

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7309 Piney Branch Rd., Takoma Park	Meeting Date:	3/13/2019
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	3/6/2019
Review:	HAWP	Public Notice:	2/27/2019
Case Number:	37/03-19D	Tax Credit:	Partial
Applicant:	Natalie Hopkins	Staff:	Dan Bruechert
Proposal:	Building Addition, Door Replacement, and Porch Modifications		

RECOMMENDATION

Staff recommends that the Historic Preservation Commission **approve** the HAWP application:

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Queen Anne
DATE: c.1890-1905

The subject property is a two-and-a-half stories tall, four bays wide, Queen Anne-style dwelling with cedar shingle siding and a cross gable roof.

At the rear of the house there are two additions. The larger addition was constructed c. 1960, while the other addition was constructed in 2006.

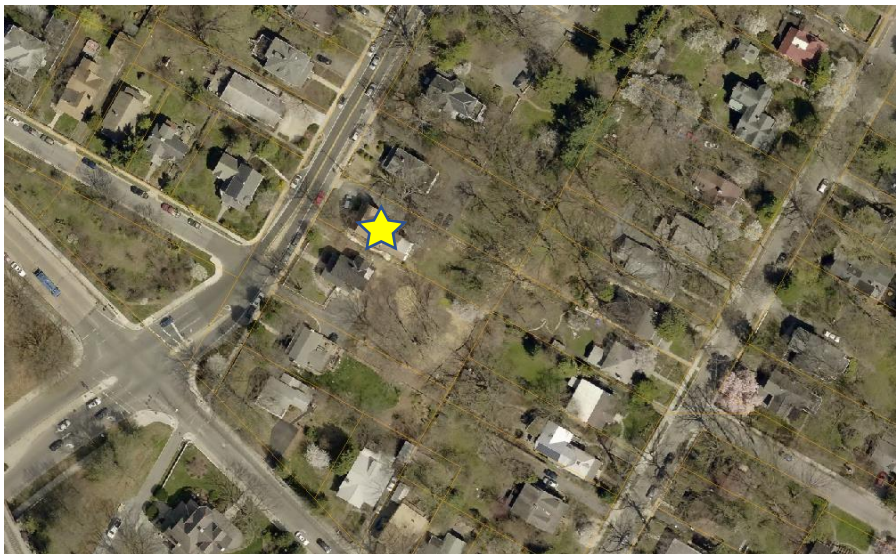


Figure 1: 7309 Piney Branch Rd. is located near Eastern Ave. and the Washington D.C. border.

BACKGROUND

On January 9, 2019 the subject property was reviewed by the HPC as a Preliminary Consultation. The HPC's comments were overall supportive of the proposed changes, but identified the form of the proposed roof dormer on the right elevation to be inappropriate and recommended revisions either by removing the dormer on this elevation or by bringing it in from the wall plane and moving toward the rear. The applicant responded that the HPC "recommendation of allowing the new addition gable roof to match the eave height of the existing roof provided design relief, but introduced constructability and cost challenges that were undesirable for this project. The previous iteration of the dormer has been outlined in all views for comparison with the current proposal." Design changes have been undertaken to reduce the impact of a dormer on the right side of the house.¹

The scope of work presented in the preliminary consultation included the removal of the non-historic shingle siding and restoration of the historic siding. The applicant has removed this work from the scope of work under consideration for this HAWP.

PROPOSAL

The applicant proposes to:

- Remove the Doric columns in the porch and install square columns and install a balustrade in the front porch;
- Construct an addition at the rear that extends the 2nd and 3rd floor above the existing addition;
- Install gutters and downspouts;
- Fenestration changes on the right elevation; and
- Other changes that are restorative or other repairs that do not require HPC review.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to

¹ The previous Staff Report can be found here: <https://montgomeryplanning.org/wp-content/uploads/2019/01/IL.B-7309-Piney-Branch-Road-Takoma-Park.pdf>. The audio transcript is located here: <https://montgomeryplanning.org/wp-content/uploads/2019/01/IL.B-7309-Piney-Branch-Road-Takoma-Park.pdf>, with consideration of this item beginning at 35:15.

reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

While additions should be compatible, they are not required to be replicative of earlier architectural styles.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes to undertake work in several areas of the house. Some of this work is eligible for the County's Historic Preservation Tax Credit Program and will be identified as such in this Staff Report.

Porch Alterations

The applicant proposes several modifications to the existing porch. First, the applicant proposes removing the exiting shed roof on the porch and installing a hipped roof. Second, the applicant proposes to remove the Doric columns and replace them with square columns. The applicant proposes to install a new wood baluster with a 2" (two inch) square pickets and a new set of front stairs with a handrail matching the balustrade.

The applicant indicates that the current porch was modified or significantly altered c.1960 and while there is no documentary evidence included with the application, Staff finds this to be a reasonable conclusion. The remainder of the house was significantly modified during that time. Staff cannot determine if the existing front porch is historic or a later replacement. Sanborn maps show a full-width porch dating to at least 1927, but those records do not indicate porch roof type. However, Staff finds that a hipped roof would be period-appropriate. The house to the left has a full-width hipped roof porch and the house to the right has a full-width shed roofed porch. Staff finds that an alteration to this feature would be acceptable. Staff additionally finds that square columns would be a period-appropriate design. Wood columns are the appropriate material for this architectural feature.

The proposed front baluster is simply detailed and will not detract from the historic appearance of the house. Staff supports approval of this element.

The applicant proposes to remove the side loading steps, which do not appear to be historic, and to replace the front-loading steps with a new set that includes a railing. These features do not appear historic and their replacement with the simply detailed wood steps would be appropriate. Staff is uncertain if the rise of the proposed steps will be lower than the existing or if there will be an accompanying grade change as the proposal will add an additional stair. Staff finds the changes to the porch are compatible with the historic character of the house (Standard 5 and

24A-8(b)(1)) and supports approval of the porch alterations.

