls, to dry-laid stone, to grading, to raw CMU blocks. Staff finds that the applicant's proposal is consistent with that variety and Staff supports the re-grading as consistent with the existing environmental setting, per the *Design Guidelines*.

Tree Removal

The application materials also indicate that the applicants propose to remove a number of dead/dying trees. Due to their condition, and under the review of the City of Takoma Park's Arborist, the tree removal was approved administratively. No HPC review is required for the removal of these trees.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one condition** the HAWP application;

1. The proposed porch railing needs to be constructed out of wood, not the proposed Azek.

Permit drawings submitted for review need to satisfy this condition; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: twrahn@gmail.com Contact Person: Tim Rahn, Nancy Hughes
Daytime Phone No.: 301.325.2806
Tax Account No.: _____
Name of Property Owner: Nancy Hughes & Tim Rahn Daytime Phone No.: 301.325.2806
Address: 7312 Willow Avenue Takoma Park, MD 201912
Street Number City State Zip Code
Contractor: A & A Landscape & Hardscape, LLC Phone No.: 240.464.0561
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PROJECT

House Number: 7312 Street: Willow Avenue
Town/City: Takoma Park Nearest Cross Street: Maple Avenue, Valley View Avenue
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☒ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☒ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimator: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR MODIFICATIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed prior. I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy A. Hughes
Timothy W. Rahn
Signature of owner or authorized agent

2019-04-22
2019-04-22
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached description of existing features.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached description of project.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1.a. Description of existing structures and environmental setting

The existing structures include a house and a one-car garage on a 50 X 150 ft lot. The front of the house sits back approximately 30 feet from Willow Avenue. The trees on northeast side of the lot include a Serviceberry, Fringe Tree, River Birch, and Tulip Poplar as well as two Black Walnuts. (See Tree Survey.) The west side of the lot is exposed and unusually sunny for Willow Avenue.

The house was built approximately 1917 as a one and a half-story clapboard bungalow. The house features typical bungalow details including a low-pitched main roof with brackets that support deep eaves. The deep eaves and brackets are also a feature of the front porch gable. In addition, the house has several unique features including a slight flare in the clapboards where the siding meets the foundation and windows that are three lites over one.

According to documents from the daughter of the original owner, the front of the house was extensively modified in 1956. As part of this project, the following features were removed:

- original front porch stairs and flanking concrete walls
- 8 pergola-like beams projecting from the gable
- exposed porch floor and clapboard railing (the area not covered by the porch gable)

A photograph, attached Figure 1, of the front of the house believed to be taken in the 1920s shows the original porch construction.

The original front-facing porch entrance was closed and a concrete landing and stairs were built where the porch floor was located as shown in Figure 2. A wrought iron railing was installed on the landing and stairs. In addition, circular fillets were placed on the insides of the two front porch posts. As part of this work, it is believed the front yard was regraded and a rusticated cinder block retaining wall (Figure 3) was built along the sidewalk.

In 2000-01, the current owners remodeled the rear and half-floor of the house. In 2008, the garage was rebuilt and a wooden fence installed on the upper driveway (Figure 9). Both projects used architectural features found on the original house and garage.

A stone wall in the backyard, which had been approved in a previous HAWP was completed in 2016.

1.b. General description of the project

The following sections describe the owners' proposal for landscaping the front yard and modifying the front porch.

Landscaping

The owners propose removing the deteriorating rusticated cinder block retaining wall (Figure 3). The wall has a number of significant cracks (Figure 4) and, in places, overhangs the sidewalk.

The front yard would be graded to slope down to the sidewalk. The front stairs would remain in their current location, although the top step would be lost as a result of the new grade. The resulting landscaping would be similar to the original front yard shown in Figure 1. The flagstone walkway from the sidewalk steps would be reset, but follow the current path.

The stone wall that begins at the southwest side of the porch and flanks the driveway to the side walk (Figure 5) would turn approximately 12 ft into the front yard as shown in the Site Plan. Where the wall is removed, the yard would be graded to the edge of the driveway.

