

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7314 Willow Avenue, Takoma Park	Meeting Date:	4/10/2019
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/03/2019
Applicant:	Kathy Milton Rick Vitullo, Architect	Public Notice:	3/27/2019
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/03-19R	Staff:	Dan Bruechert
PROPOSAL: Window Installation and Retaining Wall Construction			

RECOMMENDATION

Staff recommends the HPC approve the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow/Cottage
DATE: c1910s

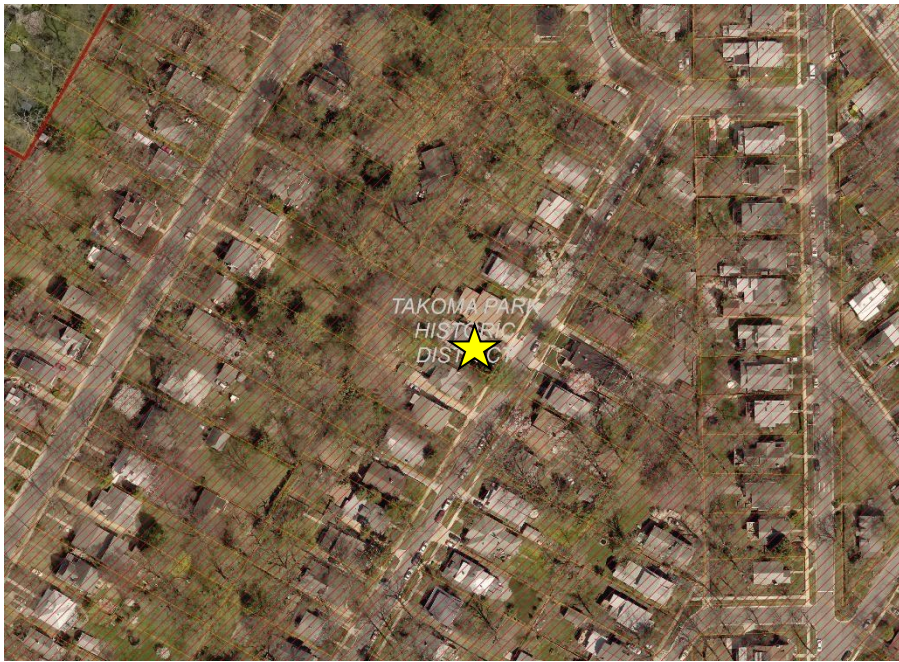


Figure 1: 7314 Willow Ave.

PROPOSAL

The applicant is proposing to install casement windows in the rear shed dormer; and re-locate a stone dry-laid retaining wall in the rear of the property.

The window wells have been removed from the scope of work for this HAWP.

The applicant indicated two additional areas of work; a new ridge beam and foundation repairs. These two elements do not require HPC review and approval, though they are eligible for the County Historic Preservation Tax Credit.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

While additions should be compatible, they are not required to be replicative of earlier architectural styles.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The work proposed in this HAWP will largely not be visible from the public right-of-way and will not alter the historic character of the house and surrounding district and Staff recommends

approval of this HAWP.

Window Installation

In 2007 dormers were added to the house after a tree fell on it and damaged the roof. The applicant proposes to install two pairs of six-lite, wood casement windows to the rear of this non-historic dormer.

These windows will not be visible from the public right of way and are proposed for a non-historic element. Staff finds the material of the proposed windows and configuration to be compatible and recommends approval under the *Guidelines* and 24A-8(b)(2).

Retaining Wall Construction

The last alteration proposed is to re-locate a dry-laid stone retaining wall in the rear of the property. The purpose of this change is to improve drainage on the site. The wall will be 20" (twenty inches) high and is placed behind the house. Its height is low enough that it will not be visible from the right-of-way and is a compatible design with the surrounding district. Staff supports approval under the *Design Guidelines* and Chapter 24A-8(b)(1) and (2).

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: RIV@VITULLOSTUDIO.COM Contact Person: RICHARD VITULLO
Tax Account No.: 01072198 Daytime Phone No.: 301-806-6447
Name of Property Owner: KATHY MILTON Daytime Phone No.: (240) 274-9966 c.
Address: 7314 WILLOW AVE. TAKOMA PARK MD 20912
Street Number City State Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: RICHARD J. VITULLO RIA Daytime Phone No.: 301-806-6447

LOCATION OF BUILDING/PREMISE

House Number: 7314 Street: WILLOW AVE.
Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE.
Lot: 17 Block: 9 Subdivision: B.F. GILBERT'S ADD'N TO T.P.
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ 10,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]

Signature of owner or authorized agent

3-19-19

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance.