Rear Addition

The applicant proposes to construct an addition at the rear that will expand to the 2nd and 3rd floors above the footprint of the exiting rear additions. The addition will be clad in Hardi clapboard siding in a 10" (ten inch) reveal with wood corner trim. The proposed windows are aluminum clad wood, Pella Proline Series in a two-over-two configuration throughout. The roof pitch of the rear addition will mirror the historic roof, with a ridgeline 4' 6" (four feet, six inches) lower than the historic gable ridge. To create more occupiable space, the applicant proposes to construct dormers to either side.

The proposed addition will be constructed above the footprint of the c.1960 and 2006 additions at the rear. These additions are inset by 13" (thirteen inches) from the right historic wall plane and are inset by several feet from the left wall. The view of the addition from the left is further obscured by the bay window on the left elevation. The gable roof of the addition will be 4' 6" (four feet, six inches) lower than the historic gable roof. The proposed addition will provide access to all three floors of living space. This will be accomplished in the 3rd floor by adding a large shed dormer to both sides of the dormer. At the preliminary consultation the HPC determined that the dormer on the left side of the house would not detract from the historic appearance of the house and would support approval of this element at the HAWP stage. In revising the proposal for the right side of the addition the applicant encountered feasibility and cost challenges with matching the eave height, so in order to reduce the visual impact of the dormer, the applicant took the following steps:

- Inset south wall of dormer 21" from the exterior walls below
- Reduced dormer width from 16'-0" to 14'-6"
- Reduced wall plate height and increased slope of south roof
- Shifted entire dormer to rear. Previous design was $\pm 4'-9"$ from existing roof, current proposal is $\pm 6'-9"$ from existing roof.

The changes to the design are best detailed in drawings 13 and 16 submitted with the application materials.

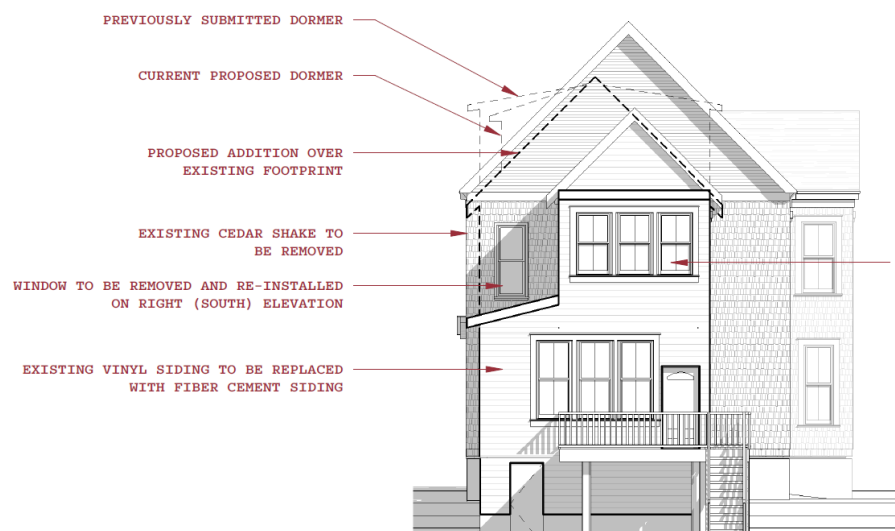


Figure 2: Rear elevation showing the outline of the previous and revision for the dormer.

The HPC's initial recommendation was to raise the eave line and increase the pitch of the roof. This would have provided significantly more clearance in the third floor. The other alternative recommended was to inset the dormer from the wall plane and to move it further to the rear. The applicant indicated that raising the eave was not feasible and instead raised the dormer roof pitch, brought the dormer in by 21" (twenty-one inches), and shifted the dormer to the rear by an additional 2' (two feet). Staff finds that this change significantly reduces the visual impact of the dormer from the previous proposal. The submission reviewed by the HPC at the prelim not only proposed a taller dormer that was closer to the right of way, but also created a four-story vertical wall plane which had the effect of increasing the massing of the rear addition. By reducing the size of the dormer and pulling it away from the wall plane, the impact the dormer has on the historic building and surrounding district is significantly reduced. Staff finds that dormer is compatible with the historic house in size, scale, and massing supports approval under 24A-8(b)(2).

The windows shown in the plans indicate that they would be two-over-two Andersen 200 series vinyl-clad wood windows. Based on feedback from Staff and the HPC, the applicant has revised the proposal and now proposes to use Pella Proline aluminum clad windows (specs attached). Drawings submitted for permitting will reflect the aluminum clad window and no vinyl windows will be installed on this project. This configuration is found throughout the historic house and Staff finds the lite pattern to be compatible. Aluminum clad wood windows have been found to be compatible for contributing resources on new construction and building additions within the Takoma Park Historic District. Staff and the HPC have consistently determined that wood or aluminum clad wood windows have sufficient depth to be compatible on additions to contributing buildings in the Takoma Park Historic District.

Staff supports approval of the proposed rear addition.

Gutters and Downspouts

The applicant proposes to install aluminum gutters and downspouts. The applicant proposes to install an aluminum, K-style gutter. Staff finds that this design is appropriate for the house and will not detract from the historic character of the house or surrounding district. Staff supports approval of this element under 24A-8(b)(1) and (2).

Fenestration Alterations to the Right Elevation

The window placement on the right elevation has been significantly altered. There are two non-historic fixed windows on the first floor on the right elevation. The applicant proposes removing these two windows and installing a window on this elevation. This window introduced on this elevation will be a historic wood window, removed from the rear of the house, and installed directly under a second-floor window. Staff finds that this change will enhance the historic character of the house by removing the non-historic windows and stacking the windows on this elevation. Staff recommends approval of the window removal and relocation.

Other Changes Not Subject to HPC Review

The applicant proposes to replace the existing non-historic front door with the original front door, which has been stored in the basement. There is a historical basis for this and it is an original feature which should not be subject to HPC review and approval. This work is eligible

for the County historic preservation tax credit. Additionally, the applicant proposes to repair the window in the north-facing gable. As this is an exterior repair it does not require review and approval from the HPC and is also eligible for the County historic preservation tax credit. The applicant proposes to undertake several other changes to the basement; however, these changes are on the interior and will not have a visual impact on the exterior of the house or on the right-of-way and are not subject to review.