The side yard on the southeast side of the house would be landscaped as follows:

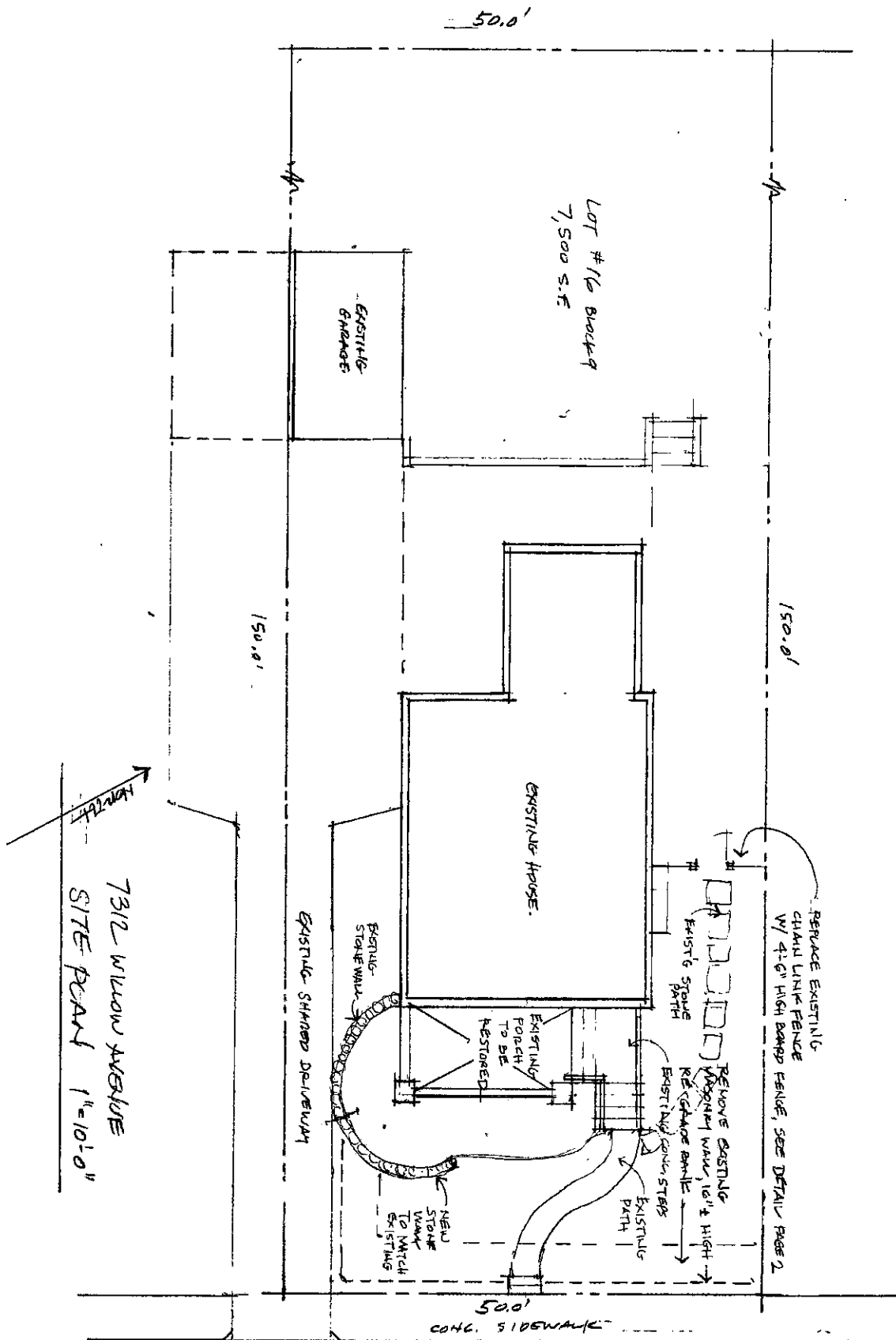
- Remove mature *Pieris Japonica*.
- Restack dry-stacked stone wall on the property line to correspond to the contour of the yard resulting from the grading.
- Remove dead and damaged trees as shown in the Tree Survey Diagram.
- Install footpath to gate of proposed fence with second path to property line as shown in the attached Site Plan.
- Plant native trees and shrubs including pagoda dogwood, hornbeam, blackhaw viburnum , and oak leaf hydrangea.

Modifications to house and fence

In addition to the landscaping, the project includes the removal of the filleted inserts (Figure 10) on the inside of the front porch posts and replacing the projecting beams removed from the gable as part of the 1956 remodeling. This work is shown in the Proposed Front Elevation Drawing. Three beam ends (Figure 11) removed during the remodeling can be used to design and fabricate replacement beam ends.

The owners also propose replacing the steel railing and balusters on the concrete landing (Figure 6) with a design more appropriate to the bungalow style of the house (Figure 7).

