

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5914 Cedar Parkway, Chevy Chase	<b>Meeting Date:</b>	4/10/2019
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	4/3/2019
<b>Applicant:</b>	Alex Nephew & Kathryn Doyle (David Jones, Architect)	<b>Public Notice:</b>	3/27/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case No.:</b>	35/13-19L	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b>	Porch, Dormer, and Building Additions		

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**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Historic District  
**STYLE:** Colonial Revival  
**DATE:** c.1916-1927

The subject property is a front gable house with clapboard siding. The right front corner of the house has a pair of carriage-style doors that provide access to a narrow storage room. At the rear, there is a half-circle 'sitting room.' The house is built on a narrow deep lot and has a recessed side entrance.

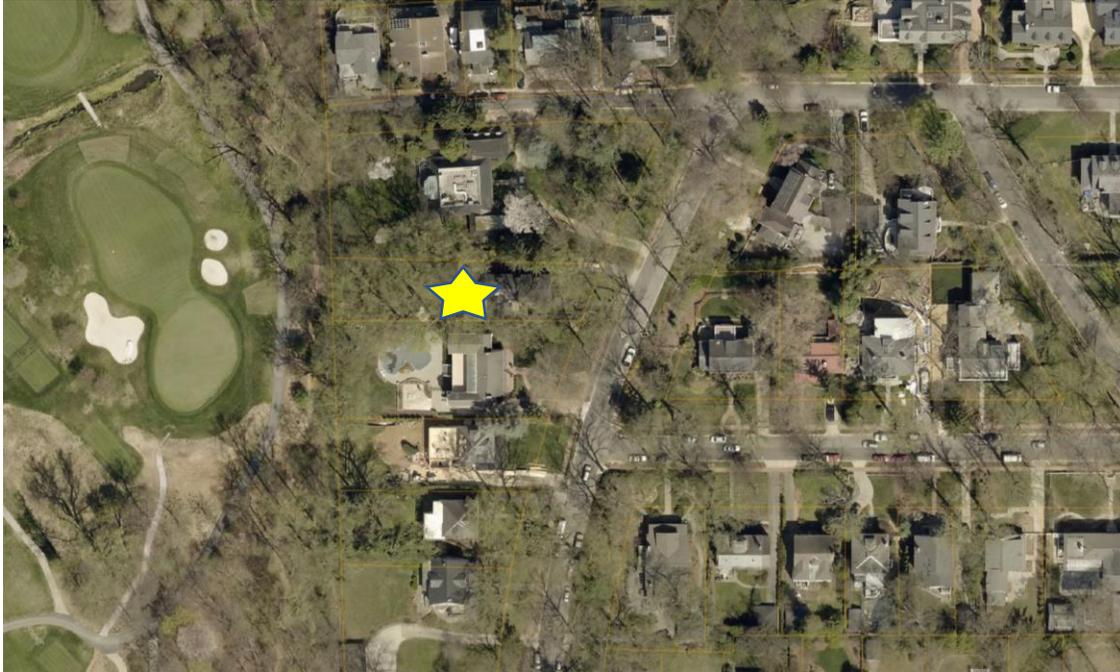


Figure 1: 5914 is on a heavily wooded lot that backs up to the Chevy Chase Club.

## **BACKGROUND**

On March 13, 2019 the applicant presented a preliminary consultation for the work proposed for this HAWP.<sup>1</sup> The HPC was fully supportive of the proposal, including re-locating the chimney at the rear of the house. The applicant has made minor modifications to the column spacing on the new side-porch and kitchen bump out; all other details are consistent with the information presented at the preliminary consultation.

## **PROPOSAL**

The applicant proposes to demolish the existing side mudroom/porch and construct an expanded porch and kitchen bumpout on the and to add a new bay in the existing dining room. Both of these alterations are on the right side of the house. The applicant also proposes constructing a new dormer and re-locating the chimney at the rear. The applicant additionally proposes to replace some additional windows on right and left sides of the building.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Chevy Chase Historic District Design Guidelines (Guidelines)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

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<sup>1</sup> The Staff Report for the Preliminary Consultation can be found here: <https://montgomeryplanning.org/wp-content/uploads/2019/03/II.B-5914-Cedar-Parkway-Chevy-Chase.pdf>.

### ***Chevy Chase Village Historic District Guidelines***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Exterior trim on Outstanding resources should be subject to strict scrutiny if it is visible from the public right-of-way.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from

the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated

- Second or third story additions or expansions which do not exceed the footprint of the first story should be subject to moderate scrutiny, in view of the predominance of large scale houses in the Village. For outstanding resources, however, such additions or expansions should be subject to strict scrutiny if they are visible from the public right-of-way.
- Shutters should be subject to moderate scrutiny if they are visible from the public right-of-way.
- Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.
- The *Guidelines* state five basic policies that should be adhered to, including:
  - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
  - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
  - Maintaining the variety of architectural styles and the tradition of architectural excellence.
  - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
  - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

## ***Secretary of Interior's Standards for Rehabilitation***

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **STAFF DISCUSSION**

For the purposes of this Staff Report, discussion of the work proposed is divided into work to the right elevation, a new rear dormer, and window replacement. Staff finds that these alterations will have a minimal visual impact despite being located on the side as opposed to the rear elevation of the building. The proposed work will require the removal of four windows and the relocation of one door, however, Staff is uncertain about the date of these features as some of the windows are inconsistent with the details found on the rest of the house. Staff finds that the proposed changes conform with the *Guidelines* and *Standards* and recommends approval of all elements of this HAWP.

### **Alterations to the Right Elevation**

5914 Cedar Parkway is a narrow deep house that is set to the left of the buildable area on the lot. The north (right) elevation has a small, open, wooden porch that provides side access to the house. The front entrance is on the south (left) elevation set back four bays from the front wall plane. To the rear there is a circular "sitting room" that was a later addition to the house and is the character defining feature of the rear of the house.

On the north (right) elevation the applicant proposes to demolish the existing porch and to construct a new porch and kitchen bump-out. To the rear of this bump-out, the applicant proposes to construct a new bay in the existing dining room.

The proposed porch has approximately the same size footprint as the existing porch with a taller, steeper-pitched, roof and columns. To the rear of this porch, the applicant proposes to construct a bump-out under the same roof with four, evenly spaced columns, and what wood casement windows over wood panels.

To the rear of the kitchen, the applicant proposes to construct a bay window in the dining room. This bay will be approximately 8' (eight feet) wide, and will have wood, multi-lite casement windows that match the appearance and detail of the new bump out, with a shed roof, and clapboard siding that matches the rest of the house.

Staff finds that these two additions are compatible in character with the house and surrounding district (per 24A-8(b)(2)). The materials, dimensions, and architectural details are all in keeping with the house and are consistent with what is found throughout the district. The Chevy Chase Village Historic District Design Guidelines state that ‘Major Additions,’ where feasible, should be placed to the rear of the building. The failing in the *Design Guidelines* is that do not state a threshold for what constitutes a ‘major addition.’ In Staff’s opinion, the construction proposed for the north(right) elevation does not meet the threshold for a Major Addition based on determinations made regarding the level of review for numerous alterations within the Chevy Chase Village historic district. Staff finds the placement of the proposed new construction will not remove or obscure historic building materials or character defining features of the historic house under the *Design Guidelines*.

The HPC signaled its support of the new porch and bump out during the March Preliminary Consultation, and finding that those elements are appropriate, the new bay window should be evaluated as an element that will not be visible from the public right-of-way and reviewed under lenient scrutiny. Under this level of review, the bay window is compatible with the historic character of the house and will not have a negative impact on the surrounding district.

Staff supports approval of the construction of the new porch/bump-out and the new bay window. There are some details and material specifications that need to be included with the HAWP submission including:

### **Dormer Construction**

At the rear of the house the applicant proposes to construct a new shed dormer, clad in wood siding matching the existing, with rear-facing multi-lite, wood, casement windows. The roof of the dormer will sit below the cross-gable ridgeline, though the drawings do not indicate by how much. This feature will not be visible from the public right-of-way and is to be reviewed under lenient scrutiny. The construction of this new dormer will require the re-location of the chimney, by what appears to be approximately two feet. The chimney is visible from certain angles from the public right-of-way but is at the rear so that it has less visual impact on the surrounding streetscape.