The applicant did not submit a tree survey for the property, however, there are no trees within the limits of disturbance of the proposed work, so a tree survey is not a requirement for approval.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve** the HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400**APPLICATION FOR
HISTORIC AREA WORK PERMIT**Contact Email: BEN@BENNORKINARCHITECTURE.COM Contact Person: BEN NORKINDaytime Phone No.: 202-578-7094Tax Account No.: 01071423Name of Property Owner: NATALIE HOPKINS Daytime Phone No.: 202-997-1489Address: 7309 PINEY BRANCH RD TAKOMA PARK, MD 20912
Street Number City State Zip CodeContractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISEHouse Number: 7309 Street: PINEY BRANCH RDTown/City: TAKOMA PARK Nearest Cross Street: EASTERN AVELot: 19 Block: 12 Subdivision: 0025

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE**1A. CHECK ALL APPLICABLE:**

- ☒ Construct ☐ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☒ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☒ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ \$160,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

12/17/2018

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

861373

1. WRITTEN DESCRIPTION OF THE PROJECT

a. Description of existing structure and environmental setting, including historical features and significance

This three story, gable-roofed, cedar wood shingled Victorian house with original details in the interior was constructed in 1896. It features 30 original double hung two-over-two sash windows, including 8 double hung two-over-two windows in the two story bay window on the northern side of the house. It also has wood fish scale shingles at the dormer/third floor level. The front of the house faces west. There is a wooden porch with Doric columns in the front of the house and a modern kitchen addition with vinyl siding and deck in the rear of the house. It is located in the Takoma Park historic district and sits between similar houses on the odd side of the street. The house to the south (7307) was constructed in 1884 and the house to the north (7311) was constructed in 1902.

b. General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

Restore original Fish Scale shingles on the third floor front exterior.

Project will also replace rotting porch boards and replace existing Doric style columns with style appropriate columns and add a row of balusters to provide a more classic Victorian porch appearance. New wooden steps with railings will be added. Porch footprint to remain the same.

Restore original third floor dormer bay window facing west. Replace front door with original front door currently in storage.

Extend 2nd floor and 3rd floor at rear to occupy space above existing 1st floor. No new footprint will be added to the site.

Install gutters and downspouts at inside corners to improve drainage.

UPDATE:

Removal of non-original cedar shake siding and repair of original clapboards has been removed from the current scope of work. Finishing of existing cellar has been added, with no requirement for exterior work.

Per guidance from Staff and the Board, the south-facing shed dormer has been changed to provide a less obtrusive physical form. The following changes have been made:

- Inset south wall of dormer 21" from the exterior walls below
- Reduced dormer width from 16'-0" to 14'-6"
- Reduced wall plate height and increased slope of south roof
- Shifted entire dormer to rear. Previous design was $\pm 4'-9"$ from existing roof, current proposal is $\pm 6'-9"$ from existing roof.

Board recommendation of allowing the new addition gable roof to match the eave height of the existing roof provided design relief, but introduced constructability and cost challenges the were undesirable for this project. The previous iteration of the dormer has been outlined in all views for comparison with the current proposal.

MAILING ADDRESSES FOR HAWP APPLICATION NOTIFICATION

OWNER'S MAILING ADDRESS

Natalie Hopkins
7309 Piney Branch Rd
Takoma Park, MD 20912

OWNER'S AGENT'S MAILING ADDRESS

Ben Norkin
Ben Norkin Architecture
7204 Trescott Ave
Takoma Park, MD 20912

ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES

Chris and Shivani Sutton
7307 Piney Branch Rd
Takoma Park, MD 20912

John and Lindsey Simpson
7310 Piney Branch Rd
Takoma Park, MD 20912

Constance Mayer
7311 Piney Branch Rd
Takoma Park, MD 20912

Jodie Steiner and Federico Mini
7312 Piney Branch Rd
Takoma Park, MD 20912

Paula Kowalczyk and Peter Kovar
7112 Holly Ave
Takoma Park, MD 20912



FRONT ELEVATION (WEST) FACING PINEY BRANCH RD



FRONT ELEVATION (WEST) FACING PINEY BRANCH RD



REAR ELEVATION (EAST)



REAR ELEVATION (EAST)

BEN NORKIN

- ARCHITECTURE -

7204 Trescott Ave
Takoma Park, MD 20912

202 - 578 - 7094

bennorkinarchitecture.com
ben@bennorkinarchitecture.com

HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY BJN

SHEET NO:

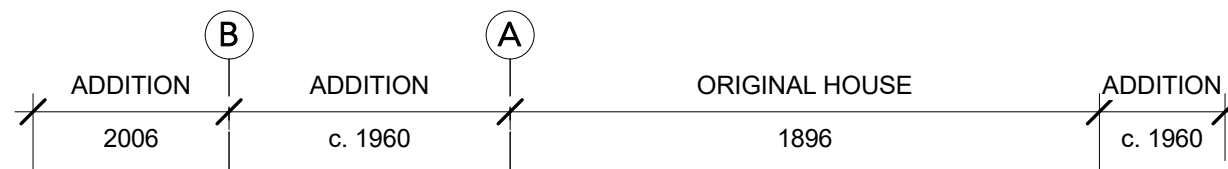
3

SHEET NAME:

**EXISTING
ELEVATIONS**

SCALE:

3/15" = 1'-0"



1

EXISTING LEFT ELEVATION

3/32" = 1'-0"