The owners are also proposing to replace the front-facing section of the chain link fence (Figure 8) on the northeast side of the property with a wooden fence and gate. The fence and gate would use the same construction used for the driveway fence (Figure 9).



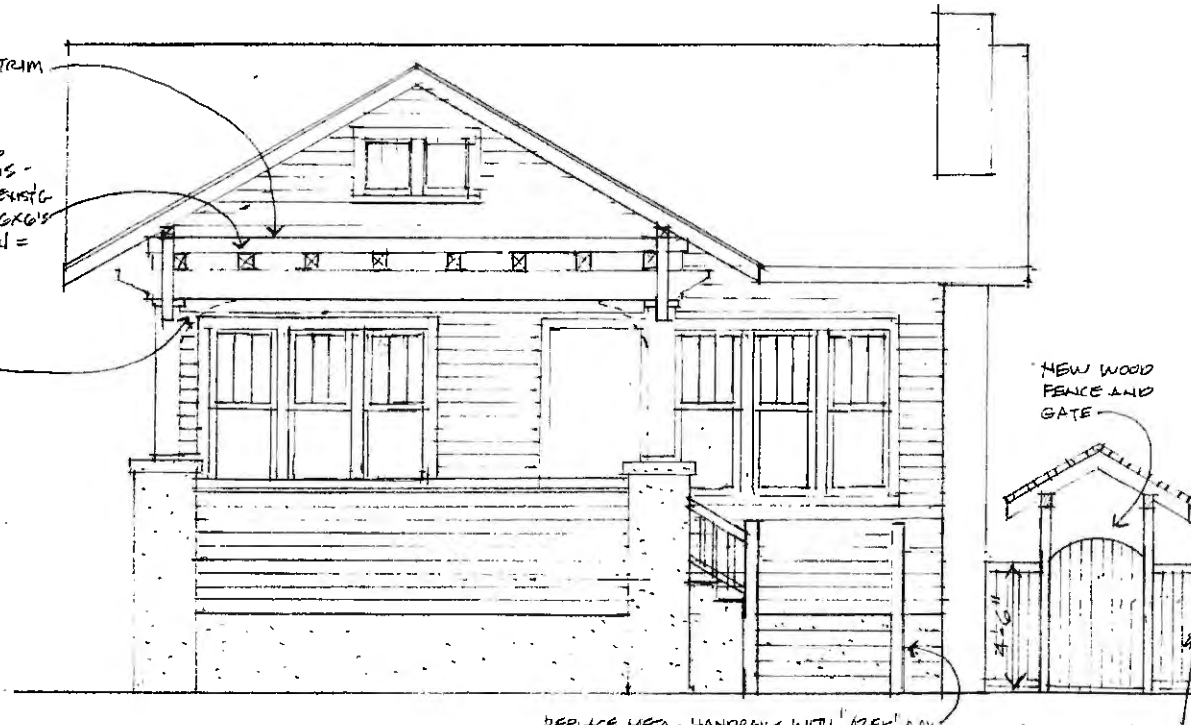
WILLOW AVENUE

DATE 4.9.19	SCALE 1"=10'-0"	DRAWN PT.	JOB RATHA	SHEET 1	OF SHEETS		6320 Wiscasset Road Bethesda, MD 20816 301-320-1580 Fax— 301-320-1581 Paul.Treseder@verizon.net
							Paul Treseder Architect AIA
							10

