

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3718 Bradley Lane, Chevy Chase	Meeting Date:	5/7/2019
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	4/30/2019
Applicant:	Mary Beth Donnelly (Michael Dombo, Architect)	Public Notice:	4/23/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-19M	Staff:	Michael Kyne
PROPOSAL:	Porch alteration		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival/Foursquare
DATE: 1916-1927



Fig. 1: Subject property.

PROPOSAL

The applicants propose the following alterations at the subject property:

- Convert an existing deck at the rear (south side) of the house to a screened porch.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is

sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The applicant proposes to convert an existing deck at the rear (south side) of the subject property to a screened porch. An existing set of stairs to grade at the west side of the existing deck will be removed, a shed roof with asphalt shingles to match the historic house will be added, the existing wooden deck posts will be converted to columns and extended to the roof, and removable screens will be added between the columns.

Staff is supportive of the applicants' proposal. According to the *Guidelines*, "[e]nclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed." Additionally, the proposed new screened porch will not be visible from the public right-of-way, and it should be reviewed with lenient scrutiny.

According to the *Guidelines*:

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

Staff finds that the proposed porch enclosure is compatibly designed, and there are no problems with massing or scale, making the proposal consistent with the *Guidelines*. In accordance with the *Standards*, the proposal will not remove or alter character-defining features of the subject property or surrounding historic district.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Michele@mmclconstruction.com Contact Person: Michele Dombro
Daytime Phone No.: 202-731-1177

Tax Account No.: _____
Name of Property Owner: Mary Beth Donnelly Daytime Phone No.: _____
Address: 3718 Cherry Chase Bradley Lane
Street City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 3718 Street: Bradley Lane
Town/City: Cherry Chase Nearest Cross Street: _____
Lot: 38 Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PAINT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # Active permit

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement N/A

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 3/29/19
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

there is an existing deck with
features - we are using existing
structure + making it into a
screen porch
see pictures

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

adding screen porch to existing
deck structure - continuing with
details on trim etc that are already
there.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 3718 Bradley lane Chevy Chase MD 20815	Owner's Agent's mailing address 3724 Northampton St NW Washington DC 20015
Adjacent and confronting Property Owners mailing addresses	











3718 Bradley Lane
Chevy Chase, MD

- 2015 International Residential Code (IRC)
- 2015 International Building Code (IBC)
- 2015 International Plumbing Code (IPC)
- 2015 International Mechanical Code (IMC)
- 2015 International Fuel Gas Code (IFGC)
- 2015 International Energy Conservation Code (IECC)
- 2015 International Existing Building Code (IEBC)
- 2015 National Electrical Code (NFPA 70)
- 2015 International Green Construction Code (IgCC)
- 2015 ADA Standards

- ### GENERAL NOTES

3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON THE SITE DURING CONSTRUCTION. THE OWNER'S CONTRACTOR SHALL

8. CONTRACTOR TO CHECK IN AND VERIFY ALL SHIPMENTS OF OWNER'S FURNISHED MATERIALS. THIS INCLUDES OPENING ALL BOXES OF EACH SHIPMENT AND VERIFYING THE THEIR

12. WARRANT TO THE OWNER THAT ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND CONFORMS WITH THE CONTRACT DOCUMENTS. FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK NOT FOUND TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS

19. EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE.



The property owner is requesting a permit to construct a screened area to enclose a portion of an existing deck.

C001	COVER SHEET
Z001	SITE PLAN AND AERIAL VIEW
A001	EXISTING FLOOR PLANS
A002	PROPOSED FLOOR PLANS
A003	EXISTING AND PROPOSED REAR ELEVATIONS
A004	EXISTING AND PROPOSED SIDE ELEVATIONS
A005	SECTION DETAILS AND ROOF PLAN

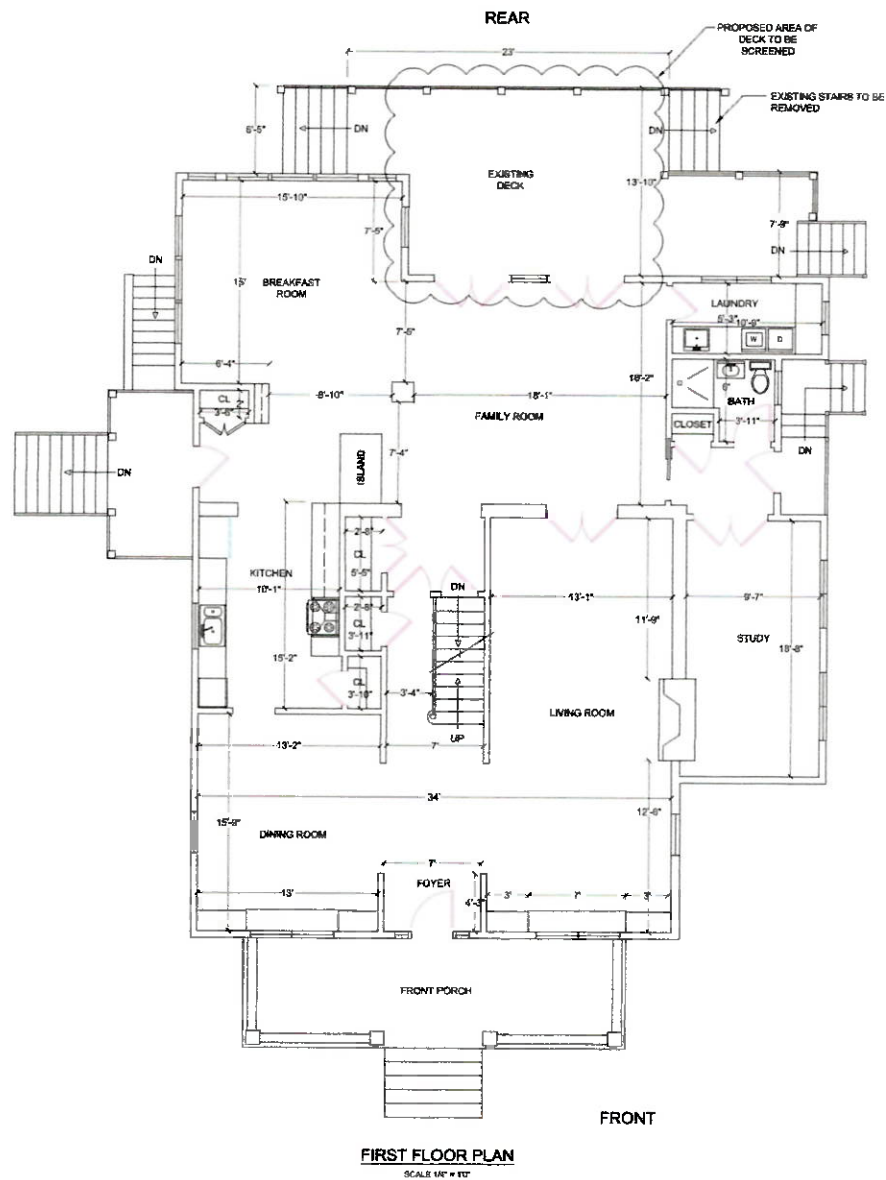
28. CONTRACTOR SHALL CARRY AND MAINTAIN ALL STANDARD INSURANCE COVERAGE TO STANDARD LIMITS OR GREATER, AS IS REQUIRED BY THE LANDLORD.