1923 BUNGALOW W/ WOOD SHAKE SHINGLE SIDING

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

① ADDING & PAINTED WOOD WINDOWS (CASEMENT) TO REAR OF REAR
PORCH

② ADDING RIDGE BEAM TO ATTIC TO REPAIR "SURFBACK"

③ REPAIR CRAWL SPACE FOUNDATION

④ CREATE NEW 15" DEEP WINDOW WELLS ON SOUTH SIDE

2. SITE PLAN ⑤ TO SOLVE DRAINAGE ISSUES, MOVE RETAINING WALL TOWARDS
REAR OF PROPERTY. ~~THE~~ WALL TO BE 20" HIGH MADE OF STACKED
STONE.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

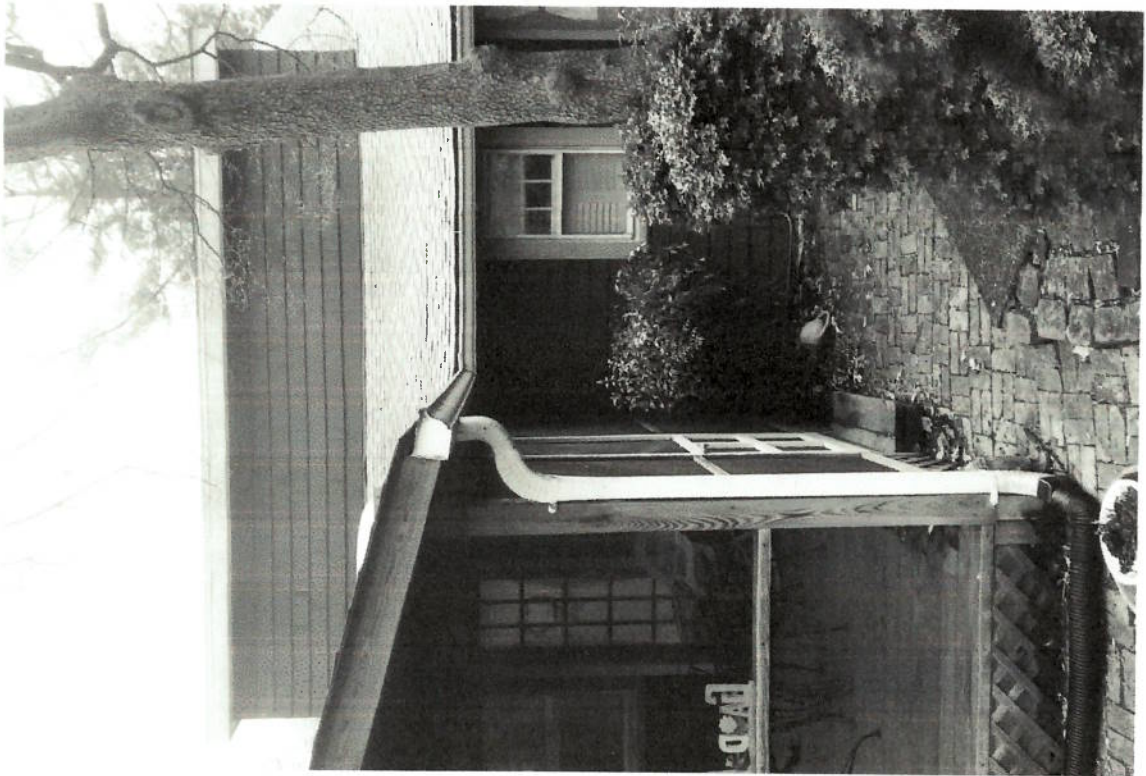


FRONT



RIGHT SIDE

7314 WILLOW AVE. 7



~~REAR~~

OWNERS:

Kathleen Milton
Steven Fabry
7314 Willow Ave.
Takoma Park, MD 20912

AGENT FOR OWNER:

Richard J. Vitullo AIA
Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912

Adjoining Property Owners

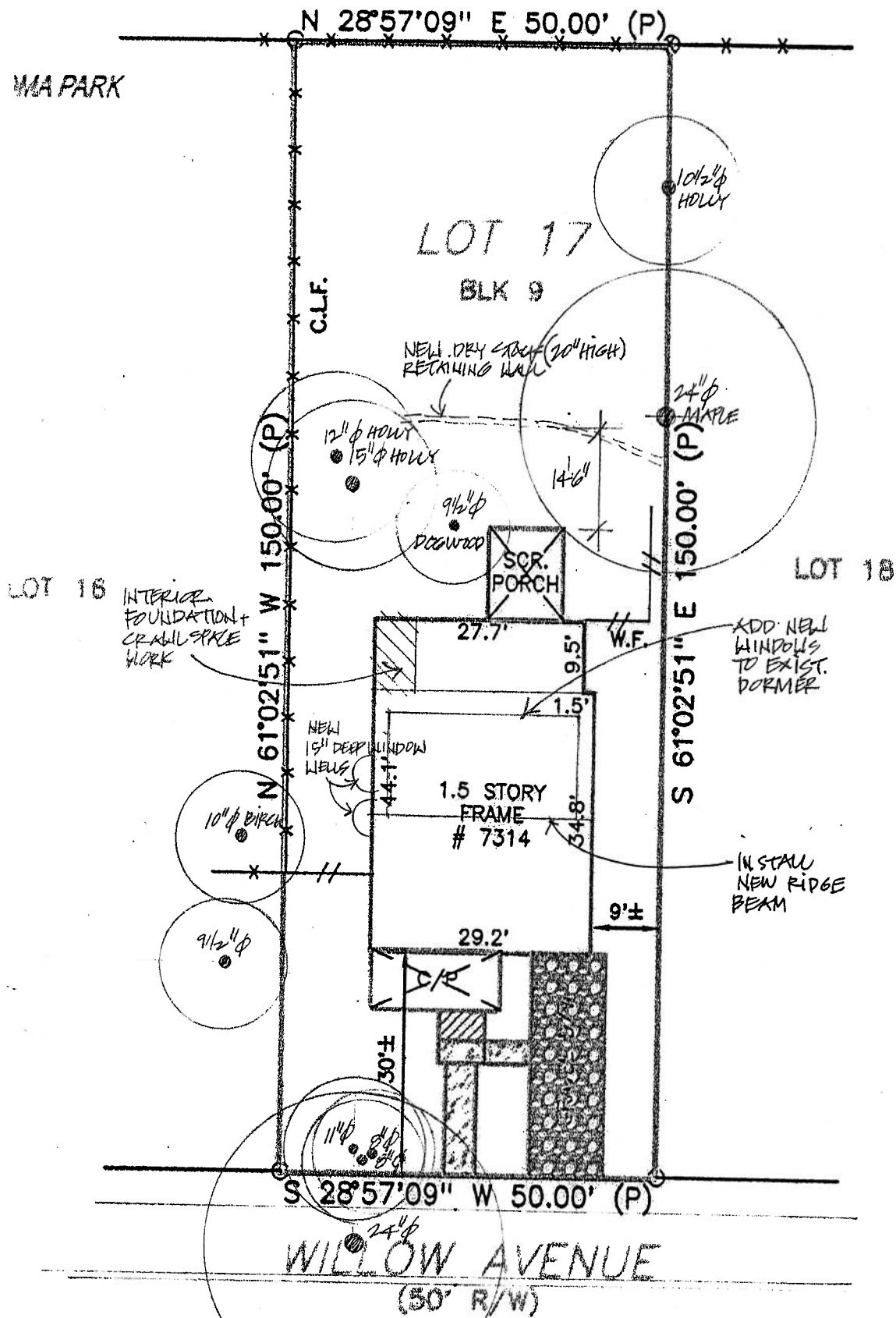
Kathleen Milton
Steven Fabry
7316 Willow Ave.
Takoma Park, MD 20912