The architecture and materials proposed for the dormer are consistent with those used on the historic house, including the wood siding to match the existing, wood windows, and copper roof and Staff finds they are appropriate and comply with 24A-8(b)(2) and the *Design Guidelines*.

In the preliminary consultation Staff Report, Staff expressed reservation with the appropriateness of moving the chimney from its historic location. The applicant indicated that the chimney’s current location would not allow for access to the proposed dormer. The HPC’s feedback indicated unanimous support for relocating the chimney, finding it’s relocation would not significantly impact the historic character of the house or the surrounding district.

Staff finds that the dormer design, details, and materials are appropriate and recommends approval of the new dormer.

## **Window Replacement**

The applicant proposes to replace or introduce new windows on three elevations.

On the south elevation, the applicant proposes to remove a triple set of sash windows and install two new sash windows with matching shutters. The existing windows are smaller than the other six-over-six windows found on the elevation. At the preliminary consultation, the applicant's architect confirmed Staff's suspicion, that this set of windows are not historic and were install in a previous home remodel. Staff finds that the proposed change to introduce new windows will achieve a regular appearance for this elevation by spacing the windows evenly and stacking them under existing window openings and is consistent and compatible with the general architectural design of the house under 24A-8(b)(2). Wood shutters, matching the existing shutters will be installed adjacent to the new windows. Staff finds that these new windows will help to achieve the principle of design excellence laid out in the *Design Guidelines*. The proposed sash windows will match the materials, configuration, and profiles of the existing windows.

On the north elevation, the applicant proposes to introduce a new wood, sash window on the second floor and to add shutters to all of the second-story windows on this elevation. The new window will create a pair of sash windows in the second floor above the proposed kitchen bump-out. Evaluation of windows is to be subject to moderate scrutiny under the *Design Guidelines*. Staff finds that a new window in this location will not have a significant impact on the historic character of the house and will create a balanced appearance for this elevation. This window will match the historic in materials, dimensions, and configuration. Staff finds that introducing the shutters on the right elevation will regularize the appearance of the house and would improve its appearance, even though they may not have been an original feature. The level of detail on the house show that the right elevation was regarded as the rear as far as the hierarchy of detail. The new wood shutters will be operable wood shutters and this alteration is consistent with the objective of architectural elegance, under the *Design Guidelines*, and is consistent and compatible with the historic appearance of the house under 24A-8(b)(2).

At the rear, the applicant proposes to introduce a new six-over-six window on the second floor to the left of an existing six-over-six window. This new window will not be visible from the public right-of-way and will match the existing window in appearance, materials, dimensions, and will include matching shutters. The *Design Guidelines* state that alterations that are not visible from the public right-of-way should be approved as a matter of course. Below the new window the applicant proposes to install a new, wider, set of French doors. The new doors will have a much larger set of wood side-lites. Staff finds that this change not be visible from a public right-of-way and should be approved as a matter of course.

The window replacement and installation appear to be consistent with the historic character of the house and surrounding district and Staff recommends approval of these changes.

## **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS)

permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: dauid.e.jonesboer.com Contact Person: DAVID JONES  
Daytime Phone No.: 202-332-1200

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: ALEX NEPHEW & KATHRYN DOYLE Daytime Phone No.: 917-640-7727

Address: 5914 CEDAR PARKWAY, CHEVY CHASE, MD. 20815  
Street Number City Street Zip Code

Contractor: BANKS DEVELOPMENT Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_

Agent for Owner: DAVID JONES Daytime Phone No.: 202-332-1200

**LOCATION OF BUILDING/PREMISE**

House Number: 5914 Street: CEDAR PARKWAY  
Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: W. KIRKE  
Lot: W Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: 17209 Folio: 84 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

CHECK ALL APPLICABLE:  
 A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Jones Signature of owner or authorized agent  
Date: 2.19.19.

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

122698

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CATEGORY 2 COLONIAL REVIVAL IN CHEVY CHASE  
VILLAGE HISTORIC DISTRICT

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REPLACE EXISTING SIDE MUDROOM PORCH WITH  
NEW PORCH & KITCHEN BUMP-OUT. ADD NEW  
BAY IN EXISTING DINING ROOM AND NEW 3RD  
FLOOR PORCH ON BACK OF HOUSE.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>ALEX NEPHEW &amp; KATHRYN DOYLE          5914 CEDAR PARKWAY          CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b></p> <p>DAVID JONES          JONES &amp; BOER ARCHITECTS          1739 CONNECTICUT AVENUE NW          WASHINGTON, DC 20009</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>BLAKE &amp; SYDNEY BATH          5912 CEDAR PARKWAY          CHEVY CHASE, MD 20815</p>	<p>ROBERT &amp; REBECCA NICHOLS          5918 CEDAR PARKWAY          CHEVY CHASE, MD 20815</p>
<p>PATRICK DORTON &amp; ERIN GRAEFE          5921 CEDAR PARKWAY          CHEVY CHASE, MD 20815</p>	<p>*ESTATE FOR SALE          33 W KIRKE          CHEVY CHASE, MD 20815</p>
<p>LUKE O'BOYLE          CHEVY CHASE CLUB          6100 CONNECTICUT AVENUE          CHEVY CHASE, MD 20815</p>	



Front of house



South side of house



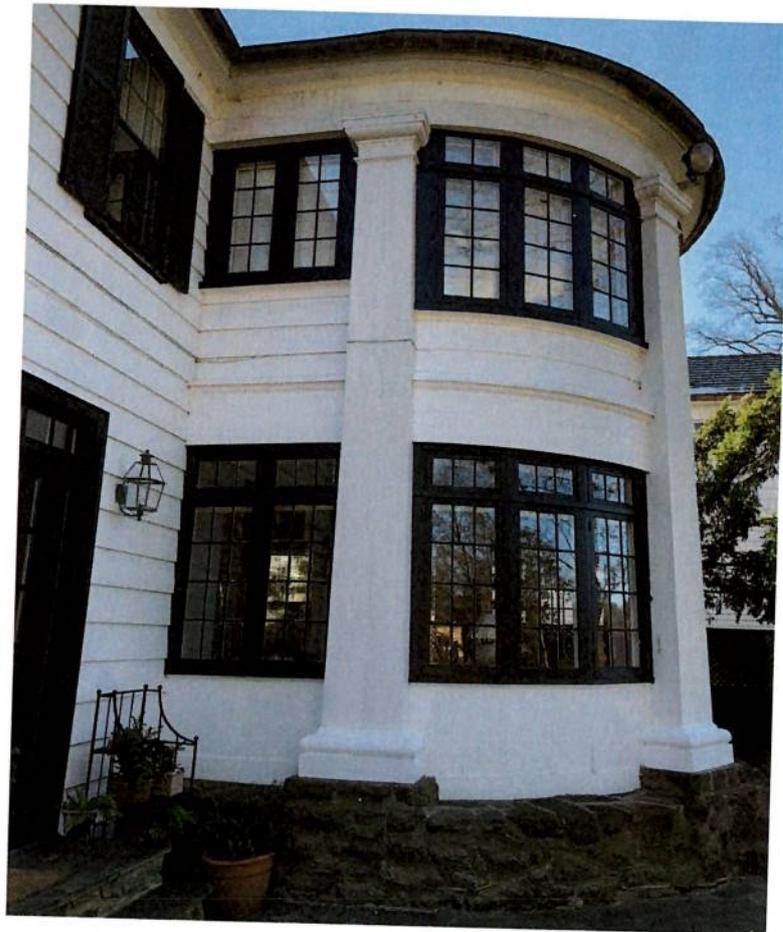
Back of house



North side of house



Entrance



Back of bay



# NEPHEW DOYLE RESIDENCE

CHEVY CHASE, MD

## LIST OF DRAWINGS

A000 LIST OF DRAWINGS AND CODE NOTES

### EXISTING

EX101 EXISTING CELLAR & FIRST FLOOR PLANS  
EX102 EXISTING SECOND & THIRD FLOOR PLANS  
EX103 EXISTING ROOF PLAN  
EX201 EXISTING ELEVATIONS  
EX201 EXISTING ELEVATIONS