RENOVATION DRAFTING

C001

3718 Bradley Lane
Chevy Chase, MD

[illegible]



EXISTING OPEN PERGOLA
TO BE REMOVED



EXISTING OPEN PERGOLA
TO BE REMOVED



SEAL

PROJECT

**Bradley Lane
Screened Porch**

3718 Bradley Lane
Chevy Chase, MD

CONTACT

MICHAEL McCLELLAN
BETHESDA, MD
ERENOVATIONDRAFTING@GMAIL.COM
P.240.478.9277

RENOVATION DRAFTING

NAME	DATE	DESCRIPTION
DESIGN		
PROJECT NO.		
CAD FILE		
DATE		
DRAWN BY	MC McCLELLAN	
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SHEET TITLE		

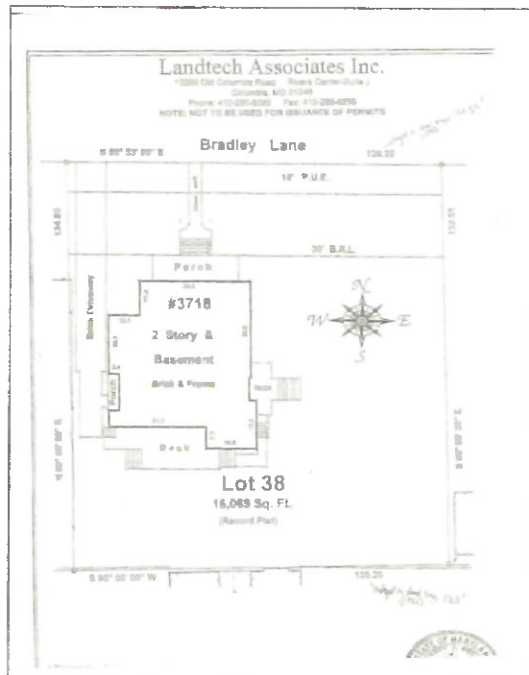
FIRST FLOOR PLAN

DRAWING SHEET NO.