ADD 1x6 TRIM

ADD 6x6
OUTRIGGERS -
ALIGN W/ EXIST.
INTERIOR 6x6'S
PROJECTION =
16" ±

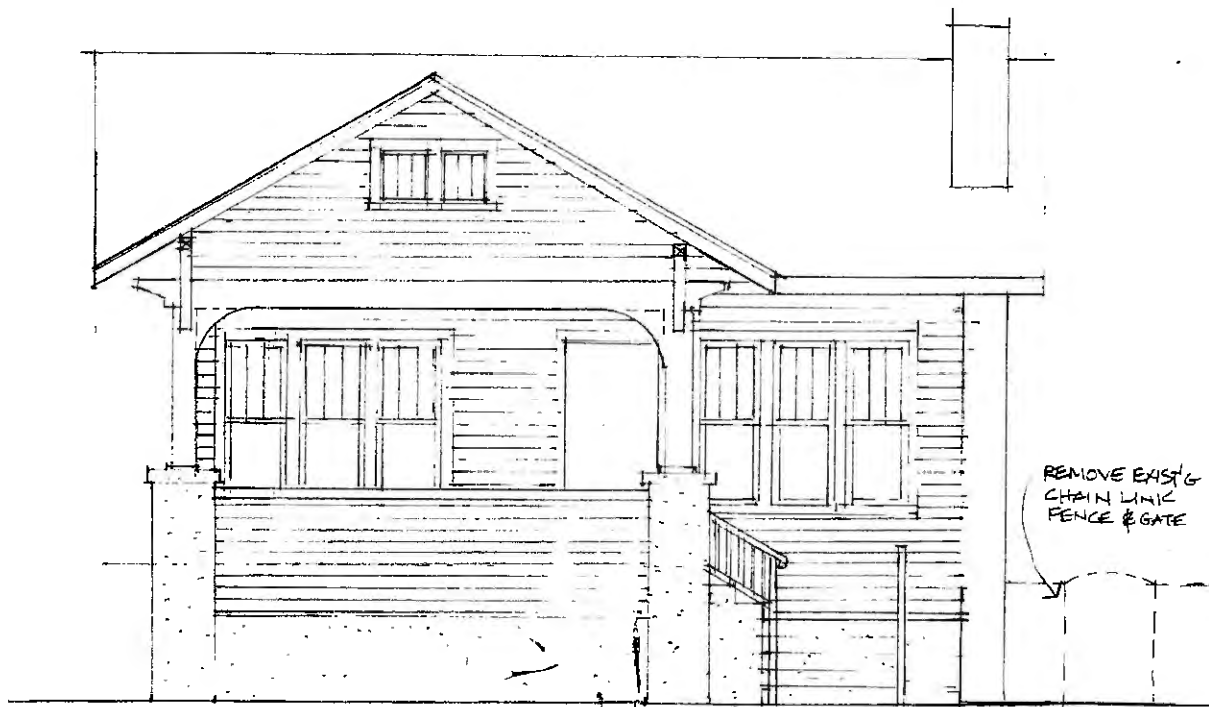
REMOVE
FILLET
(EA. SIDE)



REPLACE MET. HANDRAIL WITH 1" X 2" RAIL

PROPOSED FRONT ELEVATION.

1/4" = 1'-0"



REMOVE EXIST'G
CHAIN LINK
FENCE & GATE

EXISTING FRONT ELEVATION

DATE	4-9-19
SCALE	1/4" = 1'-0"
DRAWN	P.T.
JOB	RATH
SHEET	
OF SHEETS	2
Paul Treseder Architect AIA	
6320 Wiscasset Road Bethesda, MD 20816 301-320-1580 Fax— 301-320-1581 Paul.Treseder@verizon.net	
	
11	

5. Photographs



Figure 1—7312 Willow Avenue with original front porch and stairs. (Circa 1920)



Figure 2—7312 Willow Avenue showing existing front porch and stairs.