### PLANS

A100 SITE PLAN  
A101 CELLAR & FIRST FLOOR PLANS  
A102 SECOND & THIRD FLOOR PLANS  
A103 ROOF PLAN

### ELEVATIONS

A201 ELEVATIONS  
A202 ELEVATIONS

### WINDOW AND DOOR SCHEDULES

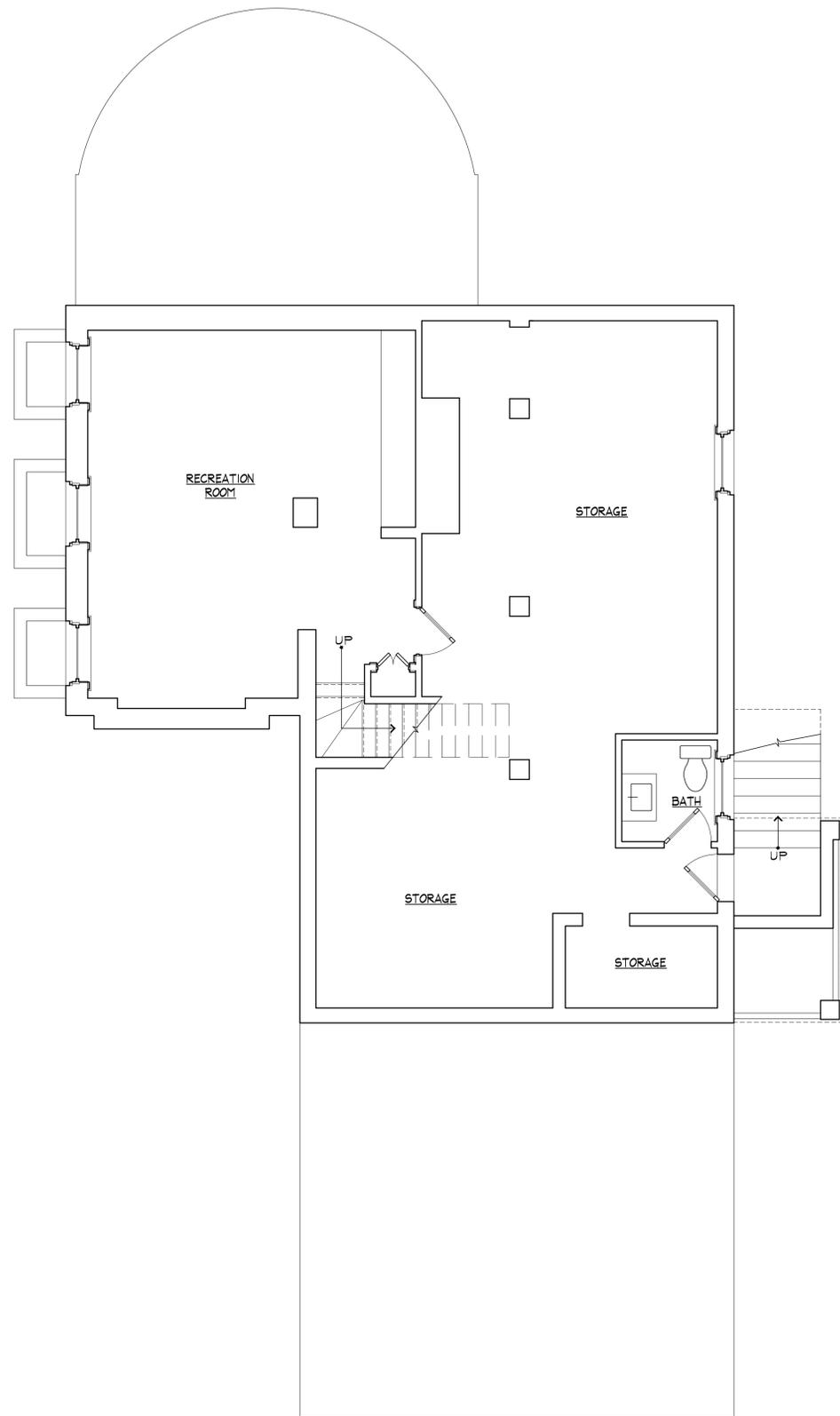
A401 DOOR SCHEDULES & ELEVATIONS  
A402 WINDOW SCHEDULE & ELEVATIONS

## PROJECT & CODE INFORMATION

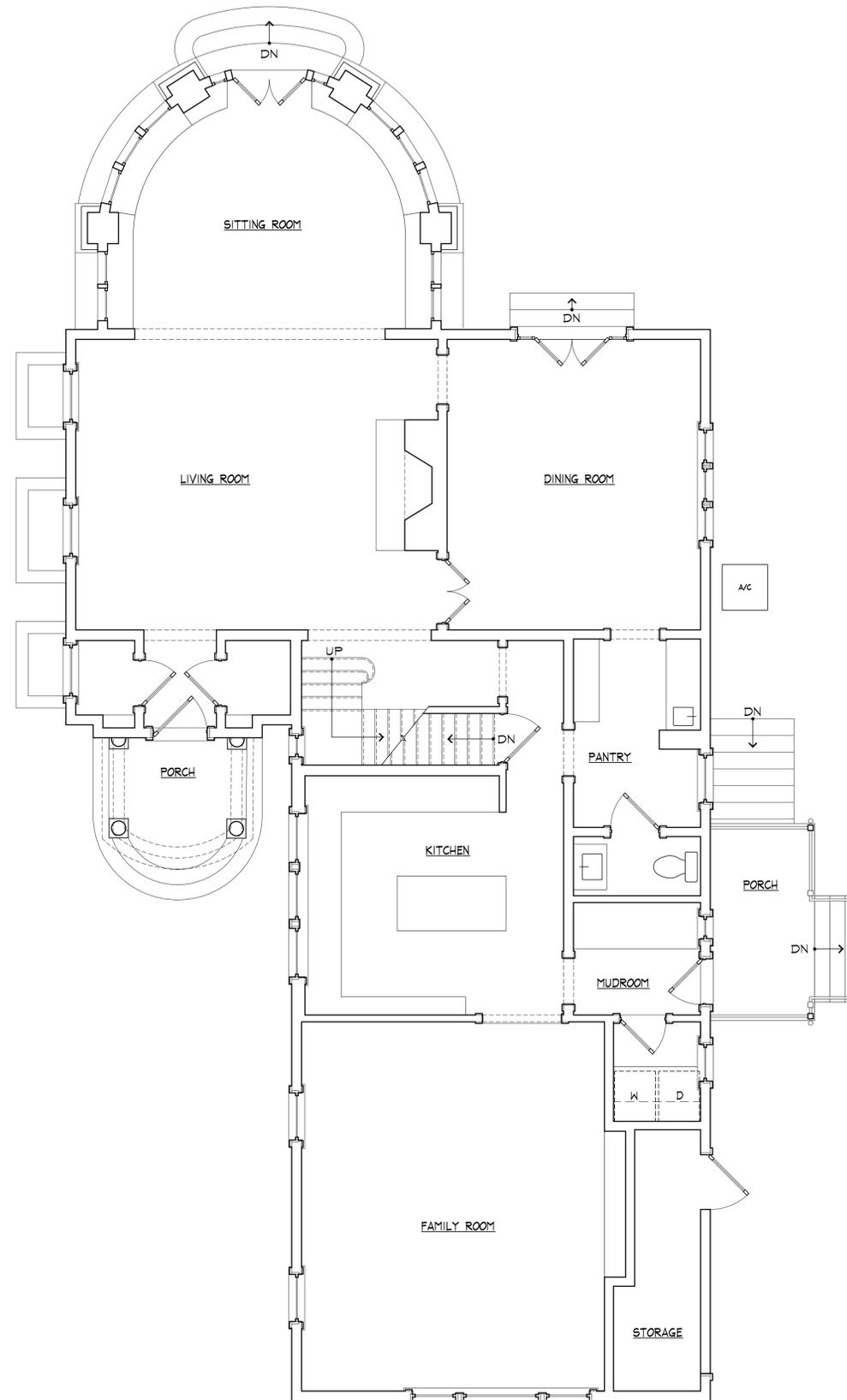
### PROJECT DESIGNED TO THE FOLLOWING CODES:

- 2015 IRC - INTERNATIONAL RESIDENTIAL CODE
- 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE
- 2010 NFPA 13D - SPRINKLER SYSTEMS IN ONE AND TWO FAMILY DWELLINGS
- 2008 NFPA NEC - ELECTRIC CODE