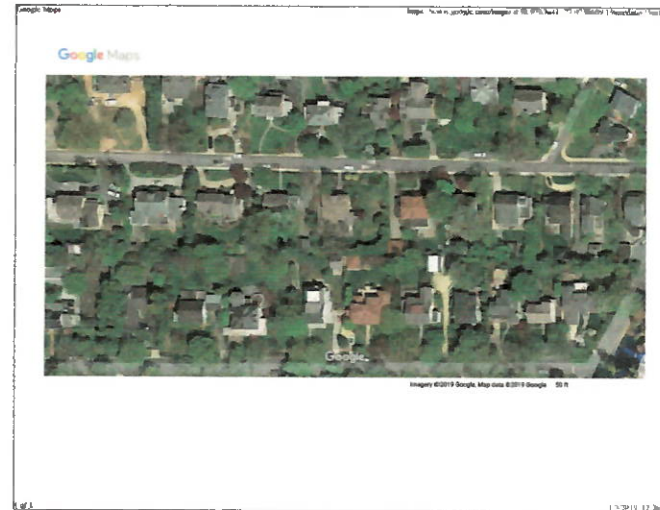
A001

BRADLEY LANE SCREENED PORCH

3718 Bradley Lane
Chevy Chase, MD



SITE PLAN



AERIAL VIEW

SEAL

PROJECT

**Bradley Lane
Screened Porch**

3718 Bradley Lane
Chevy Chase, MD

CONTACT

MICHAEL McCLELLAN
BETHESDA, MD
ERENOVATIONDRAFTING@GMAIL.COM
P.240.478.9277

RENOVATION DRAFTING

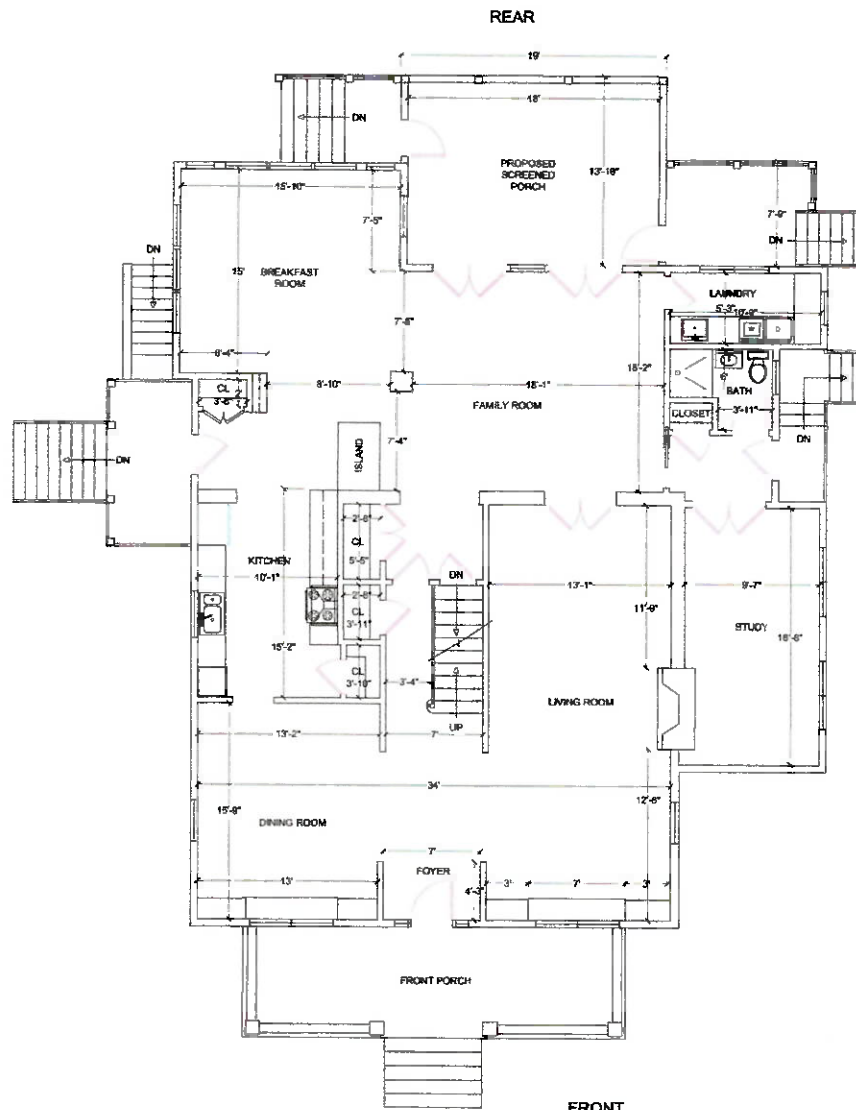
ISSUE	DATE	DESCRIPTION

SHEET TITLE

SITE PLAN

DRAWING SHEET NO.

Z001



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



SEAL

PROJECT

**Bradley Lane
Screened Porch**
3718 Bradley Lane
Chevy Chase, MD

CONTACT

MICHAEL McCLELLAN
BETHESDA, MD
E:RENOVATIONDRAFTING@GMAIL.COM
P:240.478.9277

RENOVATION DRAFTING

WORK	DATE	DESCRIPTION
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PROJECT NO.		
CAD FILE		
DATE		
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SHEET TITLE		

WORK	DATE	DESCRIPTION
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PROJECT NO.		
CAD FILE		
DATE		
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**PROPOSED PORCH
FLOOR PLAN**

DRAWING SHEET NO.

A002

GENERAL NOTES

DESIGN CODE:

- 2015 INTERNATIONAL RESIDENTIAL CODE.

DESIGN LOADS:

- FLOOR DEAD LOAD: 12 PSF
- FLOOR LIVE LOAD: 40 PSF
- ROOF LIVE LOAD: 30 PSF
- GROUND SNOW LOAD: 30 PSF

WIND DESIGN CRITERIA:

- ULTIMATE (V_W) DESIGN WIND SPEED: 115 MPH

FRAMING:

- ALL JOIST HANGERS TO BE SIMPSON STRONG TIE, OR APPROVED EQUAL.
- ALL FRAMING TO BE SOUTHERN PINE #2 OR BETTER.
- TYPICAL WALL FRAMING TO BE 2 X 6 AT 16" OC, UNLESS OTHERWISE NOTED.
- ALL FASTENERS TO BE IN ACCORDANCE WITH 2015 IRC, TABLE R602.3(1).
- WALLS SHALL HAVE A CONTINUOUS BOTTOM AND CONTINUOUS DOUBLE TOP PLATE.
- ALL FRAMING WOOD ON THE FIRST FLOOR IS PRESSURE TREATED WOOD.

GENERAL NOTES

DESIGN CODE

1. 2015 INTERNATIONAL RESIDENTIAL CODE.

DESIGN LOADS

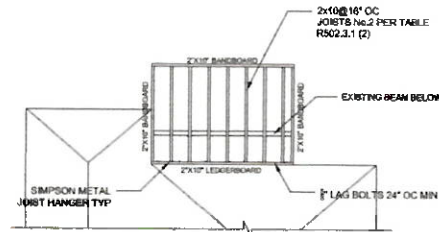
1. FLOOR DEAD LOAD: 12 PSF
2. FLOOR LIVE LOAD: 40 PSF
3. ROOF LIVE LOAD: 30 PSF
4. GROUND SNOW LOAD: 30 PSF

WIND DESIGN CRITERIA

1. ULTIMATE (V_W) DESIGN WIND SPEED: 115 MPH

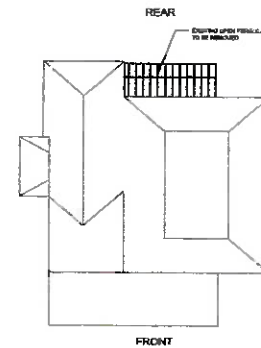
FRAMING

2. ALL JOIST HANGERS TO BE SIMPSON STRONG TIE, OR APPROVED EQUAL.
3. ALL FRAMING TO BE SOUTHERN PINE #2 OR BETTER.
4. TYPICAL WALL FRAMING TO BE 2 X 6 AT 16" OC, UNLESS OTHERWISE NOTED.
5. ALL FASTENING TO BE IN ACCORDANCE WITH 2015 IRC, TABLE R602.3.1(1).
6. WALLS SHALL HAVE A CONTINUOUS BOTTOM AND CONTINUOUS DOUBLE TOP PLATE.
7. ALL FRAMING WOOD ON THE FIRST FLOOR IS PRESSURE TREATED WOOD.



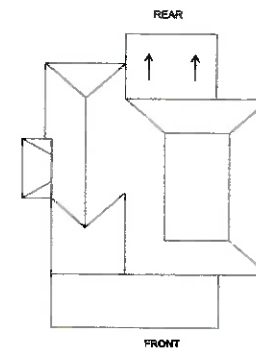
ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



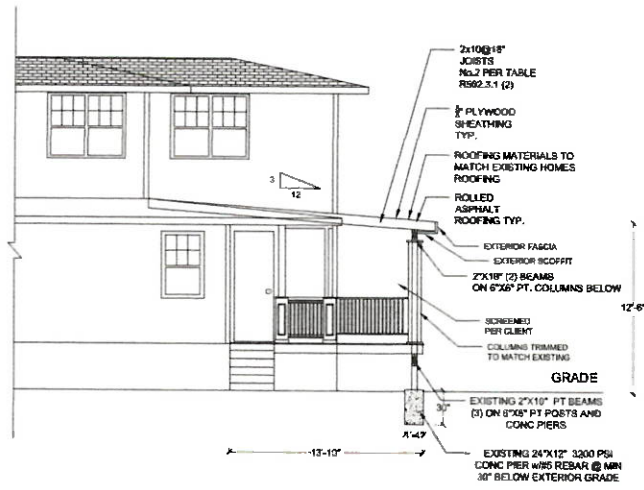
EXISTING ROOF PLAN

NOT TO SCALE



PROPOSED ROOF PLAN

NOT TO SCALE

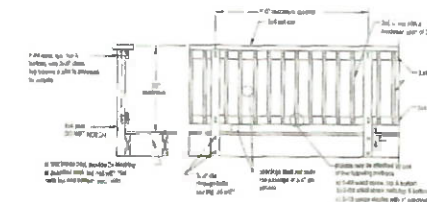


SECTION DETAIL

SCALE 1/4" = 1'-0"