BEN NORKIN

- ARCHITECTURE -

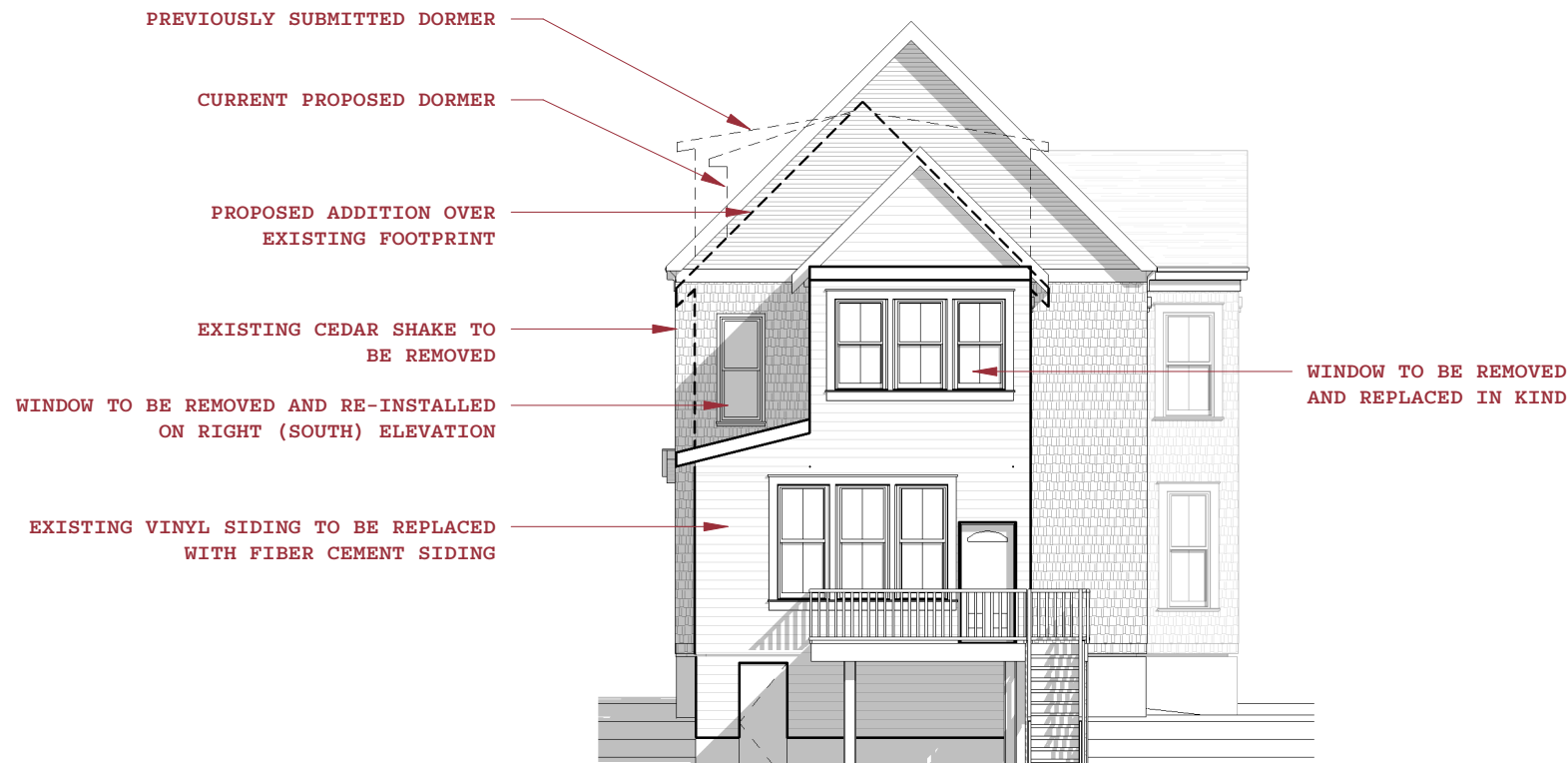
7204 Trescott Ave
Takoma Park, MD 20912

202 - 578 - 7094

bennorkinarchitecture.com
ben@bennorkinarchitecture.com

HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912



① **EXISTING REAR ELEVATION**
3/32" = 1'-0"

PROJECT: 18004

DRAWN BY BJN

SHEET NO:
4

SHEET NAME:
**EXISTING
ELEVATIONS**

SCALE:
3/16" = 1'-0"