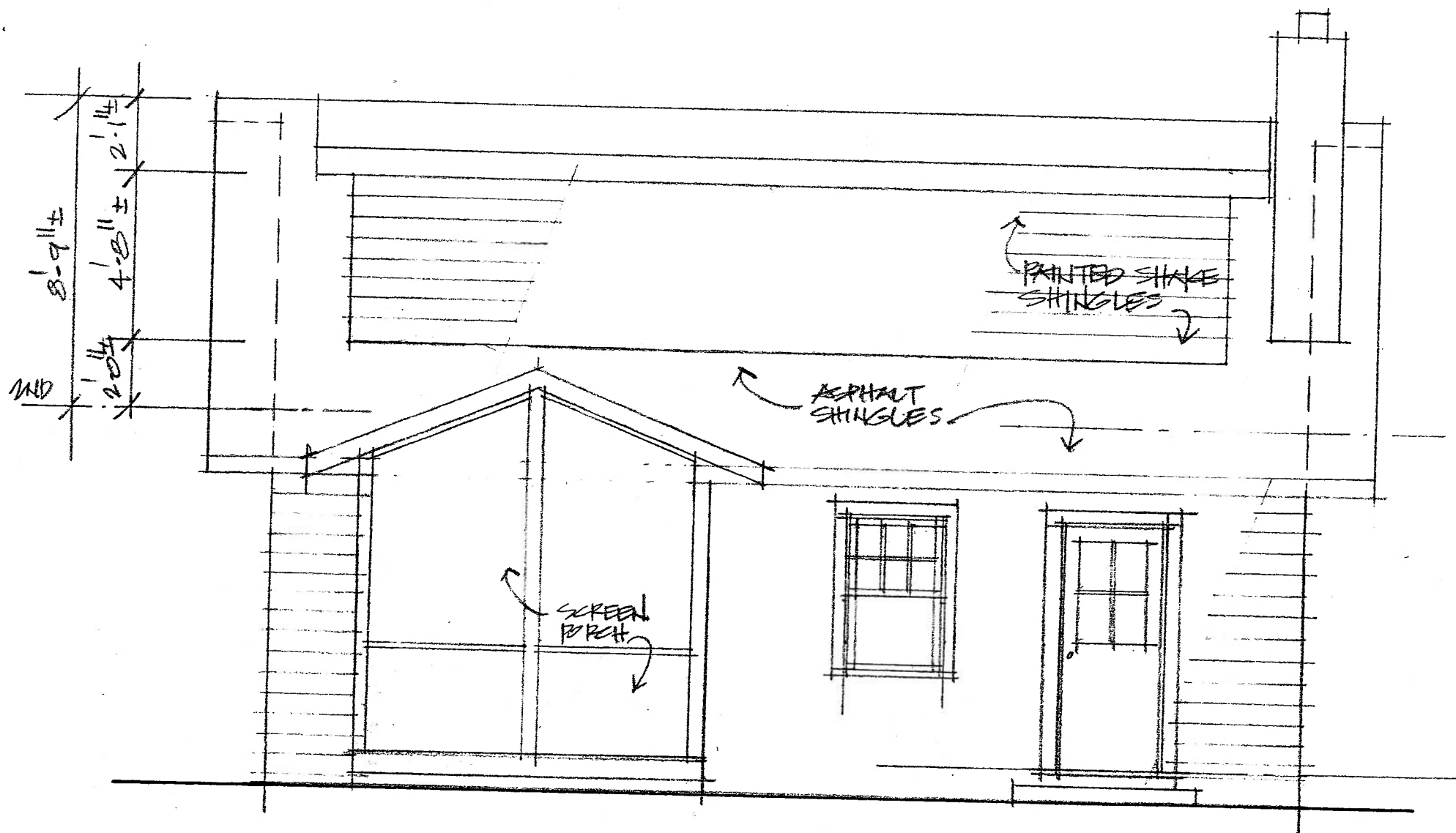
Cary Burnell
7318 Willow Ave.
Takoma Park, MD 20912