ZONE	R-60
BUILDING TYPE	SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE	WOOD FRAMING
SCOPE OF WORK	ADDITIONS AND RENOVATIONS TO EXIST'G SINGLE FAMILY RESIDENCE

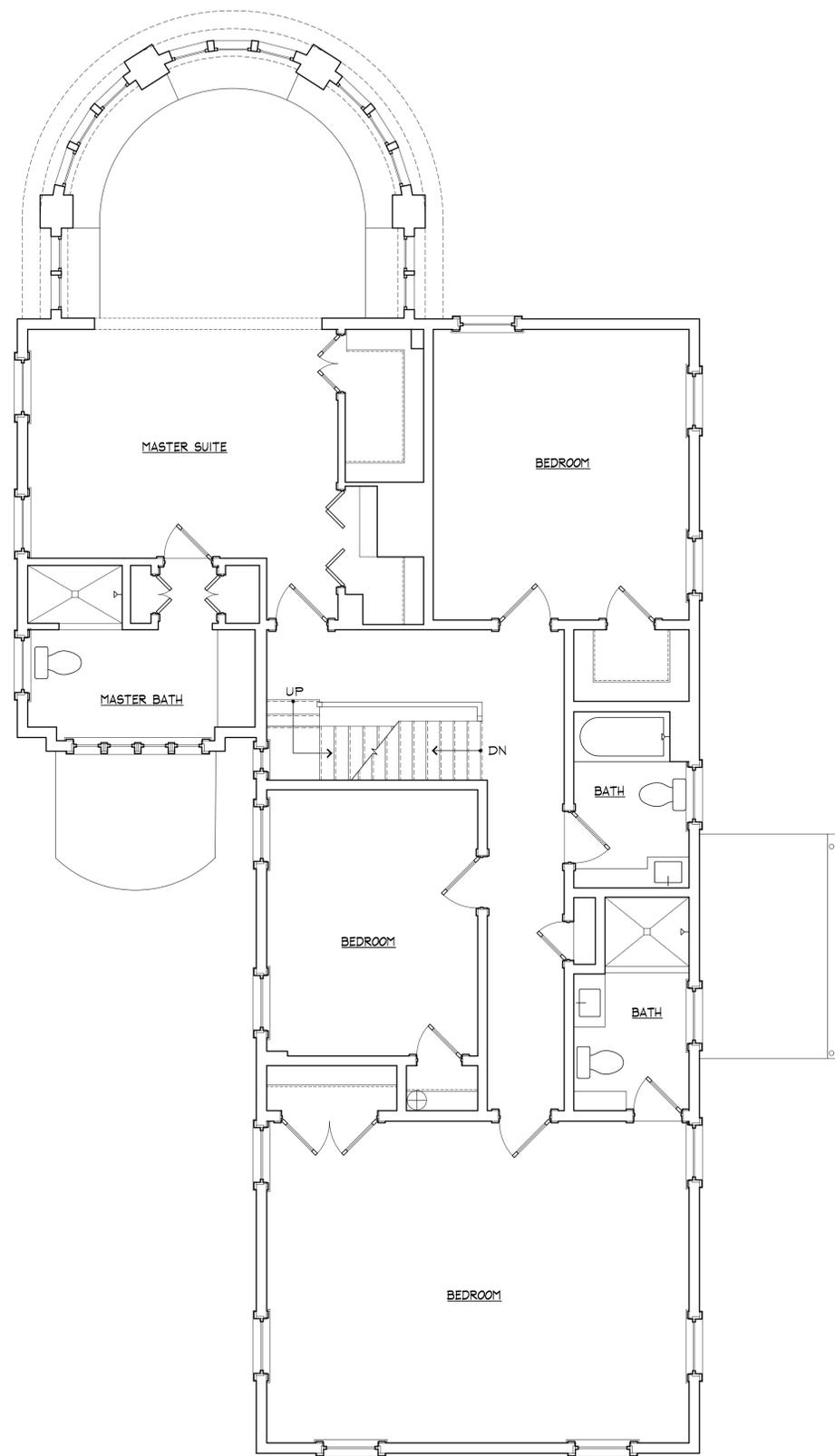


1 CELLAR PLAN  
EX101 SCALE 1/4"=1'-0"

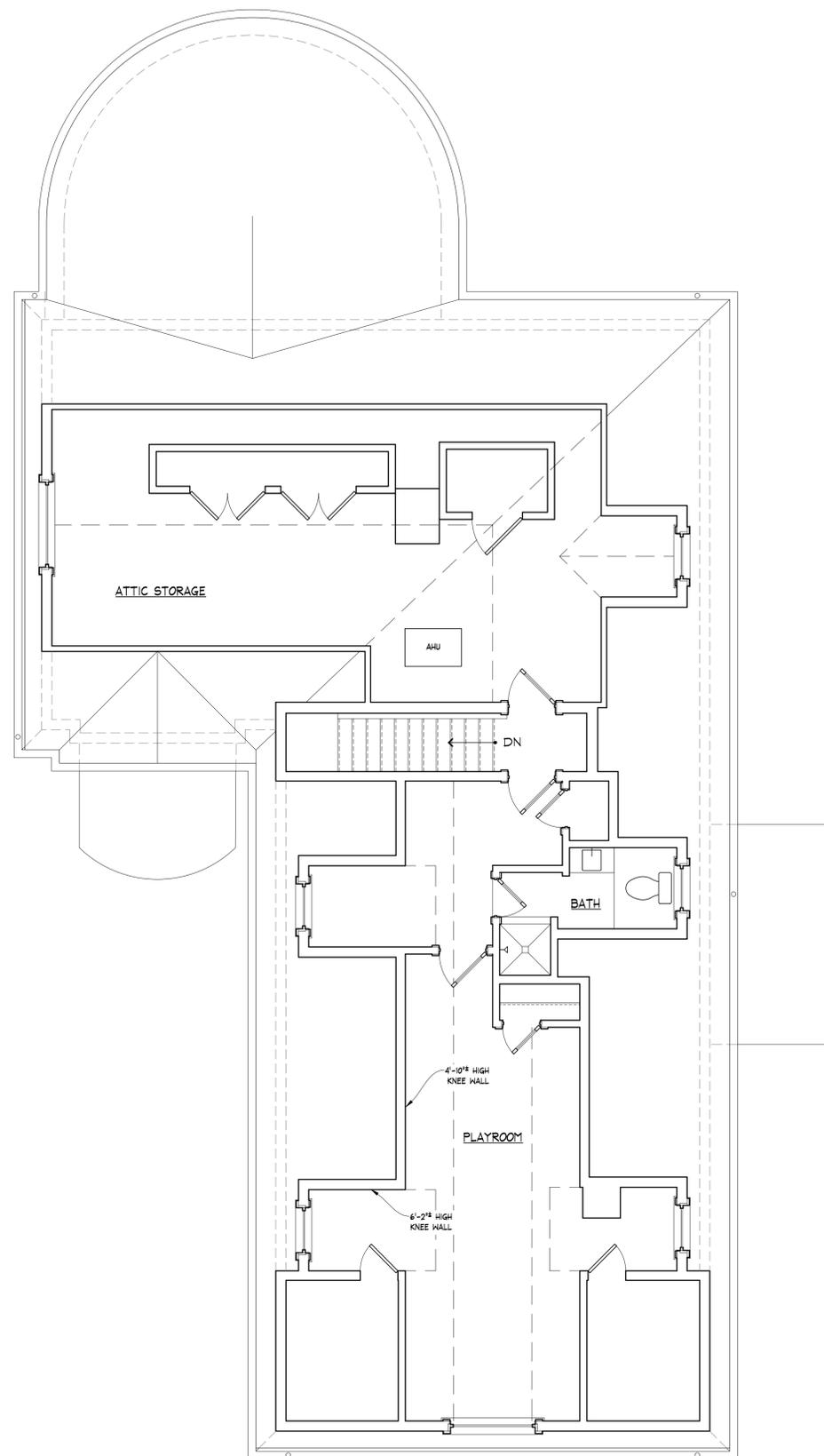


2 FIRST FLOOR PLAN  
EX101 SCALE 1/4"=1'-0"



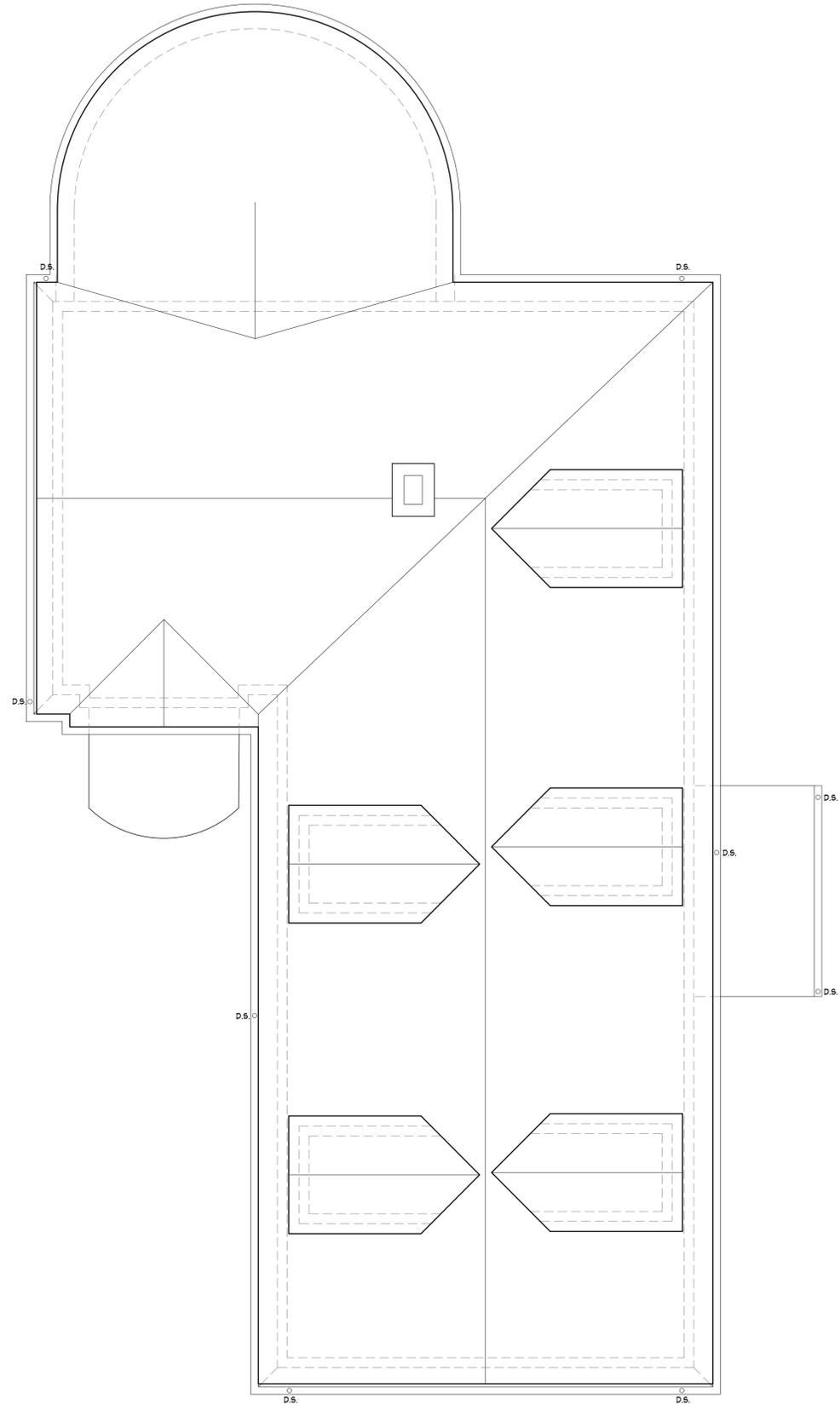


1 SECOND FLOOR PLAN  
EX102 SCALE 1/4"=1'-0"



2 THIRD FLOOR PLAN  
EX102 SCALE 1/4"=1'-0"





1 ROOF PLAN  
 EX103 SCALE 1/4"=1'-0"





2 SOUTH ELEVATION  
EX201 SCALE 1/4" = 1'-0"



1 EAST ELEVATION  
EX201 SCALE 1/4" = 1'-0"

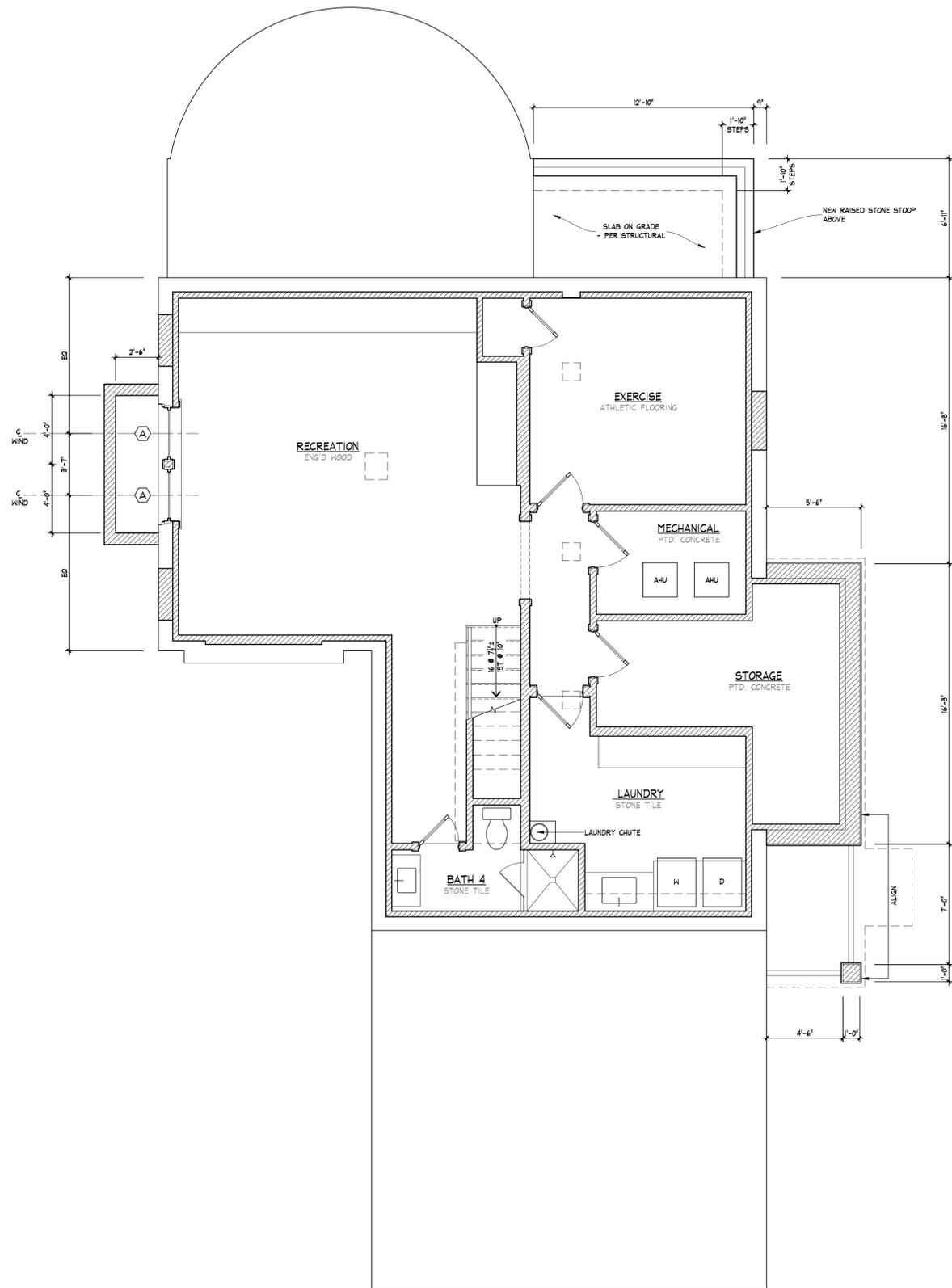


2 NORTH ELEVATION  
EX202 SCALE 1/4"=1'-0"

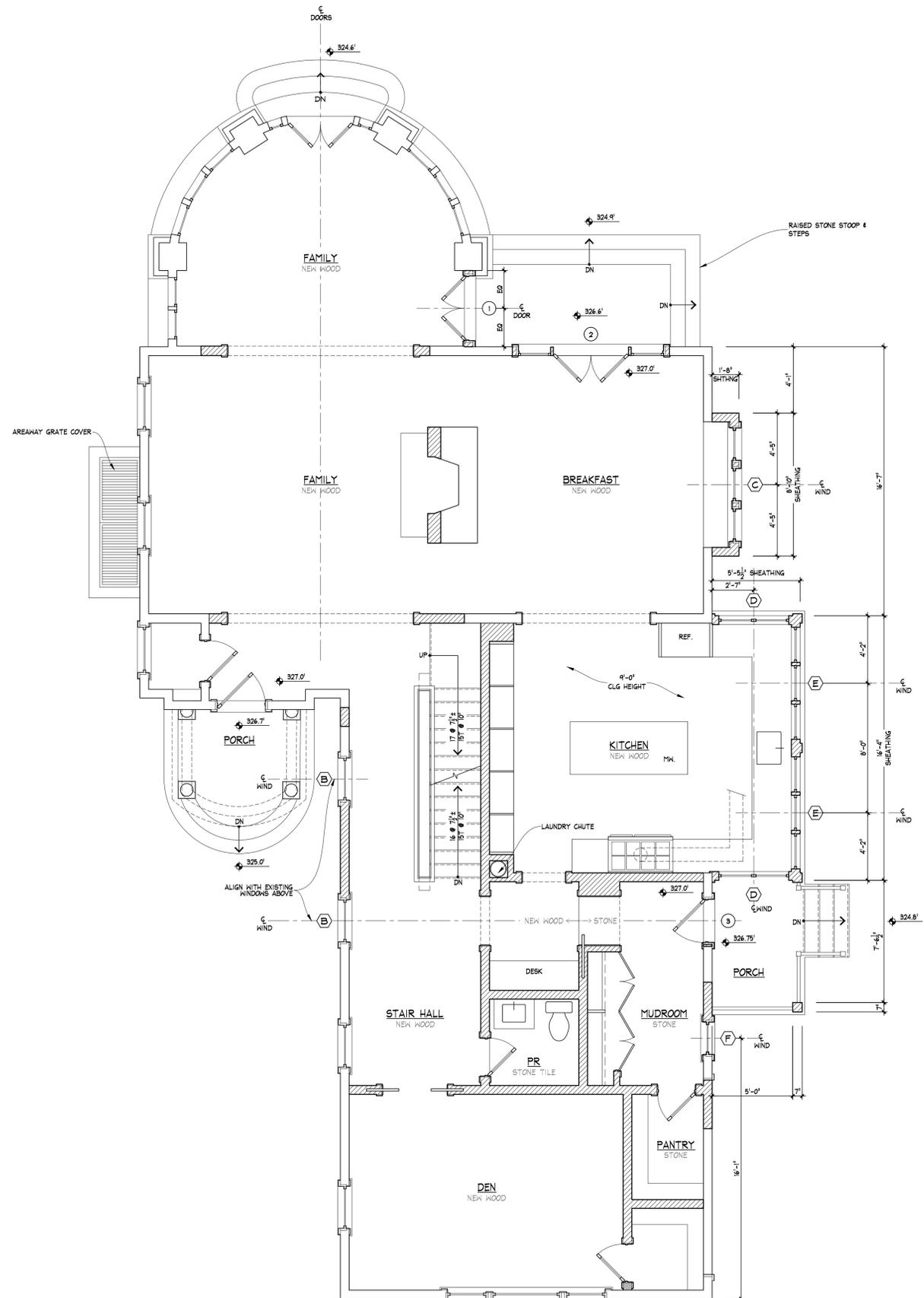


1 WEST ELEVATION  
EX202 SCALE 1/4"=1'-0"



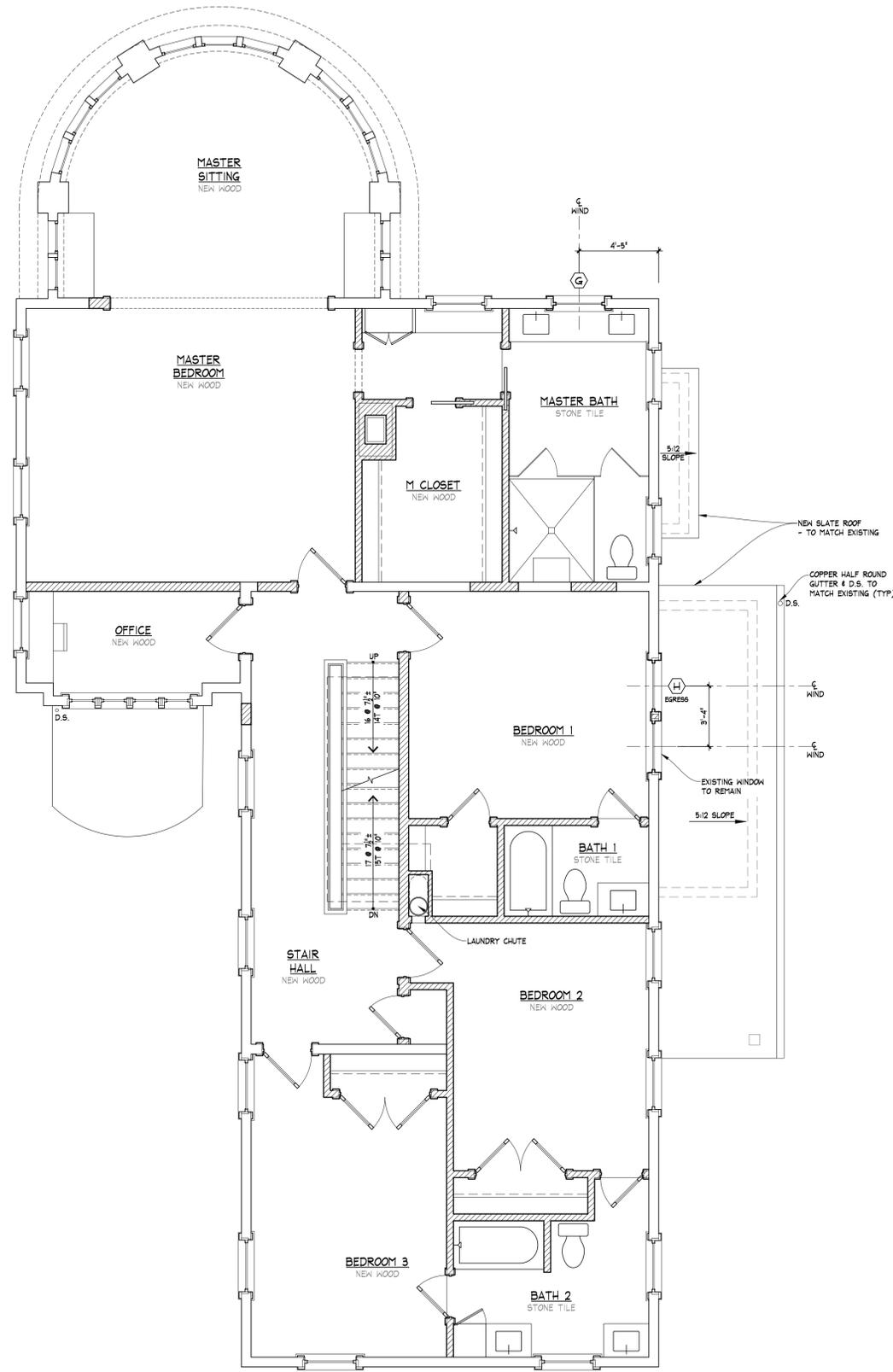


1 CELLAR PLAN  
SCALE 1/4"=1'-0"

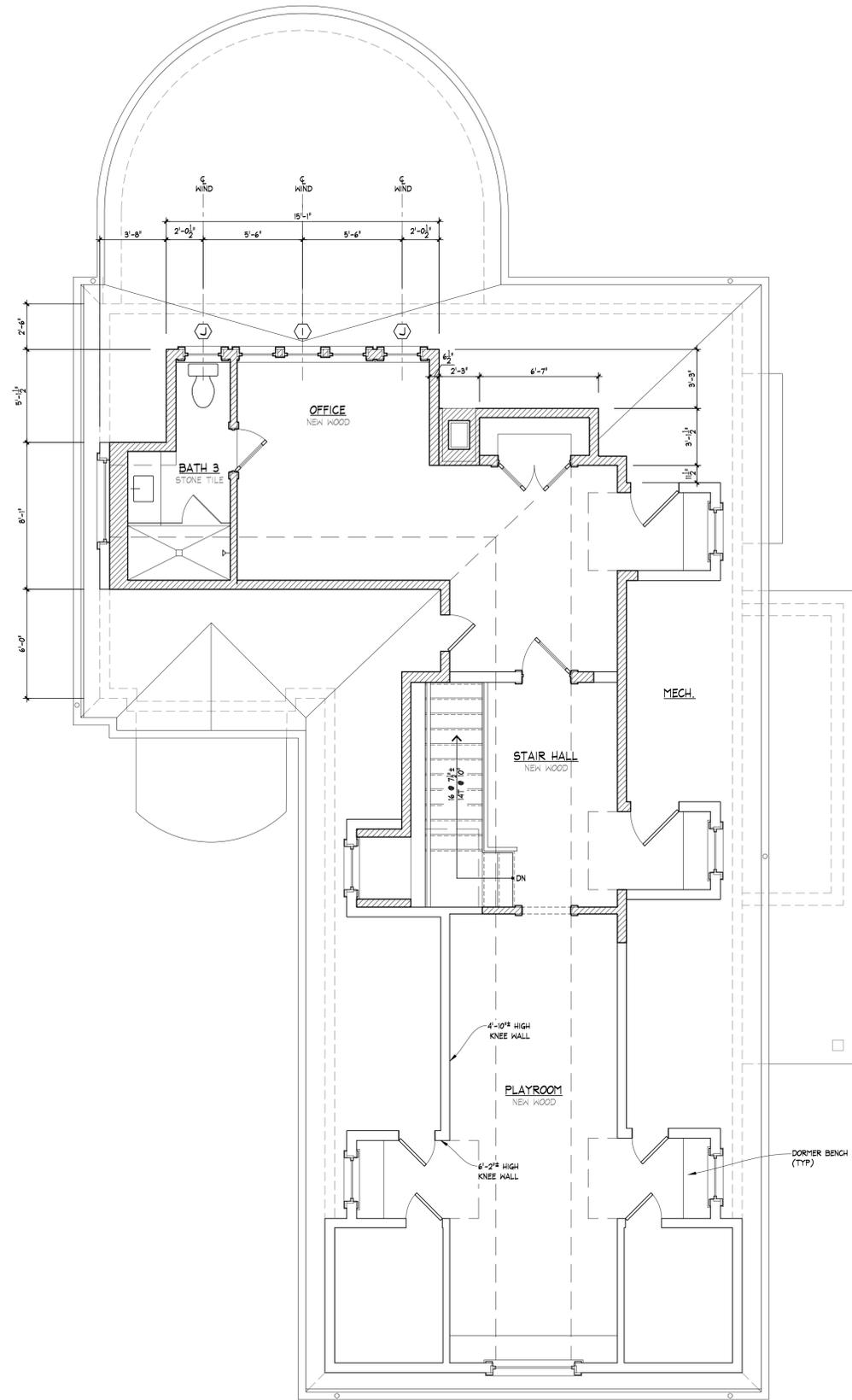


2 FIRST FLOOR PLAN  