BEN NORKIN

- ARCHITECTURE -

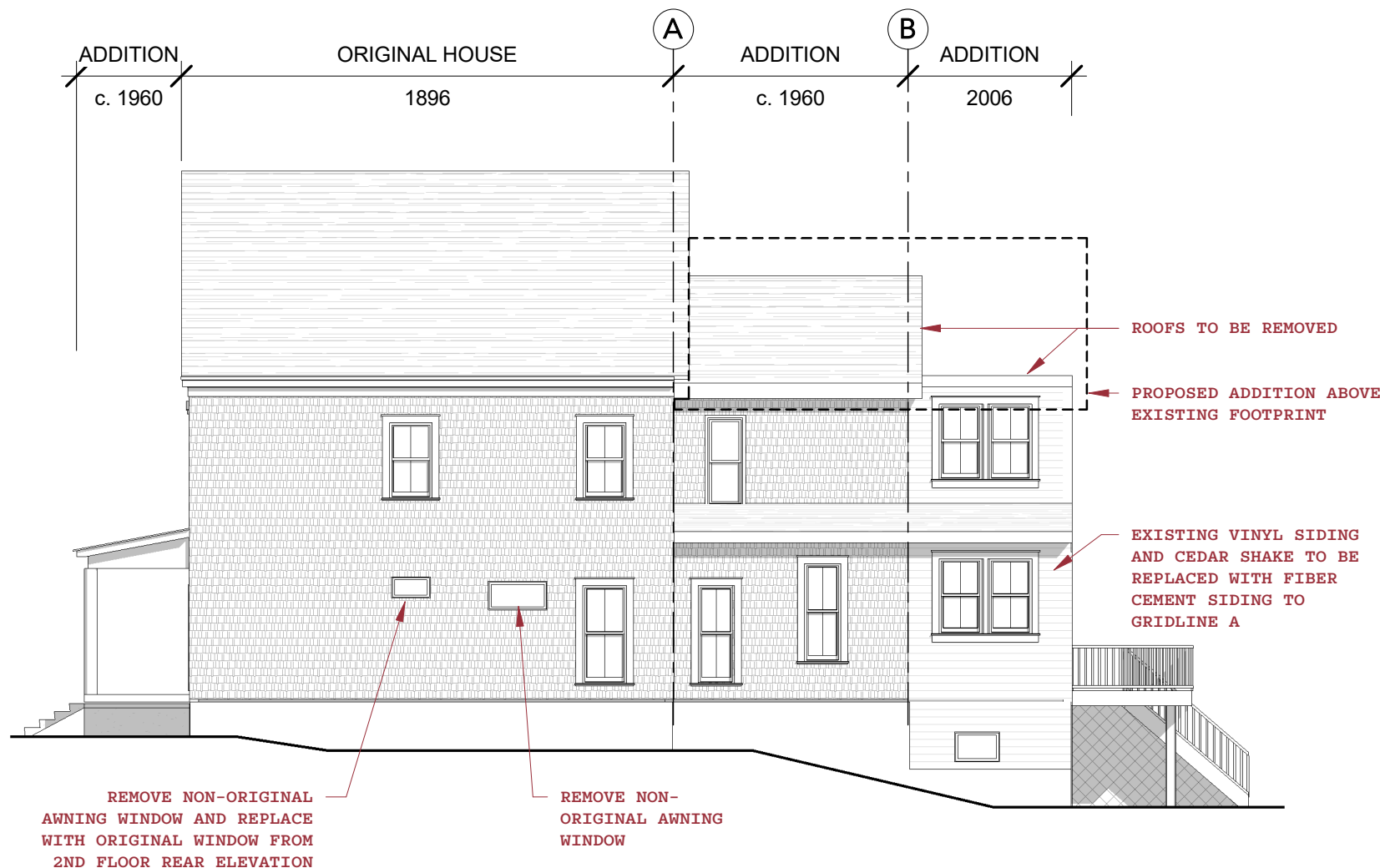
7204 Trescott Ave
Takoma Park, MD 20912

202 - 578 - 7094

bennorkinarchitecture.com
ben@bennorkinarchitecture.com

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NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912



1 EXISTING RIGHT ELEVATION
3/32" = 1'-0"

PROJECT: 18004

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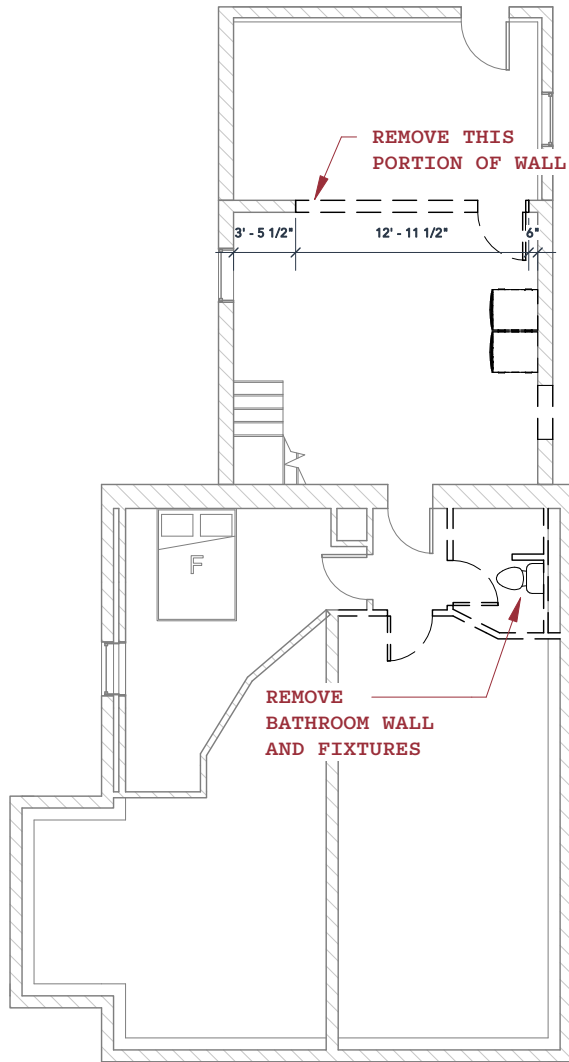
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5

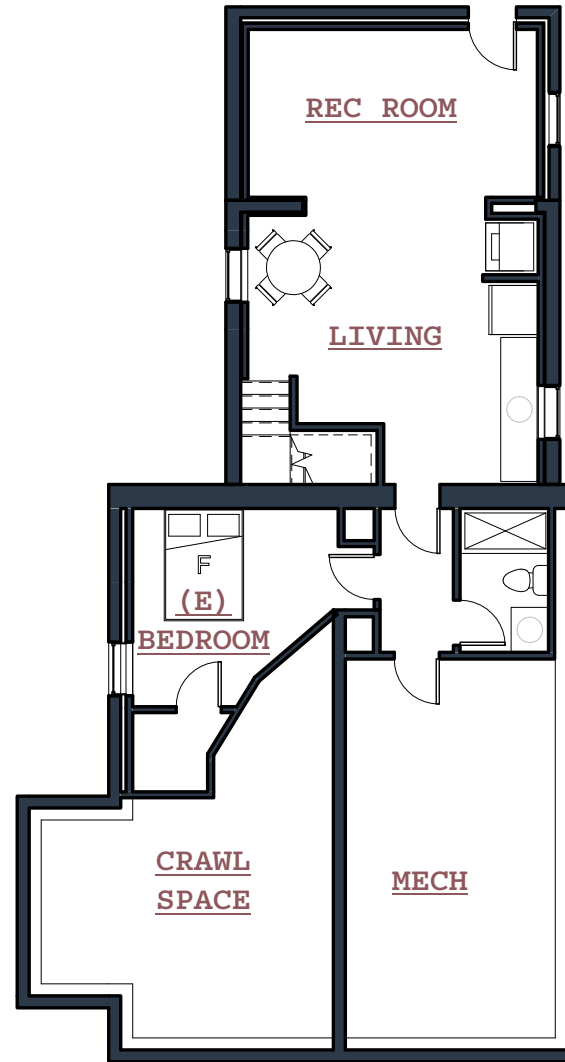
SHEET NAME:

**EXISTING
ELEVATIONS**

SCALE: 3/32" = 1'-0"



2 CELLAR PLAN
EXISTING/DEMO
3/32" = 1'-0"



1 CELLAR PLAN
PROPOSED
3/32" = 1'-0"

BEN NORKIN
- ARCHITECTURE -

7204 Trescott Ave
Takoma Park, MD 20912 202 - 578 - 7094

bennorkinarchitecture.com
ben@bennorkinarchitecture.com

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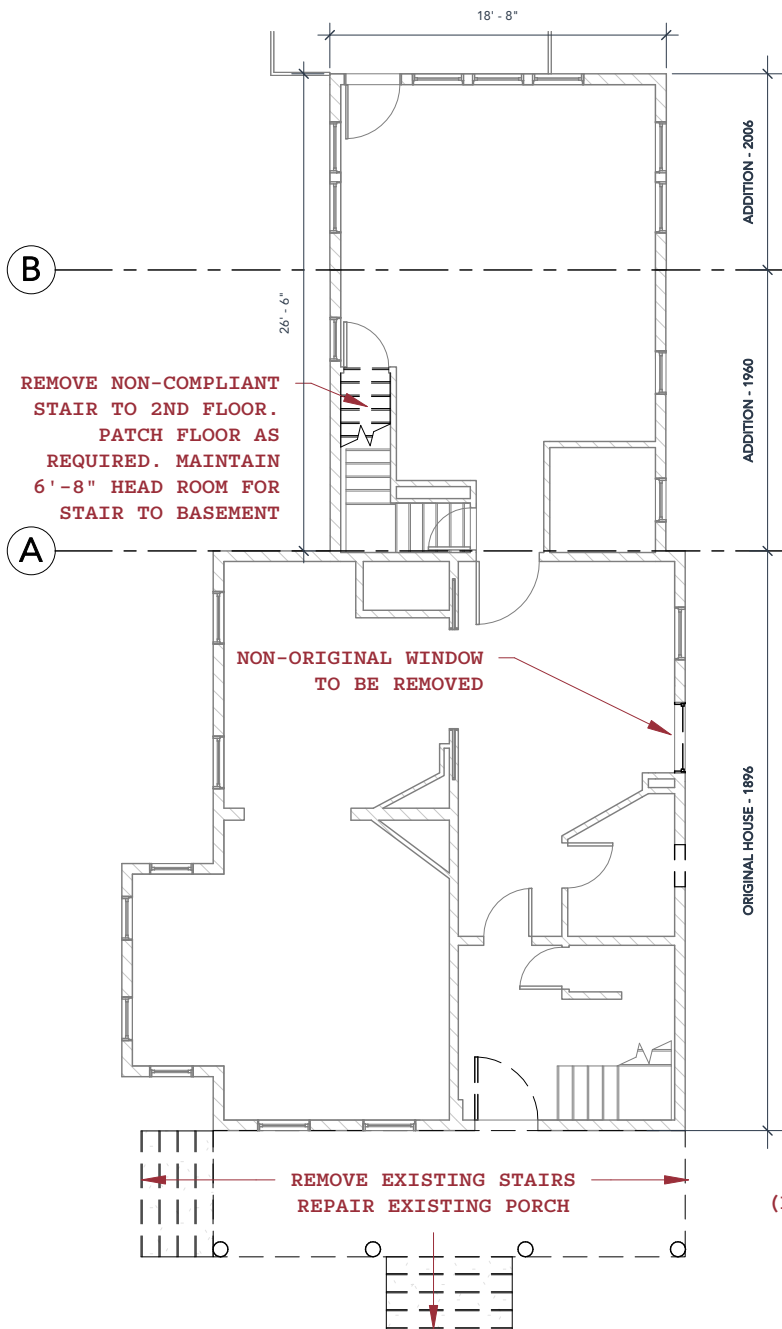
PROJECT: 18004

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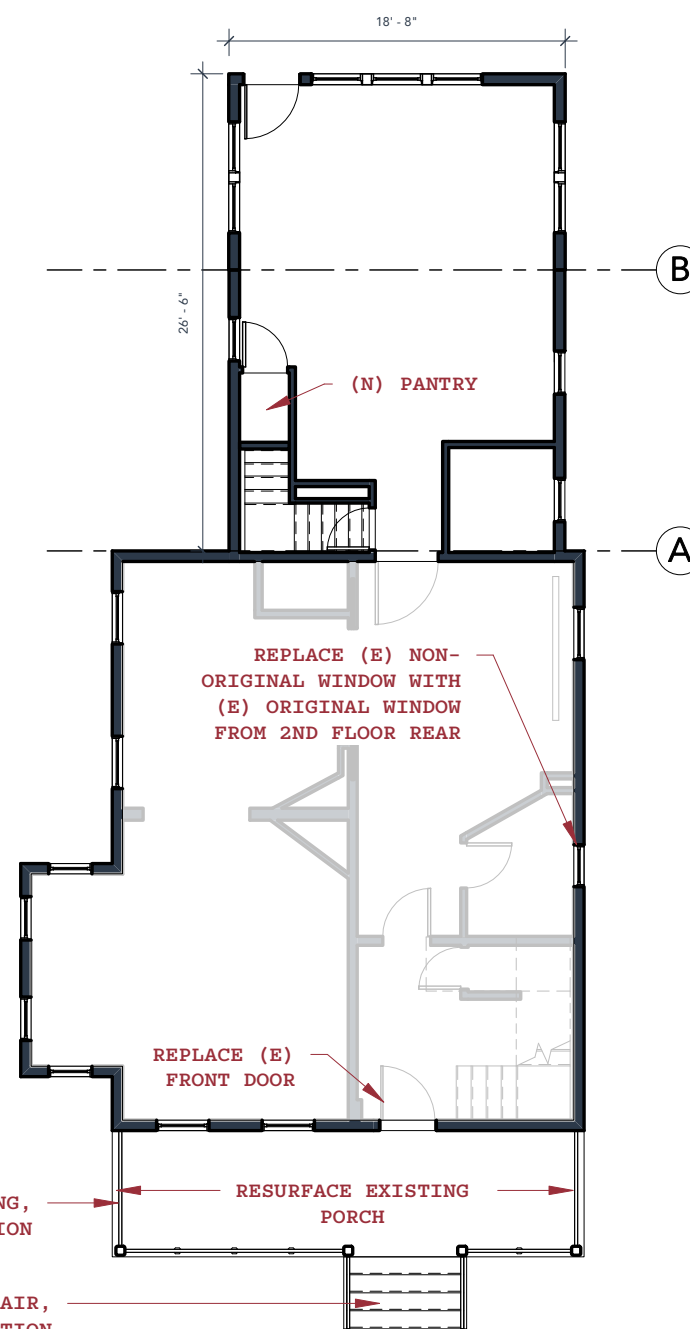
SHEET NO:
6