Nancy Hughes
Timothy Rahn
7312 Willow Ave.
Takoma Park, MD 20912

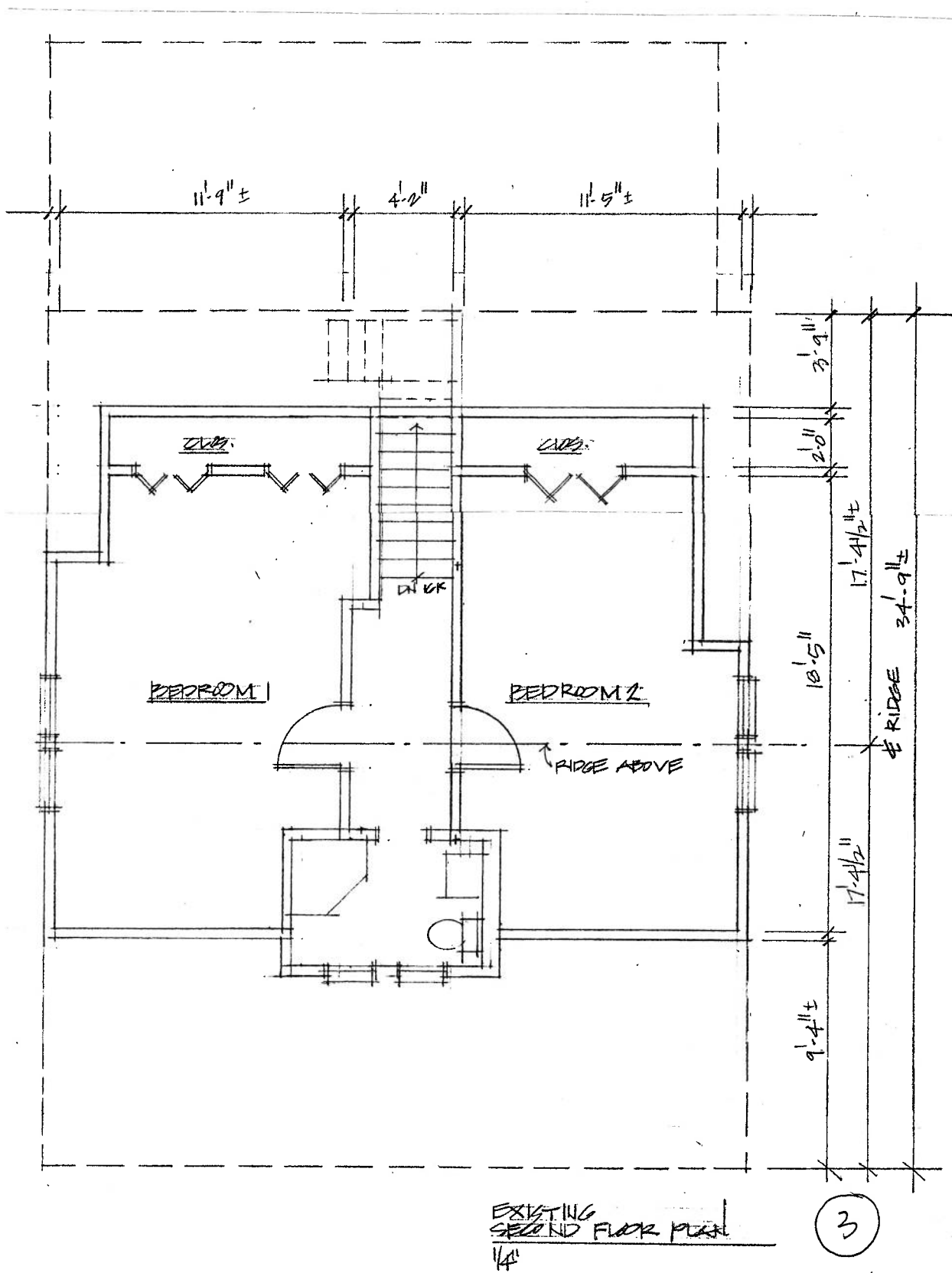
Gail Jensen
7315 Willow Ave.
Takoma Park, MD 20912