SCALE 1/4"=1'-0"



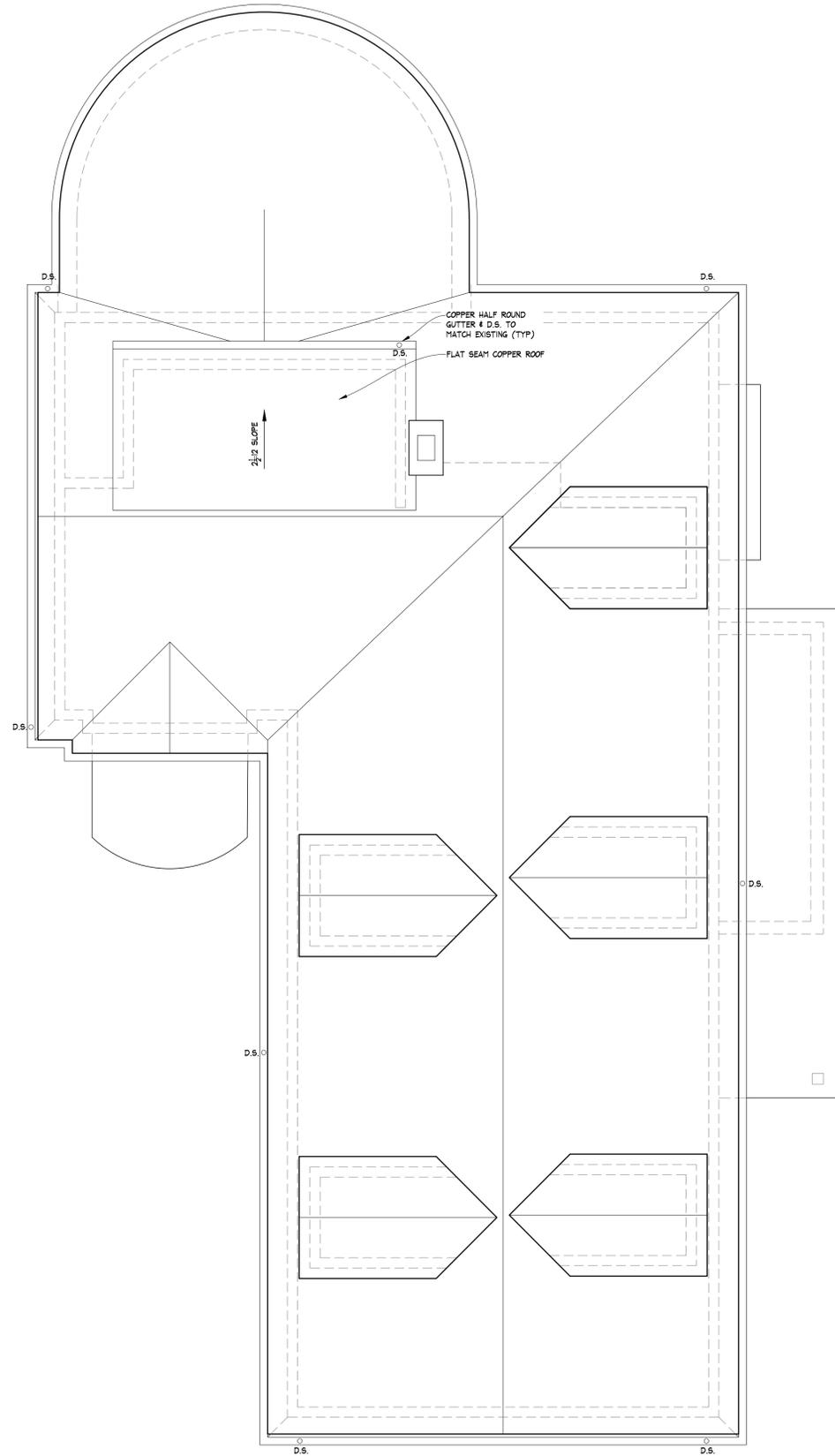


1 SECOND FLOOR PLAN  
A102 SCALE 1/4"=1'-0"



2 THIRD FLOOR PLAN  
A102 SCALE 1/4"=1'-0"





1 ROOF PLAN  
 A103 SCALE 1/4"=1'-0"



DATE:  
20 MAR 2019  
HAWP SET



2 SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE 1/4" = 1'-0"



2 NORTH ELEVATION  
A202 SCALE 1/4"=1'-0"



1 WEST ELEVATION  
A202 SCALE 1/4"=1'-0"



2 SECTION LOOKING EAST  
 A203 SCALE 1/4"=1'-0"

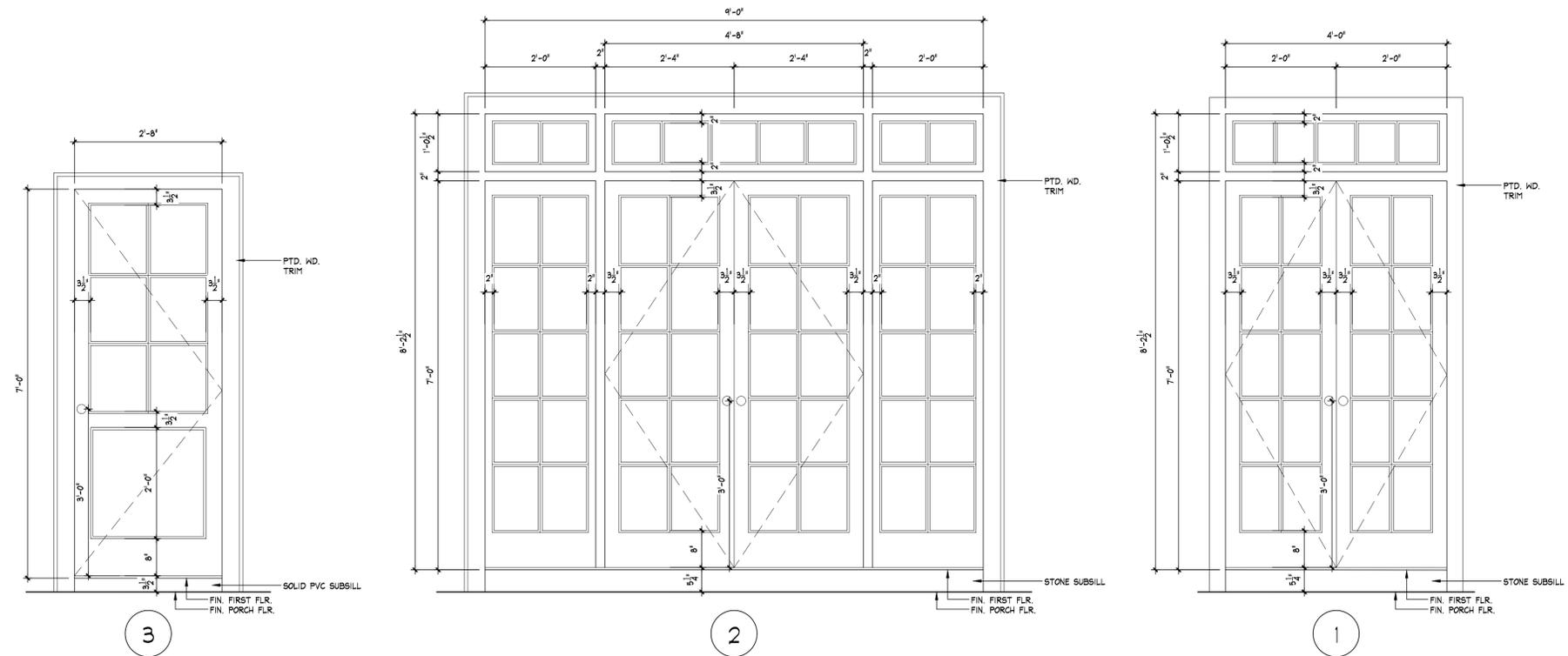


1 SECTION LOOKING WEST  
 A203 SCALE 1/4"=1'-0"

## DOOR SCHEDULE

SYM.	SIZE	TYPE	REMARKS
<b>EXTERIOR</b>			
①	PR 2'-0" x 7'-0" DOORS & 4'-0" x 1'-1/2" TRANSOM	PTD. WOOD & GLASS FRENCH DOOR PTD. WOOD & GLASS SIDELIGHTS	8'-2 1/2" OVERALL HEIGHT, SAFETY GLAZING
②	PR 2'-4" x 7'-0" DOORS & (2)2'-0" x 7'-0" SIDELIGHTS (2)2'-0" x 1'-1/2" TRANSOMS 4'-8" x 1'-1/2" TRANSOM	PTD. WOOD & GLASS FRENCH DOOR PTD. WOOD & GLASS SIDELIGHTS PTD. WOOD TRANSOMS	9'-0" OVERALL WIDTH, 8'-2 1/2" OVERALL HEIGHT, SAFETY GLAZING