SHEET NAME:
**CELLAR FLOOR
PLAN**

SCALE:
3/32" = 1'-0"



2 1ST FLOOR PLAN
EXISTING/DEMO
3/32" = 1'-0"



1 1ST FLOOR PLAN
PROPOSED
3/32" = 1'-0"

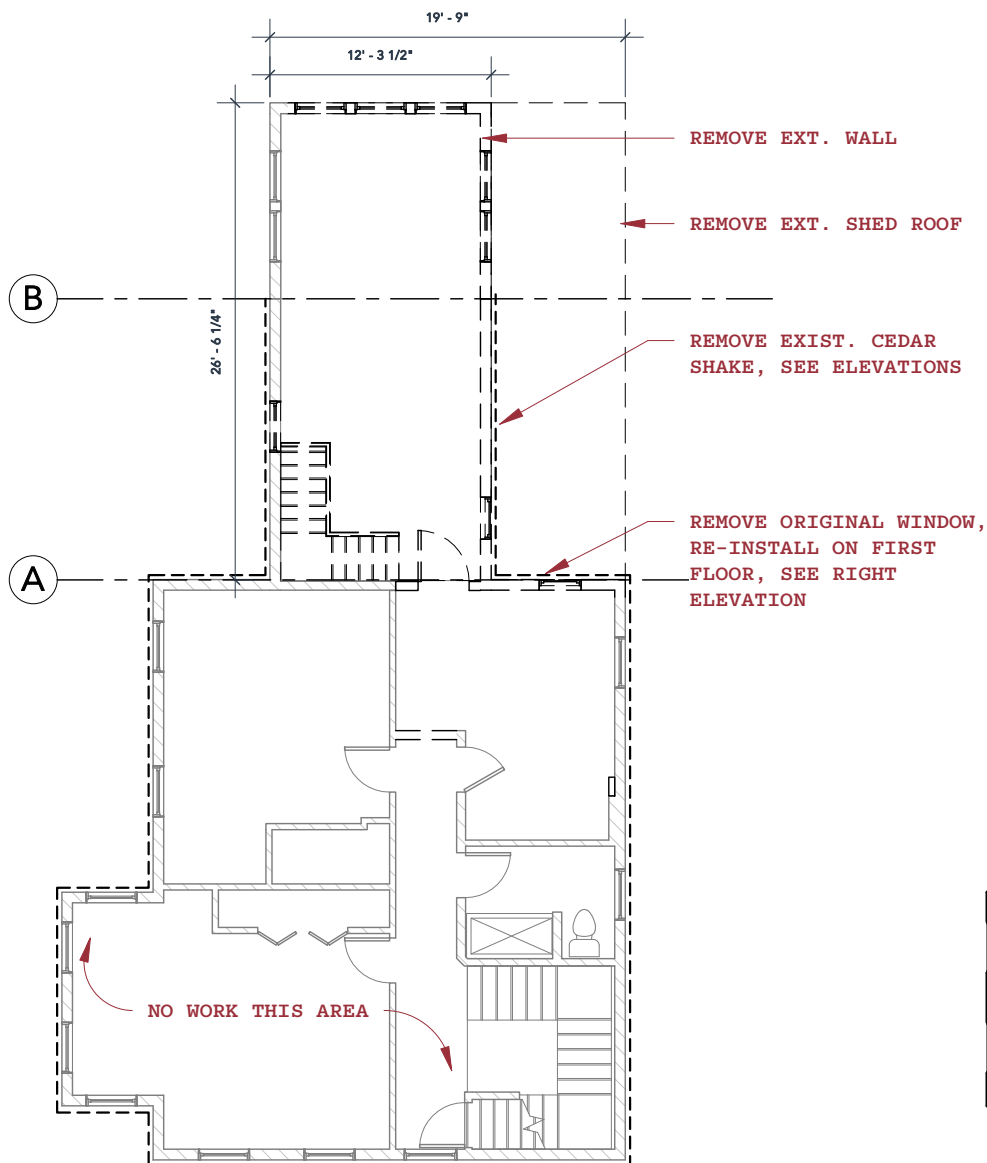
BEN NORKIN
- ARCHITECTURE -

7204 Trescott Ave
Takoma Park, MD 20912 202 - 578 - 7094
bennorkinarchitecture.com
ben@bennorkinarchitecture.com

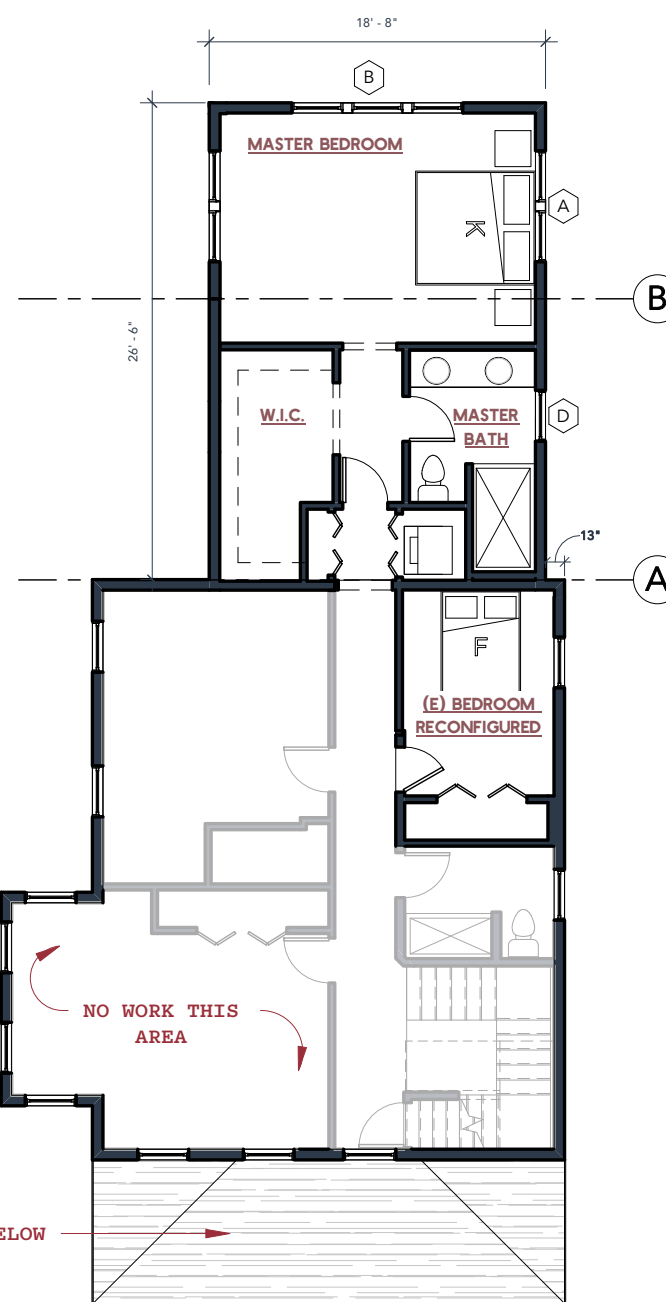
HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT:	18004
DRAWN BY	BJN
SHEET NO:	7