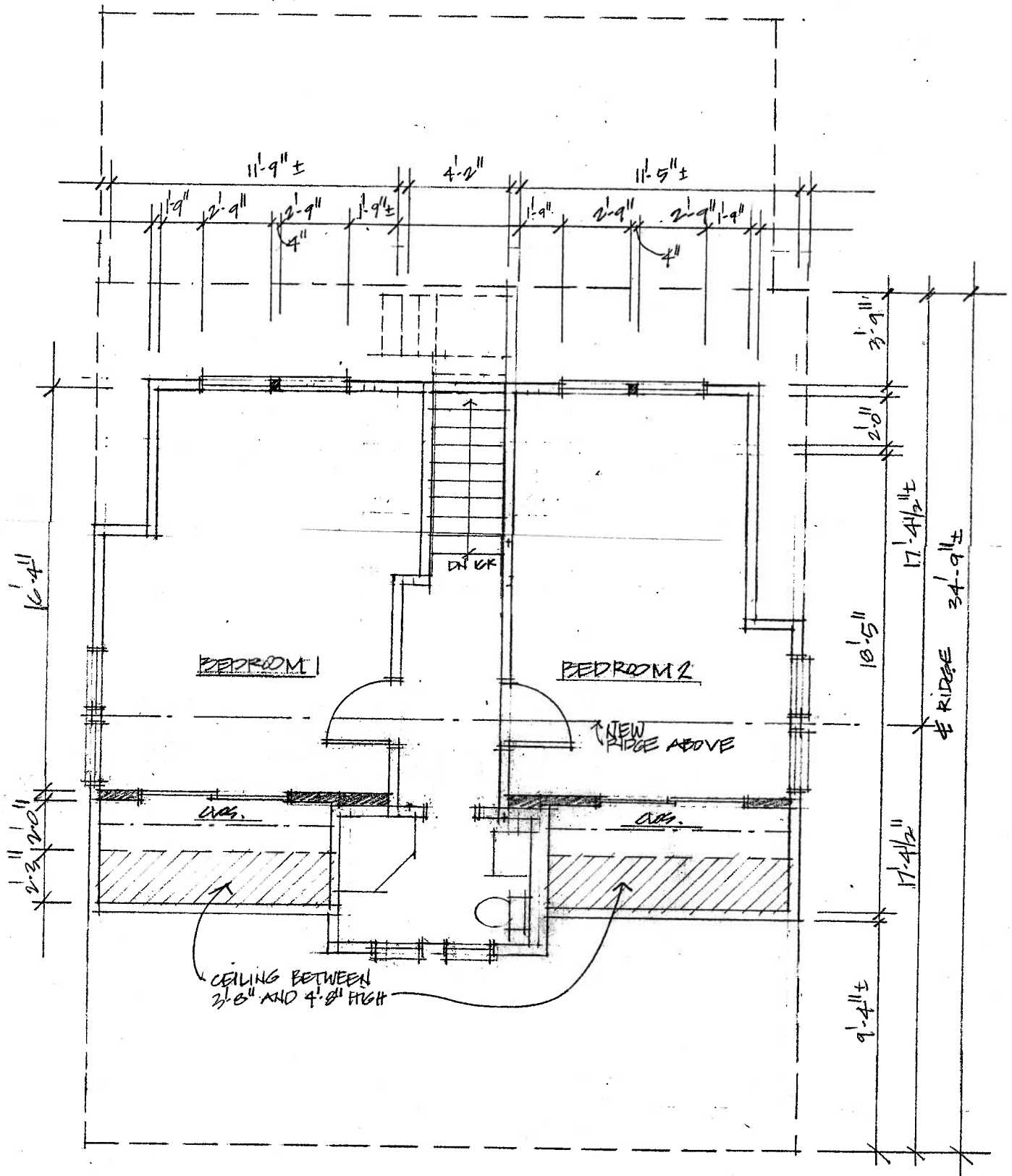
Patrizia Ricci
Lawrence Lempert
7313 Willow Ave.
Takoma Park, MD 20912



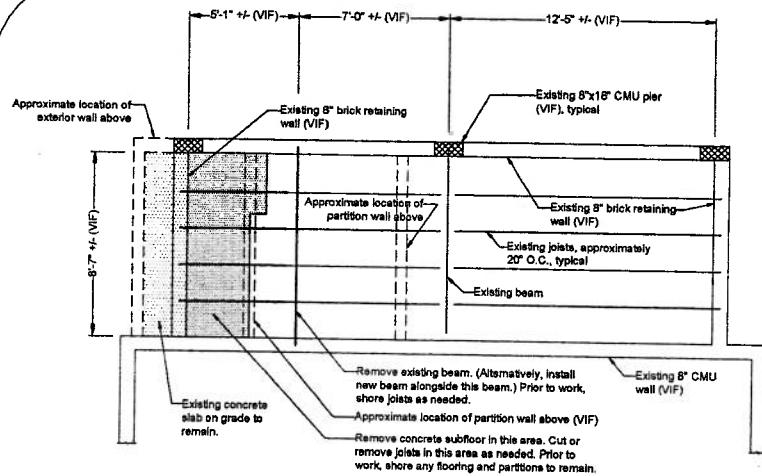


EXISTING
REAR ELEVATION
1/4"



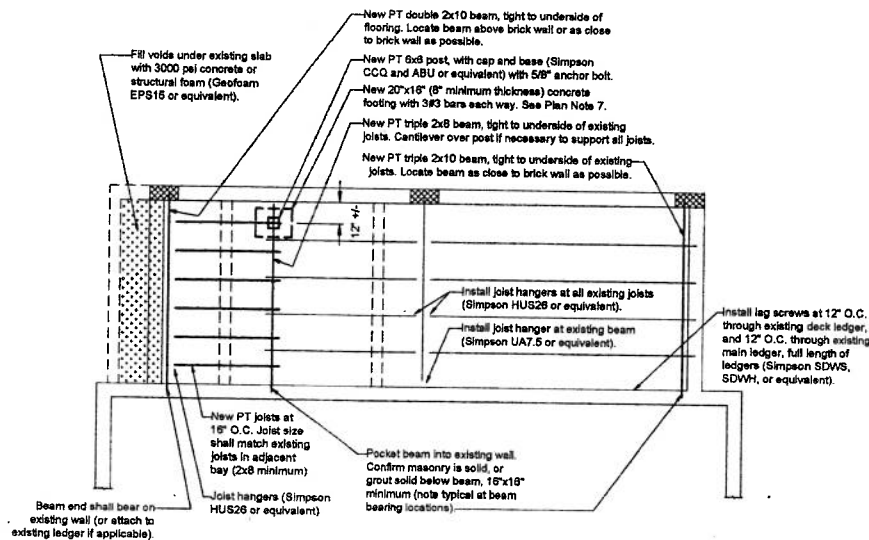


PROPOSED
SECOND FLOOR PLAN
1/4"



