

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7204 Holly Ave., Takoma Park	Meeting Date:	4/24/2019
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/17/2019
Applicant:	Ann Miles (Holt Jordan, Agent)	Public Notice:	4/10/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-19V	Staff:	Michael Kyne
PROPOSAL:	Front stair alteration		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman
DATE: c. 1910-20s

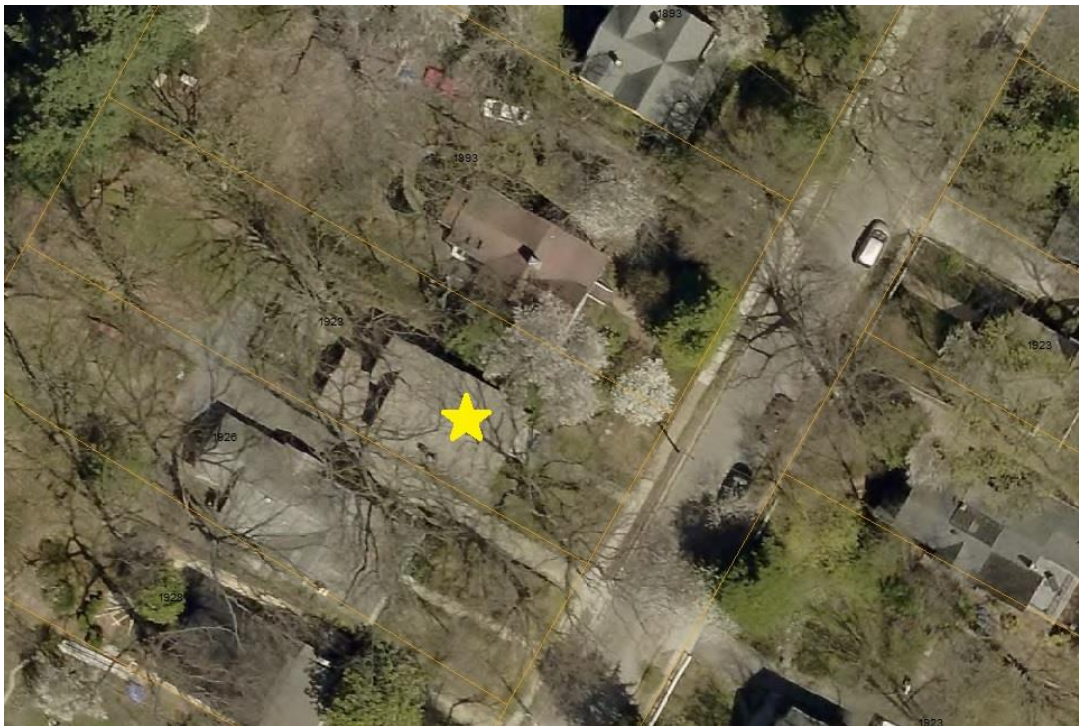


Fig. 1: Subject property.

PROPOSAL:

The applicant proposes the following work items at the subject property:

- Replace the existing concrete front porch stairs with new concrete front porch stairs.
- Install new wooden railings on both sides of the proposed new front porch stairs.
- Install iron handrails on the inside of the proposed new wooden railings.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of structures in the Takoma Park Historic District have been assessed as being "Contributing Resources." While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.

Sec. 24A-8. Same-Criteria for issuance.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Standards 2, 9, and 10 most directly apply to the application before the Commission:

#2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION:

The subject property is a c. 1910-20s Craftsman-style Contributing Resource within the Takoma Park Historic District. The property has a significant slope, rising from Holly Avenue, and the house is accessed via a long set of front stairs from the sidewalk.

The applicant proposes to replace the existing concrete front porch stairs and to install new railings and handrails on both sides of the new stairs. The existing stairs are concrete with seven treads and eight risers, and there are low concrete cheek walls on either side. The proposed new stairs will be concrete with seven treads and eight risers, but they will not have cheek walls.

There is a single iron pipe handrail on the south (left) side of the existing front stairs. The applicant proposes to install new wooden railings on both sides of the proposed new front stairs. The proposed railings will each have three 4 x 4 wooden posts and ½" x ½" wooden balusters to match the railings of the front porch. The posts and balusters will be inset between the top and bottom rails.

Iron handrails are also proposed on the inside of the railings on both sides of the proposed new front stairs. The proposed iron handrails will match an existing iron handrail at the left side of the long set of stairs from the sidewalk.