Guardrail Measurements

Guardrails shall be constructed as shown in Figure 28 and Figure 29. The guardrail posts can be attached to the exterior of the rim joint (Figure 30), or the interior of the rim joints (Figure 31). Installation of the through bolts and lag bolts follow same rules as outlined above. Lag bolts can be replaced with connectors installed at the top and bottom of joints - such as hurricane ties or similar bracket capable to withstand 600 pounds per tie. A manufacturer guardrail system requires a construction plan submission accompanied by a product specific evaluation report that is currently listed with an approved state agency.



RAILING DETAIL

NOT TO SCALE

SEAL

PROJECT

**Bradley Lane
Screened Porch**

3718 Bradley Lane
Chevy Chase, MD

CONTACT

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E:RENOVATIONDRAFTING@GMAIL.COM
P:240.478.9277

RENOVATION DRAFTING

DATE DESCRIPTION

ISSUE

PROJECT NO:

CAD FILE

DATE:

DRAWN BY: M. McCLELLAN

CHECKED BY:

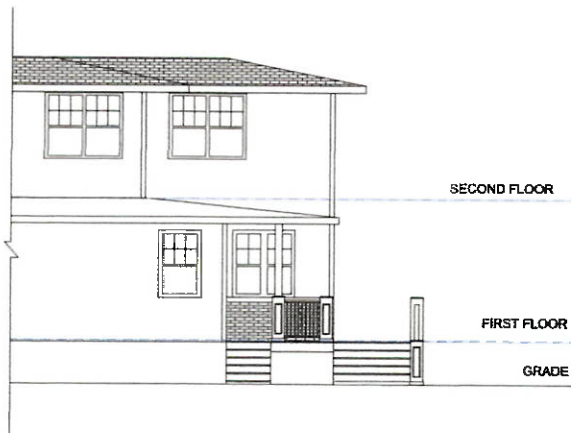
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SHEET TITLE:

SECTION AND ROOF PLAN

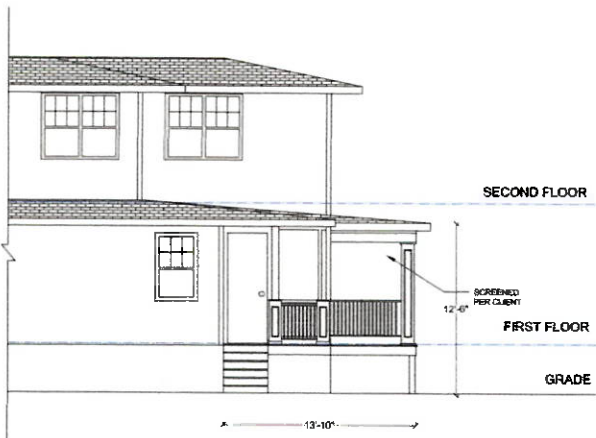
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A005



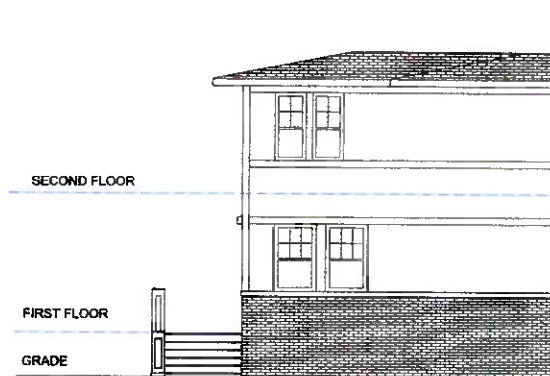
EXISTING SIDE ELEVATION

SCALE 1/4" = 1'-0"



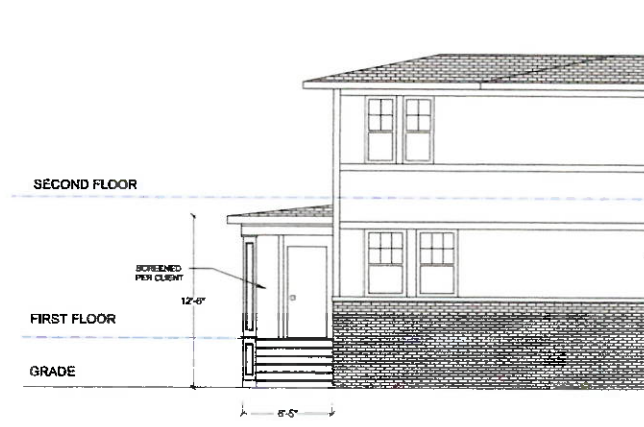
PROPOSED SIDE ELEVATION

SCALE 1/4" = 1'-0"



EXISTING SIDE ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE 1/4" = 1'-0"

SEAL

PROJECT

**Bradley Lane
Screened Porch**

3718 Bradley Lane
Chevy Chase, MD

CONTACT

MICHAEL McCLELLAN
BETHESDA, MD
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P-240 478 9277

RENOVATION DRAFTING

MAJOR DATE DESCRIPTION

ISSUE

PROJECT NO.

CAD FILE

DATE

DRAWN BY: M. McCLELLAN

CHECKED BY:

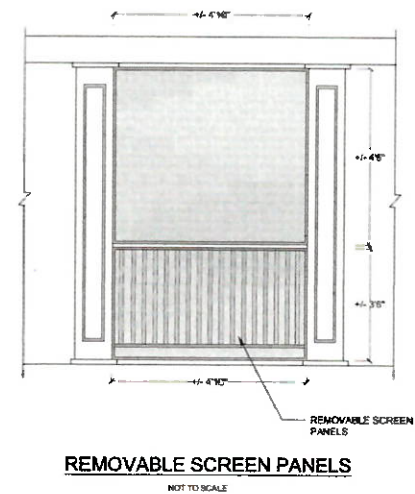
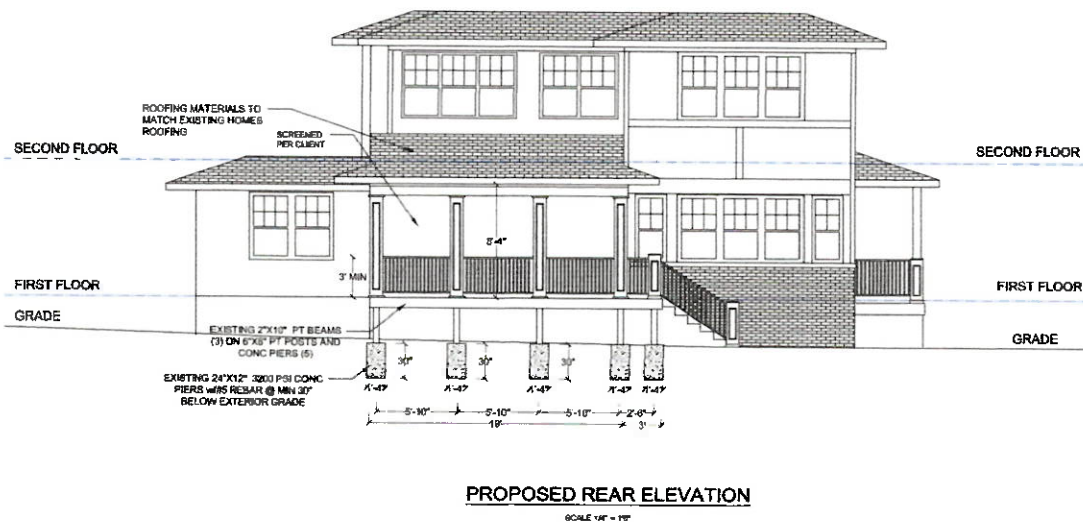
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SHEET TITLE

**EXISTING AND PROPOSED
SIDE ELEVATIONS**

DRAWING SHEET NO.

A004



SEAL		
PROJECT		
Bradley Lane Screened Porch 3718 Bradley Lane Chevy Chase, MD		
CONTACT		
MICHAEL McCLELLAN BETHESDA, MD E.RENOVATIONDRAFTING@GMAIL.COM P.240.478.9277		
RENOVATION DRAFTING		
MARK	DATE	DESCRIPTION
ISSUE:		
PROJECT NO:		
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DATE:		
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SHEET TITLE		
EXISTING AND PROPOSED REAR ELEVATIONS		
DRAWING SHEET NO:		
A003		

BRADLEY LANE SCREENED PORCH

3718 Bradley Lane
Chevy Chase, MD

CODE AUTHORITIES

- 2015 International Residential Code (IRC)
- 2015 International Building Code (IBC)
- 2015 International Plumbing Code (IPC)
- 2015 International Mechanical Code (IMC)
- 2015 International Fuel Gas Code (IFGC)
- 2015 International Energy Conservation Code (IECC)
- 2015 International Existing Building Code (IEBC)
- 2015 National Electrical Code (NFPA 70)
- 2015 International Green Construction Code (IgCC)
- 2015 ADA Standards

- 2015 NFPA 1 Fire Code
- 2015 NFPA 101 Life Safety Code
- 2015 NFPA 13, 13R, 13D Fire Sprinkler Codes
- 2015 NFPA 72 Fire Alarm Code

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES & ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTION HAVING AUTHORITY. ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITIES AT THE PROPER TIME DURING PROGRESS OF THE WORK.

1. THIS SHEET IS PART OF AN ENTIRE SET OF CONSTRUCTION DOCUMENTS (REFER TO DRAWING INDEX). THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO BIDDER, SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION OBTAINED FROM SITE VISITS PRIOR TO CLEARING AND CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID, VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK OR ORDERING MATERIAL OR ORDERING MATERIAL (SUCH AS DOORS AND TRUSSES) AND SHALL ADVISE ARCHITECT OF ANY DISCREPANCIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON THE SITE DURING CONSTRUCTION. THE OWNER'S CONTRACTOR SHALL

INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK DESCRIBED ON THESE DRAWINGS. THIS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETE, WITH A COPY PROVIDED TO THE ARCHITECT.

4. IF ANY ERROR, DISCREPANCIES OR OMISSIONS APPEAR ON THESE DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITTEN FORM IMMEDIATELY. FAILURE TO GIVE NOTICE WILL CAUSE THE CONTRACTOR TO BE HELD RESPONSIBLE FOR THE RESULTS OF SUCH ERRORS, DISCREPANCIES OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.

5. NO MATERIALS SUBSTITUTION WILL BE ALLOWED UNLESS SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL. IN WRITING, NOTIFICATION OF INTENT TO MAKE SUBSTITUTION MUST BE SUBMITTED WITHIN 10 WORKING DAYS OF CONTRACT AWARD.

6. THE CONTRACTOR IS REQUIRED TO PROVIDE A LIST OF ALL SUB-CONTRACTORS TO BE USED AND SUBMIT TO THE OWNER AND ARCHITECT WITHIN 10 WORKING DAYS OF CONTRACT AWARD.

7. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES BY OTHERS AND SHALL BE AVAILABLE TO RECEIVE DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND FIXTURES PROVIDED BY THE OWNER. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFE KEEPING OF PRODUCTS STORED ON SITE.

8. CONTRACTOR TO CHECK IN AND VERIFY ALL SHIPMENTS OF OWNER'S FURNISHED MATERIALS. THIS INCLUDES OPENING ALL BOXES OF EACH SHIPMENT AND VERIFYING THE THEIR

CONTENTS AGAINST PACKING LISTS AND THEN NOTIFYING THE OWNER OF ALL BACK ORDERS OR SHORTAGES WITHIN 40 HOURS OF RECEIVING SHIPMENT. IF THIS IS NOT DONE, THE OWNER'S CONTRACTOR WILL BEAR THE COSTS OF ANY EXPEDITED FREIGHT CHARGES TO MEET CONSTRUCTION SCHEDULE.

9. OWNER'S CONTRACTOR SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEYS IN A MARKED ENVELOPE. ALL KEYS ARE TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE OWNER'S PROJECT REPRESENTATIVE WITH THE CERTIFICATE OF USE AND OCCUPANCY, RELEASES OF LIENS FROM ALL THOSE RECEIVING INCLUDED WITH THIS INFORMATION IS TO BE A LIST OF ALL SUB-CONTRACTORS WITH PHONE NUMBERS.

10. THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT AUTHORIZATION FROM THE ARCHITECT. CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE ARCHITECT.