CRAWLSPACE PLAN: DEMOLITION

- PLAN NOTES:**
1. BOLD LINES INDICATE ITEMS TO BE REMOVED OR ALTERED.
 2. "VIF" = "VERIFY IN FIELD"
 3. ALL "EXISTING" ELEMENTS ARE "TESTING TO REMAIN" UNLESS NOTED OTHERWISE. IF THESE ITEMS ARE FOUND TO BE DEFECTIVE, OR IF THEY ARE DAMAGED DURING CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER.
 4. NOTE REGARDING SCOPE OF THIS PROJECT: THE SOUTH-EAST BAY OF CRAWLSPACE HAS BEEN ANALYZED AND RE-DESIGNED AS SHOWN ON THESE PLANS. NO ADVERSE CONDITIONS WERE NOTED IN OTHER TWO BAYS OF CRAWLSPACE. THESE BAYS WERE NOT ANALYZED OR RE-DESIGNED, ALTHOUGH SOME IMPROVED CONNECTIONS AND REINFORCEMENTS HAVE BEEN ADDED FOR REDUNDANCY. IF CONTRACTOR ENCOUNTERS ADVERSE CONDITIONS IN THESE BAYS, CONTRACTOR SHALL NOTIFY ENGINEER.



CRAWLSPACE PLAN: NEW WORK / IMPROVEMENTS

- PLAN NOTES:**
1. BOLD LINES INDICATE NEW MEMBERS.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR FLOOR FRAMING.
 3. INTERIOR WALLS, EXTERIOR WALLS, AND RETAINING WALLS, SHORING DESIGN TO BE PROVIDED BY OTHERS.
 4. ALL LUMBER SHALL BE PRESSURE-TREATED ("PT"). ALL HARDWARE/FASTENERS SHALL BE CORROSION-RESISTANT.
 5. FASTEN MULTIPLE (DOUBLE OR TRIPLE) AS FOLLOWS: AT MINIMUM USE 2-1/4" NAILS AT 6" O.C. STAGGERED. GLUE MULTIPLE PLIES TOGETHER. STAGGER STUDS THAT NAILS ARE DRIVEN FROM.
 6. UNLESS NOTED OTHERWISE, ALL JOIST ENDS AND BEAM ENDS SHALL BE SUPPORTED BY EITHER JOIST HANGERS OR SOLID BEARING (ONTO MASONRY OR TOP OF BEAM). BEARING LENGTH SHALL BE 2" MINIMUM.
 7. FOR BEAMS POCKETED INTO MASONRY, LEAVE 1/2" MINIMUM AIR GAP AT EACH FACE AND END OF BEAM.
 8. PRIOR TO INSTALLING FOOTING, SOIL SHALL BE PROPERLY COMPACTED. BOTTOM OF FOOTING SHALL BE BELOW FROST DEPTH (DOT), AND TOP OF FOOTING SHALL BE ABOVE SOIL SO THAT POST IS NOT IN CONTACT WITH SOIL.
 9. INSTALL BLOCKING BETWEEN NEW JOISTS AS NEEDED, INSTALL BRACING AT TOP OF BAY POST TO PREVENT SWAY.
 10. NEW FRAMING MAY RESULT IN CHANGES TO PASSIVE VENTILATION IN CRAWLSPACE. VENTILATION DESIGN/IMPROVEMENTS BY OTHERS.



General Notes

1. CONTRACTOR SHALL FIELD VERIFY EXISTING FRAMING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. CONSULT KEMP HOME INSPECTIONS, LLC IF FIELD CONDITIONS DIFFER FROM THESE DRAWINGS.
2. WHERE INFORMATION ON THESE PLANS CONFLICTS, USE THE MOST CONSERVATIVE VALUE OR CONTACT ENGINEER OF RECORD FOR CLARIFICATION.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF STRUCTURAL COMPONENTS.
4. CONTRACTOR RESPONSIBLE FOR RELOCATING ELECTRICAL/MECHANICAL SYSTEMS AS REQUIRED BY FIELD CONDITIONS.
5. COMMENCEMENT OF WORK BY CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE A KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS WHICH COULD AFFECT THEIR WORK.
6. IN EVENT OF ANY REVISION INITIATED BY THE OWNER, GENERAL CONTRACTOR, AND/OR THE SUBCONTRACTOR THAT DIRECTLY INFLUENCES OR CHANGES THE STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO FLOOR JOIST, BEAM, OR HEADER SPANS; WALL HEIGHTS; BEAM OR HEADER SIZES; RELOCATION OF BEARING WALL; FOOTING SIZES ETC. AS INDICATED ON THESE DRAWINGS, KEMP HOME INSPECTIONS, LLC SHALL BE NOTIFIED IN WRITING THE PROPOSED CHANGES FOR REVIEW. ANY REQUIRED REVIEW, CALCULATIONS, OR DRAWING MODIFICATION NECESSARY TO REPRESENT PROPOSED CHANGES SHALL BE CHARGED AS AN ADDITIONAL SERVICE.
7. THESE DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALE.
8. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE FLOOR FRAMING, INTERIOR WALLS, AND/OR EXTERIOR WALLS. SHORING DESIGN TO BE PROVIDED BY OTHERS.
9. GOVERNING CODE IS INTERNATIONAL RESIDENTIAL CODE (IRC)-2015 EDITION AND/OR LOCAL COUNTY CODE AMENDMENTS AND/OR ORDINANCES.
10. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC)-2015 EDITION AND/OR LOCAL COUNTY CODE AMENDMENTS AND/OR ORDINANCES.
11. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS AND INSTRUCTIONS OF THE MANUFACTURER FOR ALL MATERIALS AND EQUIPMENT USED IN THIS PROJECT.