Staff finds that the proposed alterations are generally consistent with the predominant style of the resource, in accordance with the *Guidelines*, and that the proposal will not remove or alter historic character-defining features, in accordance with the *Standards*.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Holt@jordanhoneyman.com Contact Person: Holt Jordan
Daytime Phone No.: (202) 986-0711

Tax Account No.: _____
Name of Property Owner: Ann Miles Daytime Phone No.: 301-928-9222
Address: 7204 Holly Ave. Takoma Park MD 20912
Street Number City Street Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Holt Jordan Daytime Phone No.: 202 986 0711

LOCATION OF PROPOSED WORK

House Number: 7204 Street: Holly Ave.
Town/City: Takoma Park Nearest Cross Street: Tulip Ave.
Lot: 10 Block: 12 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PROPOSED ACTION

1A. CHECK ALL APPLICABLE:

☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☒ Wreck/Rebuild
☐ Revision ☐ Repair ☐ Reversible

CHECK ALL APPLICABLE:

☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☒ Other: Front Steps

1B. Construction cost estimate: \$ 8,000 ±

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITION

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 4/1/2019
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2 story arts & crafts house.

The front & rear garden was constructed
in 2001. Application/Permit #: 245774
Date Filed: 4/18/01

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Remove & replace existing concrete steps. The
existing steps have settled w/ varying riser heights.
The new steps are concrete w/ the side check-
walls. A new code required guard rails & hand rails
Takoma Park tree protection permitting will be
required to obtain Montgomery Co. Permits

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAKING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

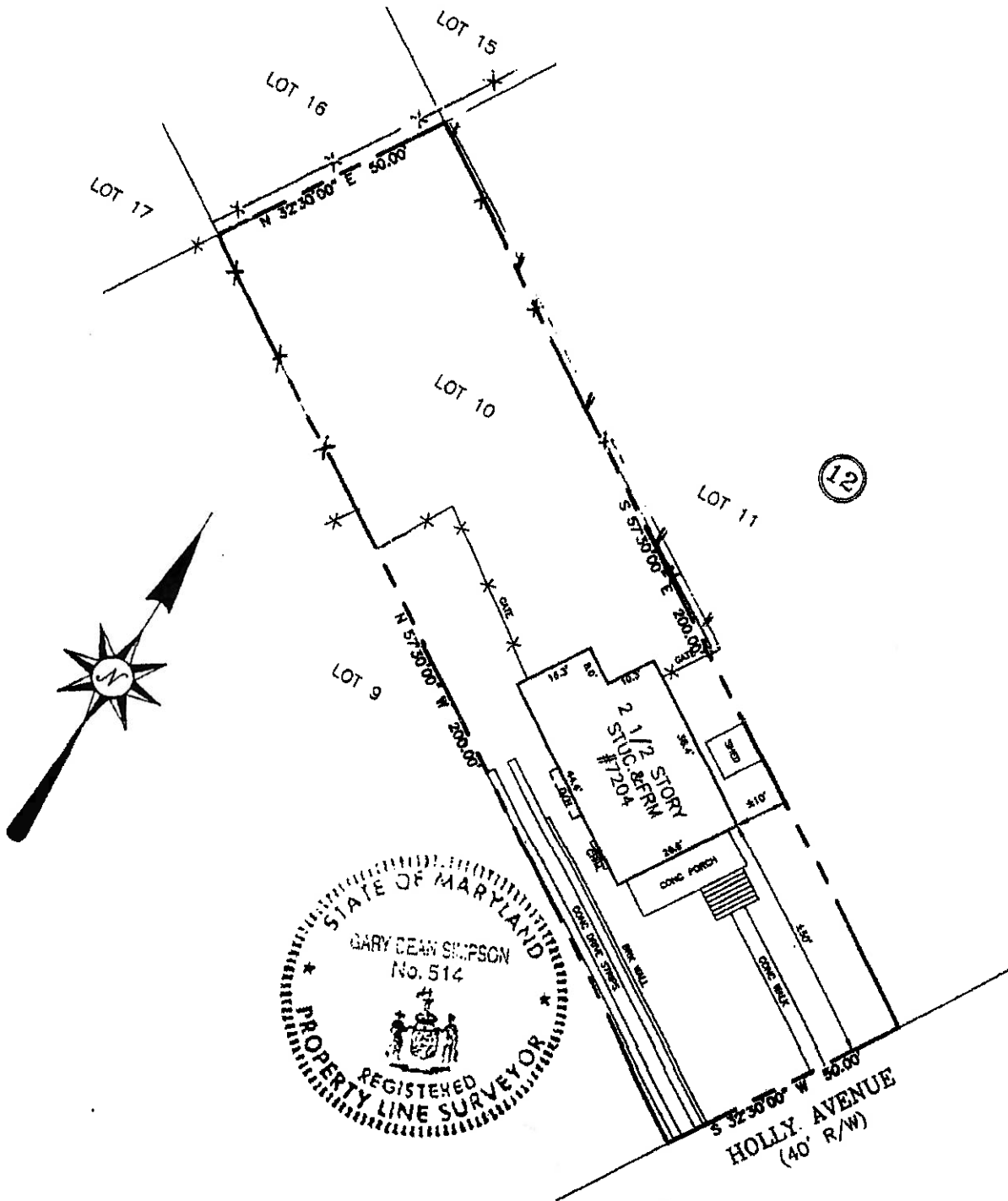
Owner's mailing address Ann Miles 7204 Holly Ave. Takoma Park, MD 20912	Owner's Agent's mailing address Holt Jordan 711 Florida Ave NW Washington D.C. 20001
Adjacent and confronting Property Owners mailing addresses	
Jozefien Van Damme 7206 Holly Ave. Takoma Park, MD 20912	Brigitte & Tim Searchinger 7207 Holly Ave. Takoma Park, MD 20912
Lucinda Leadn & Jeff Macmillan 7203 Holly Ave. Takoma Park, MD 20912	Karen MacPherson & Peter Hardin 7202 Holly Ave. Takoma Park, MD 20912
Kathleen & Harry Fulton 7315 Piney Branch Rd. Takoma Park, MD 20912	