11. WORK SCHEDULED TO BE SUPPLIED BY OTHERS, BUT INSTALLED UNDER THIS CONTRACT MEANS THAT THE APPLICABLE ITEM WILL BE DELIVERED BY OTHERS.

12. WARRANT TO THE OWNER THAT ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND CONFORMS WITH THE CONTRACT DOCUMENTS FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL PROMPTLY CORRECT WORK NOT FOUND TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS

OF CORRECTIONS.

13. CONTRACTOR SHALL COORDINATE WORK TO ENSURE EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF CONSTRUCTION ELEMENTS WITH PROVISIONS FOR ACCOMMODATING ITEMS INSTALLED LATER.

14. CONTRACTOR SHALL PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL LIGHT FIXTURES, CEILING DIFFUSERS, ETC.

15. CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA101. DURING CONSTRUCTION MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR. ALL WORK PERFORMED SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES.

16. CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.

17. PROVIDE PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY OWNER, OR AS NECESSARY FOR SAFETY.

18. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.

19. EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF



EXISTING REAR

SCOPE OF WORK

The property owner is requesting a permit to construct a screened area to enclose a portion of an existing deck.

DRAWING INDEX

C001	COVER SHEET
Z001	SITE PLAN AND AERIAL VIEW
A001	EXISTING FLOOR PLANS
A002	PROPOSED FLOOR PLANS
A003	EXISTING AND PROPOSED REAR ELEVATIONS
A004	EXISTING AND PROPOSED SIDE ELEVATIONS
A005	SECTION DETAILS AND ROOF PLANS

INSTALLED MATERIALS. ADVISE ARCHITECT OF ANY EXISTING CONDITION NOT LEVEL, PLUMB, AND SMOOTH WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.

20. OWNER RESERVES THE RIGHT TO OCCUPY AND TO PLACE OR INSTALL EQUIPMENT IN COMPLETED AREAS OF THE PROJECT, PROVIDING SUCH ACTS DO NOT INTERFERE WITH THE COMPLETION OF THE WORK. SUCH ACTS BY THE OWNER SHALL NOT CONSTITUTE ACCEPTANCE OF THE TOTAL WORK.

21. THOROUGHLY CLEAN ALL SURFACES OF DUSTS, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT 24 HOURS PRIOR TO OCCUPANCY OF ANY PHASE. VACUUM OR MOP, AS APPROPRIATE, ALL FLOORS AND CLEAN WINDOWS AND GLAZING.

22. CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE DRAWINGS. ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FINISHED PRODUCT. AT THE END OF JOB, CONTRACTOR SHALL CLEAN ALL FINISHED SURFACES AND LEAVE JOB IN AN ORDERLY AND NEAT FASHION CAPABLE OF BEING USED FOR THE INTENDED PURPOSE. ALL WORK IS TO BE WARRANTED FOR TWO YEARS AGAINST ANY DEFECTS OR DEFICIENCIES. IT IS EXPRESSLY UNDERSTOOD THAT ONE CONDITION FOR FINAL PAYMENT TO THE CONTRACTOR UNDER THIS AGREEMENT IS COMPLETENESS OF ALL WORK.

23. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION AND REQUIREMENTS.

28. CONTRACTOR SHALL CARRY AND MAINTAIN ALL STANDARD INSURANCE COVERAGE TO STANDARD LIMITS OR GREATER, AS IS REQUIRED BY THE LANDLORD.

SEAL

PROJECT

**Bradley Lane
Screened Porch**

3718 Bradley Lane
Chevy Chase, MD

CONTACT

**MICHAEL McCLELLAN
BETHESDA, MD**
E:RENOVATIONDRAFTING@GMAIL.COM
P:246.478.9277

RENOVATION DRAFTING

MARK DATE DESCRIPTION

ISSUE

PROJECT NO

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COVER PAGE

DRAWING SHEET NO

C001

3718 Bradley Lane
Chevy Chase, MD



	SEAL
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PROJECT

Bradley Lane Screened Porch

3718 Bradley Lane
Chevy Chase, MD

CONTACT

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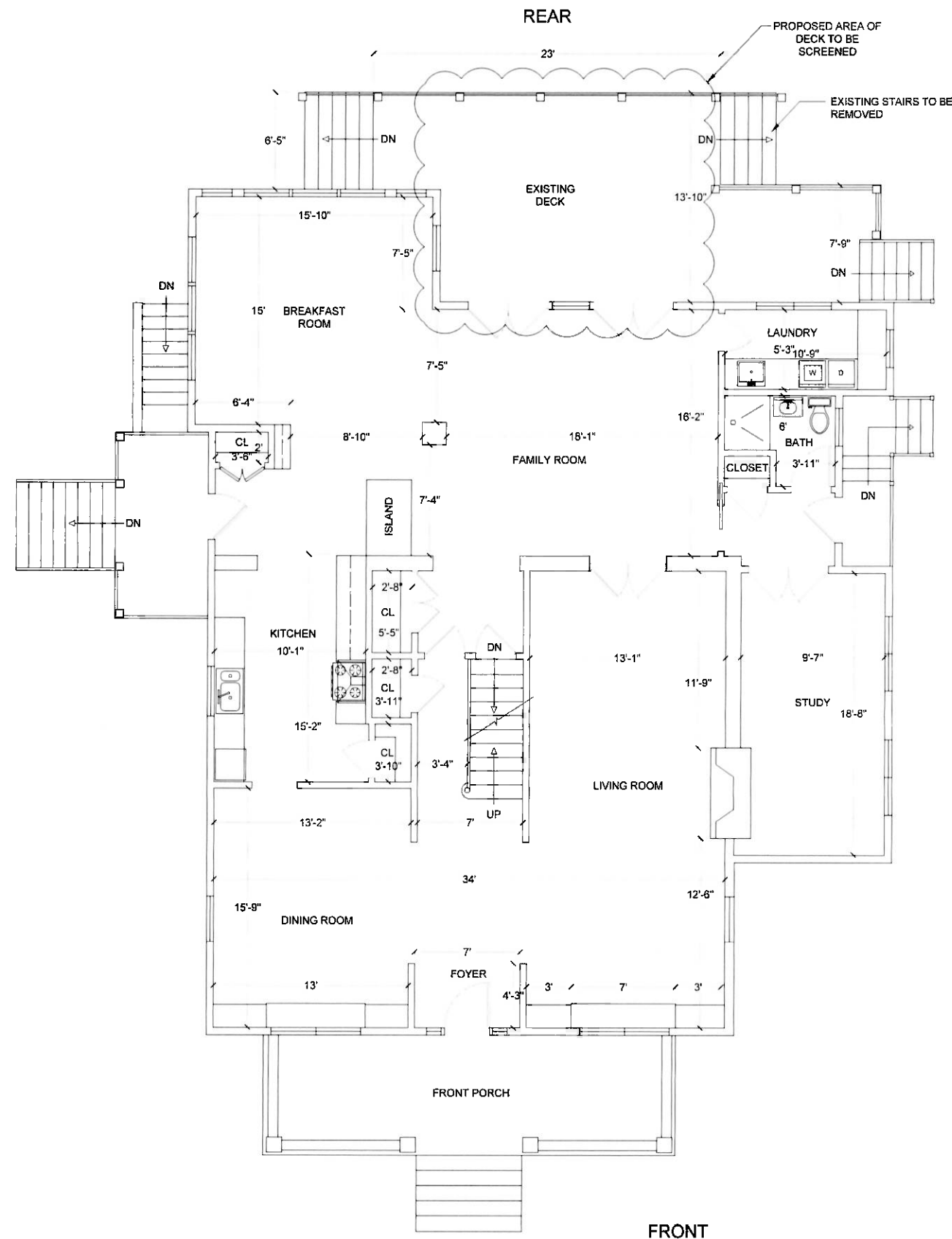
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SITE PLAN