LIVE LOADS

FLOOR	40 PSF
ROOF	30 PSF

SNOW LOADS

GROUND SNOW LOAD (PG)	30 PSF
FLAT ROOF SNOW LOAD (PF)	21 PSF
SNOW EXPOSURE FACTOR (CE)	1.0
SNOW THERMAL FACTOR (CT)	1.0
SNOW IMPORTANCE FACTOR (I)	1.0

ALLOWABLE DEFLECTION

ROOF LIVE LOAD	L/360
ROOF TOTAL LOAD	L/240
FLOOR LIVE LOAD	L/360
FLOOR TOTAL LOAD	L/240
ROOF LIVE LOAD (WITH MASONRY)	L/600
ROOF TOTAL LOAD (WITH MASONRY)	L/600

CONCRETE (28-DAY ULTIMATE COMPRESSIVE STRENGTH)

SLABS	3000 PSI
FOOTINGS	3000 PSI
SLAB EXP TO WEATHER	3500 PSI (AE)

MASONRY STRENGTH

CMU/BLOCK	2000 PSI (NET)
BRICK	3350 PSI (NET)

STRUCTURAL STEEL

STEEL PLATE, CHANNEL, ANGLES	A36 (Fy = 36 KSI)
ANCHOR BOLTS	A307
HIGH STRENGTH BOLTS	A325

LUMBER:

SPF#2; MIN Fb=875psi; MIN Fv=135 psi; MIN E=1,400,000 psi

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 41429, Expiration Date: 12/20/20.



No.	Revision/Issue	Date

Firm Name and Address

Kemp Home Inspections, LLC
13017 Wisteria Drive #410
Germantown MD 20874
301-433-7070 (office)
kemphomeinspections@hotmail.com