Figure 3—Rusticated cinder block wall along sidewalk



**Figure 4—Detail of damage to rusticated
cinder block wall**



Figure 5—Stone wall along driveway



Figure 6—Porch landing with iron handrail and balusters



Figure 7—Example of proposed handrail and balusters for porch landing



Figure 8—Chain link fence from backyard, looking to front yard



Figure 9—Driveway fence and gate, similar design would replace chain link fence



Figure 10—Arched fillet on interior of porch post

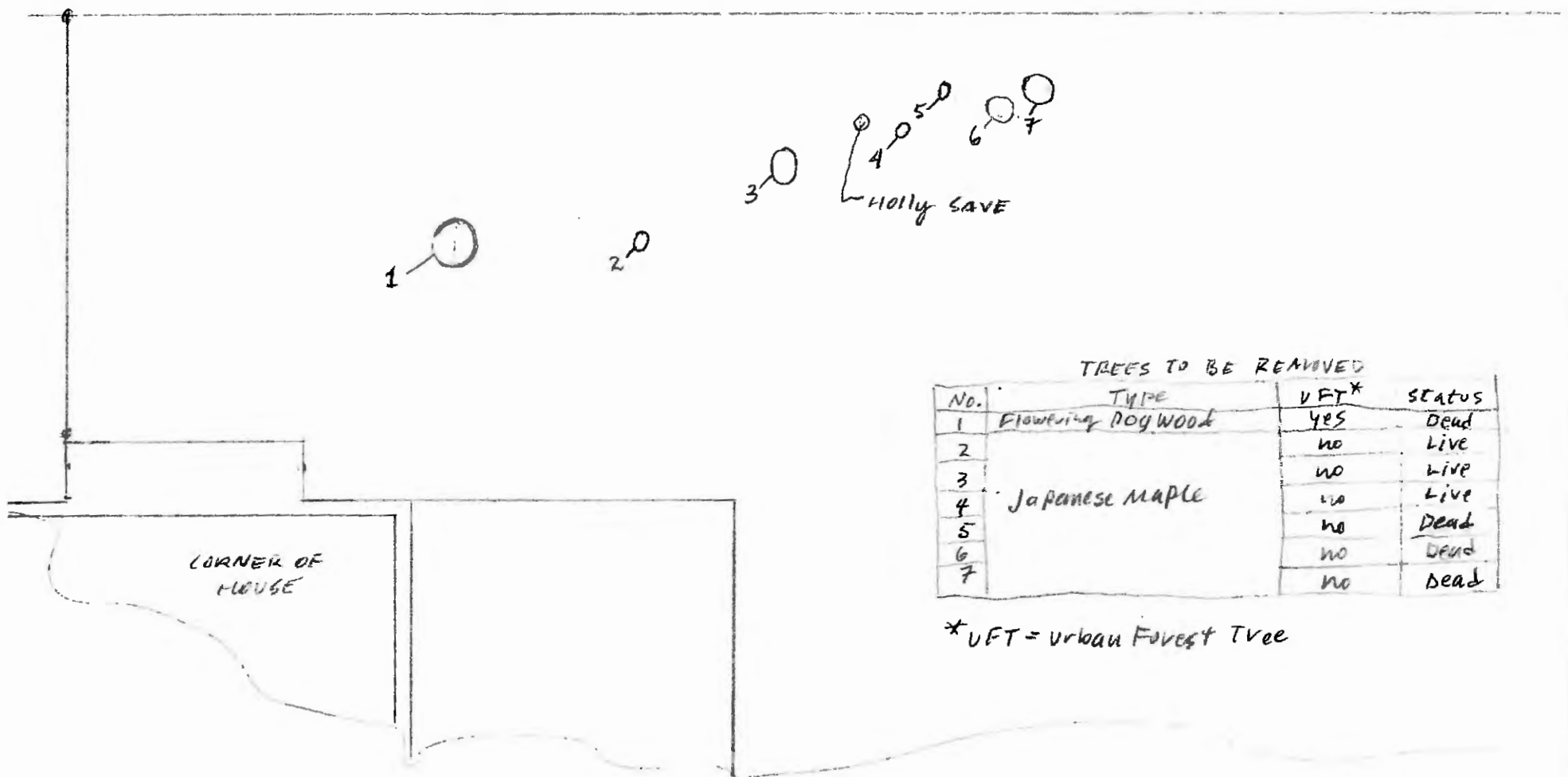


**Figure 11—Original beam ends believed
to have been removed from porch gable**

6. Tree Survey

The following table lists the trees on the property.

Species	Urban Forest	Comments
Japanese Maple	No	Numerous dead trees.
Flowering Dogwood <i>Cornus florida</i>	Yes	Dead. Removal part of Tree Removal process in Takoma Park.
River Birch "Heritage" <i>Betula nigra</i>	Yes	
Serviceberry <i>Analachier canadensis</i>	No	
Tulip Poplar <i>Liriodendron tulipifera</i>	Yes	
Eastern Redbud <i>Cercis canadensis</i>	No	
Black Walnut qty 2 <i>Juglans nigra</i>	Yes	
Fringe Tree <i>Chionanthus virginicus</i>	No	



*UFT = Urban Forest Tree

7312 WILLOW AVE
TREE REMOVAL PLAN
DIAGRAM

Scale
1/4" = 1'

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address <i>Nancy A. Hughes + Timothy W. Rahm</i> <i>7312 Willow Ave.</i> <i>Takoma Park MD 20912</i></p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p><i>Wendy Berger + Michael Hamide</i> <i>7310 Willow Ave.</i> <i>Takoma Park MD 20912</i></p>	<p><i>Nancy Bosker</i> <i>7311 Willow Ave.</i> <i>Takoma Park MD 20912</i></p>
<p><i>Kathy Milham + Steve Fabry</i> <i>7314 Willow Ave</i> <i>Takoma Park MD 20912</i></p>	<p><i>Susie Strasser + Bob Guldin</i> <i>7309 Willow Ave.</i> <i>Takoma Park MD 20912</i></p>
<p><i>Larry Lempert + Pat Ricci</i> <i>7313 Willow Ave.</i> <i>Takoma Park MD 20912</i></p>	