DRAWING SHEET NO.

DRAWING SHEET NO. 7001

2001



FIRST FLOOR PLAN

SCALE 1/4" = 1'0"

EXISTING OPEN PERGOLA
TO BE REMOVED



EXISTING OPEN PERGOLA
TO BE REMOVED



SEAL

PROJECT

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Screened Porch**

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Chevy Chase, MD

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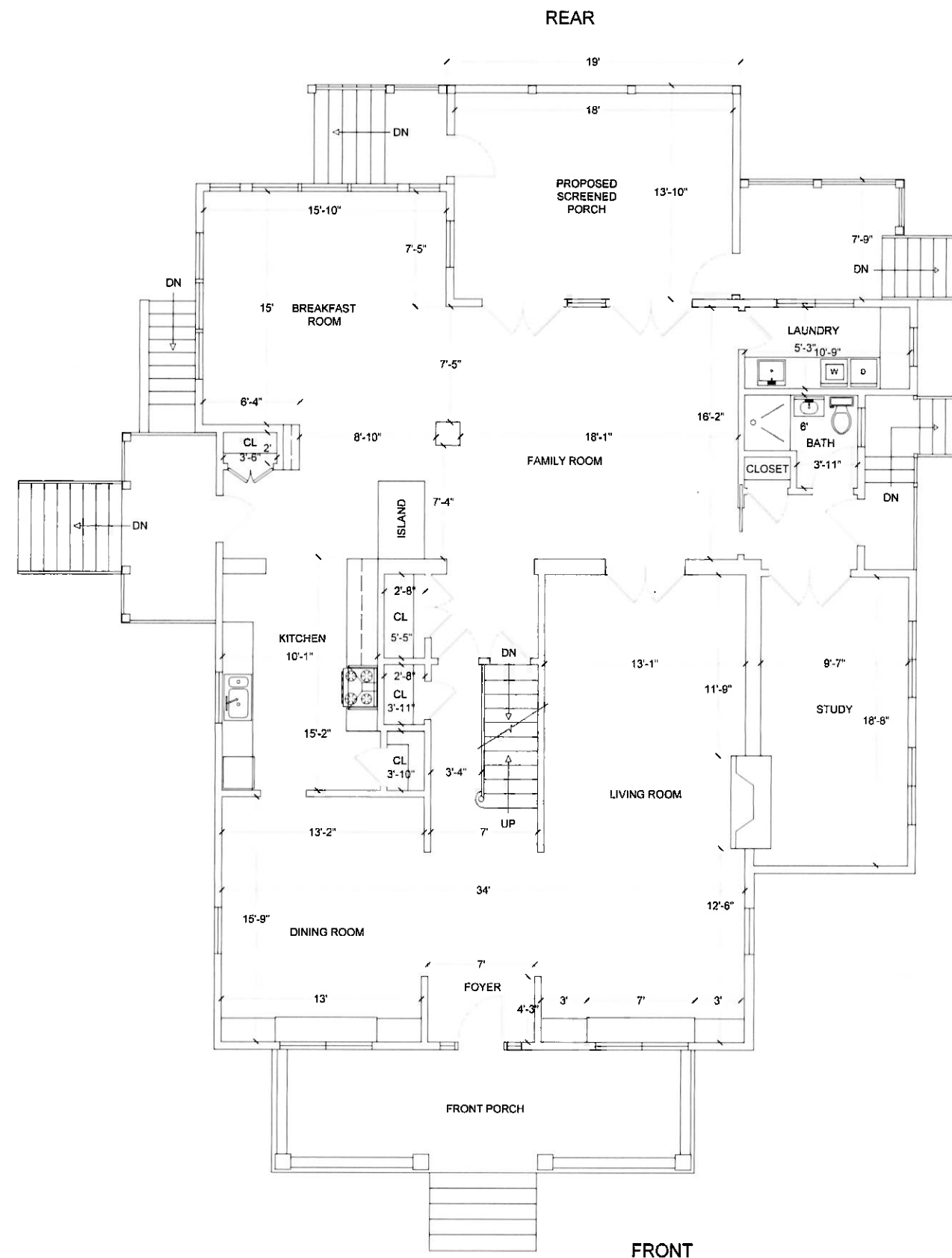
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FIRST FLOOR PLAN

DRAWING SHEET NO

A001



FIRST FLOOR PLAN

SCALE 1/4" = 1'0"



GENERAL NOTES

DESIGN CODE

1. 2015 INTERNATIONAL RESIDENTIAL CODE

DESIGN LOADS

1. FLOOR DEAD LOAD: 12 PSF
2. FLOOR LIVE LOAD: 40 PSF
3. ROOF LIVE LOAD: 30 PSF
4. GROUND SNOW LOAD: 30 PSF

WIND DESIGN CRITERIA:

1. ULTIMATE (Vult) DESIGN WIND SPEED: 115 MPH

FRAMING.