CASE NO. 12783

LOCATION DRAWING

TAKOMA PARK

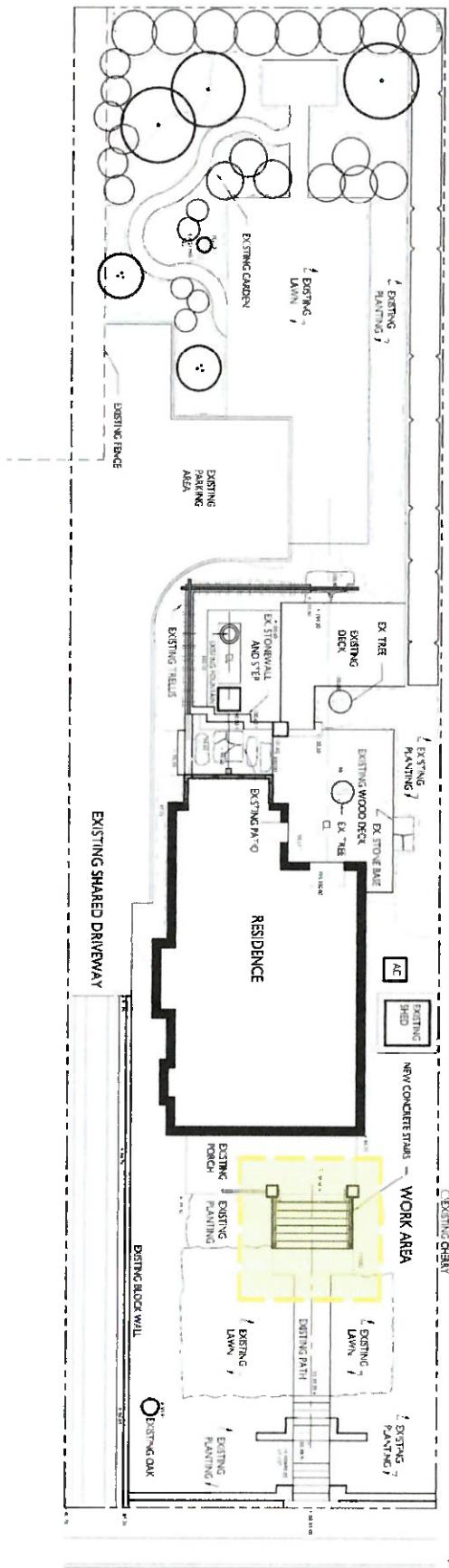
LOT 10 - BLOCK 12
MONTGOMERY COUNTY, MARYLAND




BOONCEBTV ADDRESS. 7204 HOLLY AVENUE

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING) ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP

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—	Site Plan	<p>Elfring Miles Residence 7204 Holly Ave. Takoma Park, MD 20912</p>	<p>Scale: Not to Scale Date: 01.16.02 Revisions: 04.01.19</p> <div data-bbox="1218 1890 1421 2016">  <p>JORDAN HONEYMAN Landscape Architecture LLC 111 E. W. Brown Ave. Washington, DC 20001 202.462.1711 jordanhoneyman.com</p> </div>
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Front View (June 2007)



Residence Rear View



South View (April 2019)



North View from the rear (April 2019)

2

Existing
Conditions

Elfring Miles Residence
7204 Holly Ave.
Takoma Park, MD 20912

Scale:
Date: 04.01.19
Revisions:



JORDAN
HONEYMAN
Landscape Architecture, LLC

711 Florida Avenue, NW
Washington, DC 20001
202.986.0711
202.986.0712 FAX

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EXISTING FRONT STAIRS



SUBSIDENCE ON
RIGHT OF STAIRS



CRACKS ALONG TOP
OF STAIRS

3

Existing
Conditions

Elfring Miles Residence
7204 Holly Ave.
Takoma Park, MD 20912

Scale:
Date: 04.01.19
Revisions:



JORDAN
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Landscape Architecture, LLC

711 Florida Avenue, NW
Washington, DC 20001
202.986.0711
202.986.0712 FAX

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