③	2'-8" x 7'-0"	PTD. WOOD & GLASS DOOR	SAFETY GLAZING
<b>INTERIOR</b>			
⑩	2'-4" x 7'-0"	WD. DOOR/PTD.	
⑪	2'-6" x 7'-0"	WD. DOOR/PTD.	
⑫	2'-8" x 7'-0"	WD. DOOR/PTD.	
⑬	2'-4" x 7'-0"	WD. DOOR/PTD.	POCKET DOOR
⑭	3'-0" x 7'-0"	WD. DOOR/PTD.	POCKET DOOR
⑮	PR 2'-0" x 7'-4"	WD. DOOR/PTD.	POCKET DOOR
⑯	PR 2'-6" x 7'-4"	WD. DOOR/PTD.	
⑰	2'-0" x 2'-9"	WD. DOOR/PTD.	ACCESS DOORS TO THIRD FLOOR MECHANICAL SPACE
⑱	2'-4" x 6'-8"	WD. DOOR/PTD.	
⑲	2'-8" x 6'-8"	WD. DOOR/PTD.	
㉑	PR 2'-0" x 6'-8"	WD. DOOR/PTD.	

**NOTES:**  
 -MUNTIN AND DOOR DETAILS TO MATCH EXISTING, TYP.  
 -SEE ELEVATIONS FOR MUNTIN PATTERNS  
 -ALL DOORS GLAZING TO BE SIMULATED DIVIDED LITE INSULATED GLASS  
 -PROVIDE SAFETY GLASS WHERE REQUIRED BY SECTION R308.4 OF 2012 IRC  
 -PROVIDE BRONZE INTERLOCKING THRESHOLDS @ EXTERIOR DOORS  
 -ALL FENESTRATION TO HAVE MAX. U-FACTOR OF 0.35  