Project Name and Address

MILTON
7314 WILLOW AVE
TAKOMA PARK, MD 20912

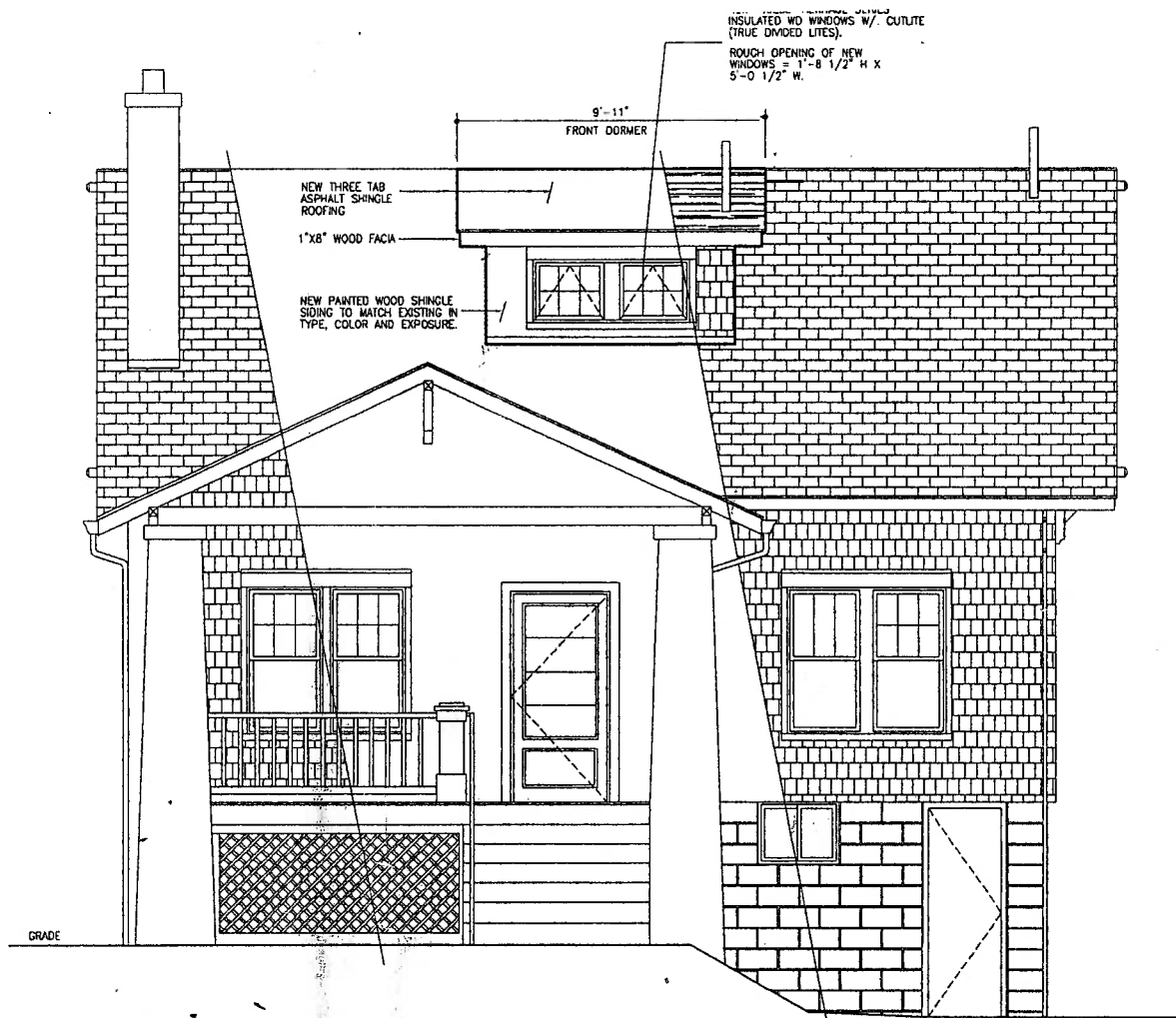
Project
MILTON

Date
2/1/2019

Scale
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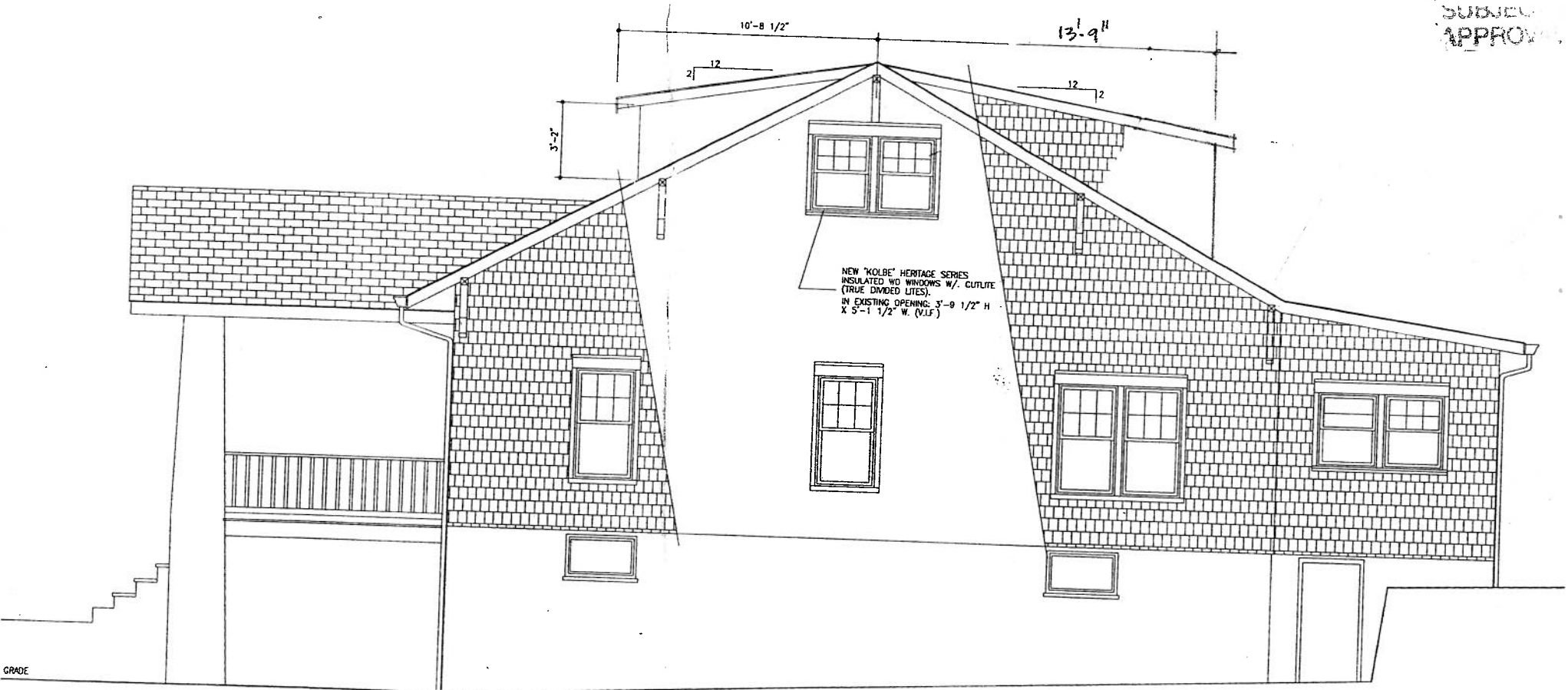
Sheet

S1



EXISTING
FRONT ELEVATION
 1
 A2
 SCALE=1/4"=1'-0"

SUBJECT
APPROVAL



2
A2
EXISTING
RIGHT SIDE ELEVATION
SCALE=1/4"=1'-0"



REAR ELEVATION
1/4"