- 2 ALL JOIST HANGERS TO BE SIMPSON STRONG TIE OR APPROVED EQUAL.
- 3 ALL FRAMING TO BE SOUTHERN PINE #2 OR BETTER
- 4 TYPICAL WALL FRAMING TO BE 2 X 8 AT 16" OC. UNLESS OTHERWISE NOTED
- 5 ALL FASTENING TO BE IN ACCORDANCE WITH 2015 IRC, TABLE R602.3(1)
- 6 WALLS SHALL HAVE A CONTINUOUS BOTTOM AND CONTINUOUS DOUBLE TOP PLATE.
- 7 ALL FRAMING WOOD ON THE FIRST FLOOR IS PRESSURE TREATED WOOD.

SEAL

PROJECT

Bradley Lane Screened Porch

3718 Bradley Lane
Chevy Chase, MD

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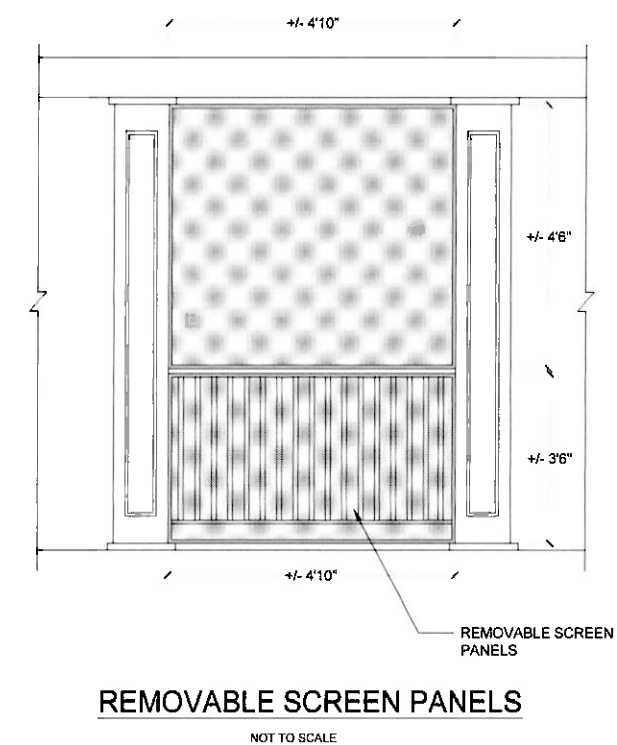
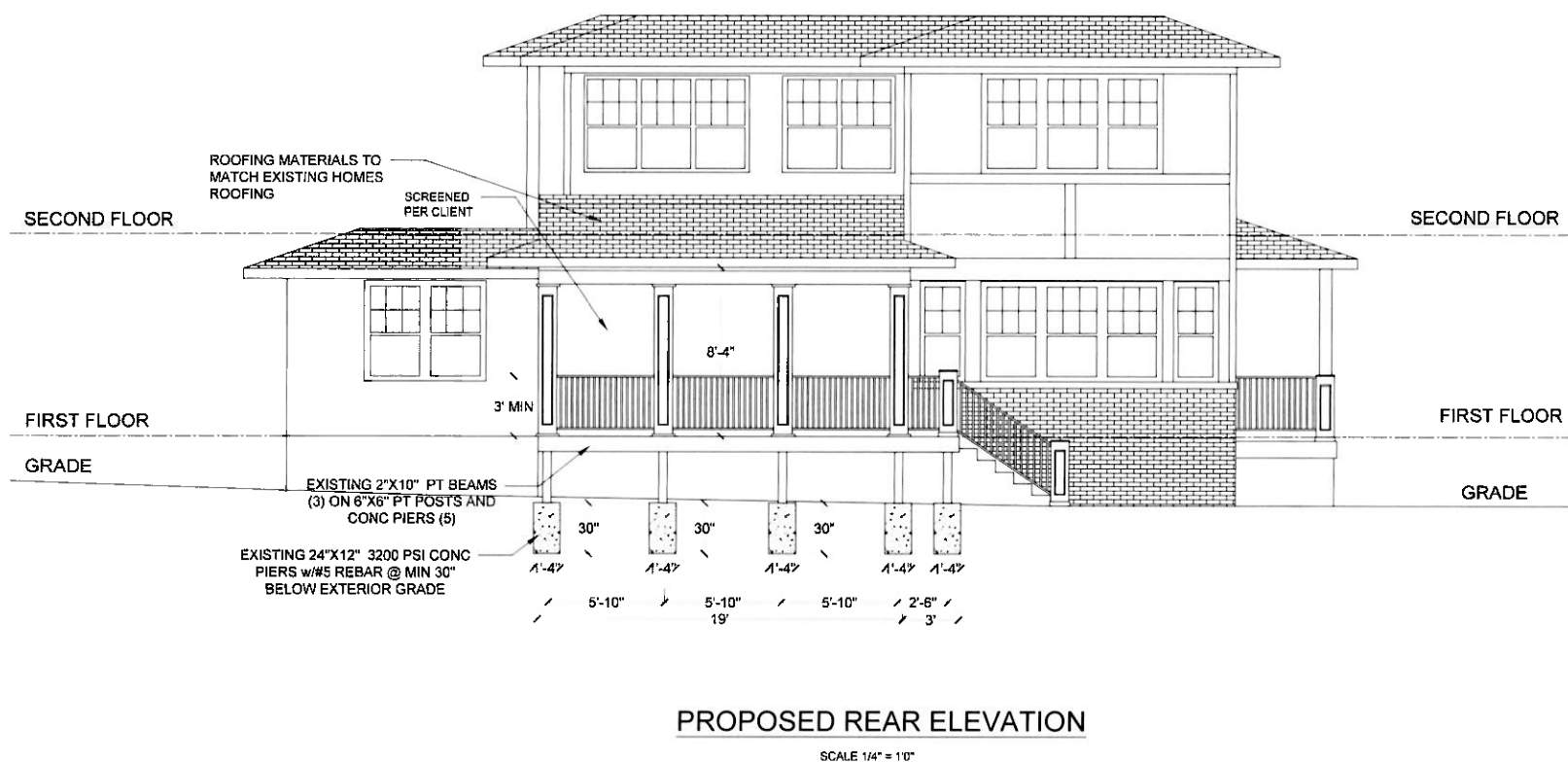
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PROPOSED PORCH
FLOOR PLAN

DRAWING SHEET NO:

A002



SEAL.

PROJECT

Bradley Lane Screened Porch

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SEAL

PROJECT

**Bradley Lane
Screened Porch**

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SHEET TITLE

EXISTING AND PROPOSED SIDE ELEVATIONS

SIDE ELEVATIONS

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DRAWING SHEET NO.

A004

A004

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