 -ALL GLAZED FENESTRATION TO HAVE MAX. SHGC OF 0.40  
 -ALL FENESTRATION WILL BE CERTIFIED AND LABELED IN ACCORDANCE WITH NFRC  
 -WINDOWS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M<sup>2</sup>), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M<sup>2</sup>), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.



WINDOW SCHEDULE

SYM.	SASH SIZE (kxh U.N.O.)	TYPE	EGRESS	REMARKS
(A)	3'-0" x 5'-0"	PTD. WOOD OPERABLE DOUBLE HUNG		
(B)	2'-7" x 5'-6"	PTD. WOOD OPERABLE DOUBLE HUNG		MATCH EXISTING SIZE
(C)	(3)2'-0" x 5'-4"	PTD. WOOD OPERABLE CASEMENTS		7'-0" OVERALL WIDTH (1) FIXED CENTER & (2) ENDS OPERABLE
(D)	4'-4" x 5'-0"	PTD. WOOD PUSH-OUT FRENCH CASEMENT		INTERIOR ROLL SCREENS
(E)	(3)2'-2" x 5'-0"	PTD. WOOD PUSH-OUT CASEMENTS		6'-11" OVERALL WIDTH, INT. ROLL SCREENS (1) FIXED CENTER & (2) ENDS OPERABLE
(F)	2'-0" x 3'-6"	PTD. WOOD FIXED CASEMENT		
(G)	2'-10" x 5'-11 3/4"	PTD. WOOD OPERABLE DOUBLE HUNG		MATCH EXISTING SIZE
(H)	2'-10" x 4'-6 1/2"	PTD. WOOD OPERABLE DOUBLE HUNG	*	MATCH EXISTING SIZE
(I)	(3)2'-0" x 4'-0"	PTD. WOOD OPERABLE CASEMENT		7'-0" OVERALL WIDTH (1) FIXED CENTER & (2) ENDS OPERABLE
(J)	2'-0" x 4'-0"	PTD. WOOD OPERABLE CASEMENT		

NOTES:  
 -MUNTIN AND WINDOW DETAILS TO MATCH EXISTING, TYP.  
 -SEE ELEVATIONS FOR MUNTIN PATTERNS  
 -ALL WINDOWS GLAZING TO BE SIMULATED DIVIDED LITE INSULATED GLASS  
 -PROVIDE SAFETY GLASS WHERE REQUIRED BY SECTION R308.4 OF 2012 IRC  
 -ALL FENESTRATION TO HAVE MAX. U-FACTOR OF 0.35  
 -ALL GLAZED FENESTRATION TO HAVE MAX. SHGC OF 0.40  
 -ALL FENESTRATION WILL BE CERTIFIED AND LABELED IN ACCORDANCE WITH NFRC  
 -WINDOWS AND DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M2), AND SHINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M2), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.5.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.