SHEET NAME:	1ST FLOOR PLAN
SCALE:	3/32" = 1'-0"



1 2ND FLOOR PLAN
EXISTING/DEMO
3/32" = 1'-0"



2 2ND FLOOR PLAN
PROPOSED
3/32" = 1'-0"

BEN NORKIN

- ARCHITECTURE -

7204 Trescott Ave
Takoma Park, MD 20912

202 - 578 - 7094

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ben@bennorkinarchitecture.com

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PROJECT: 18004

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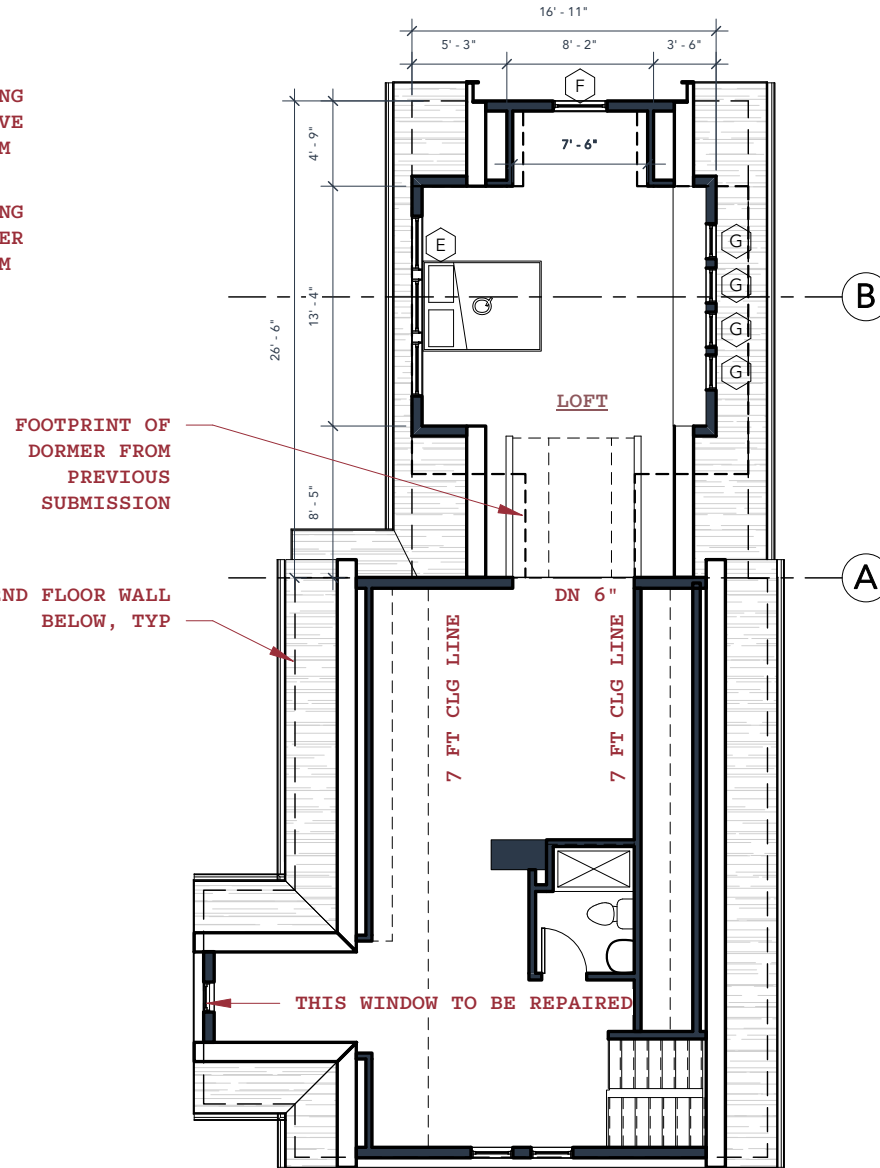
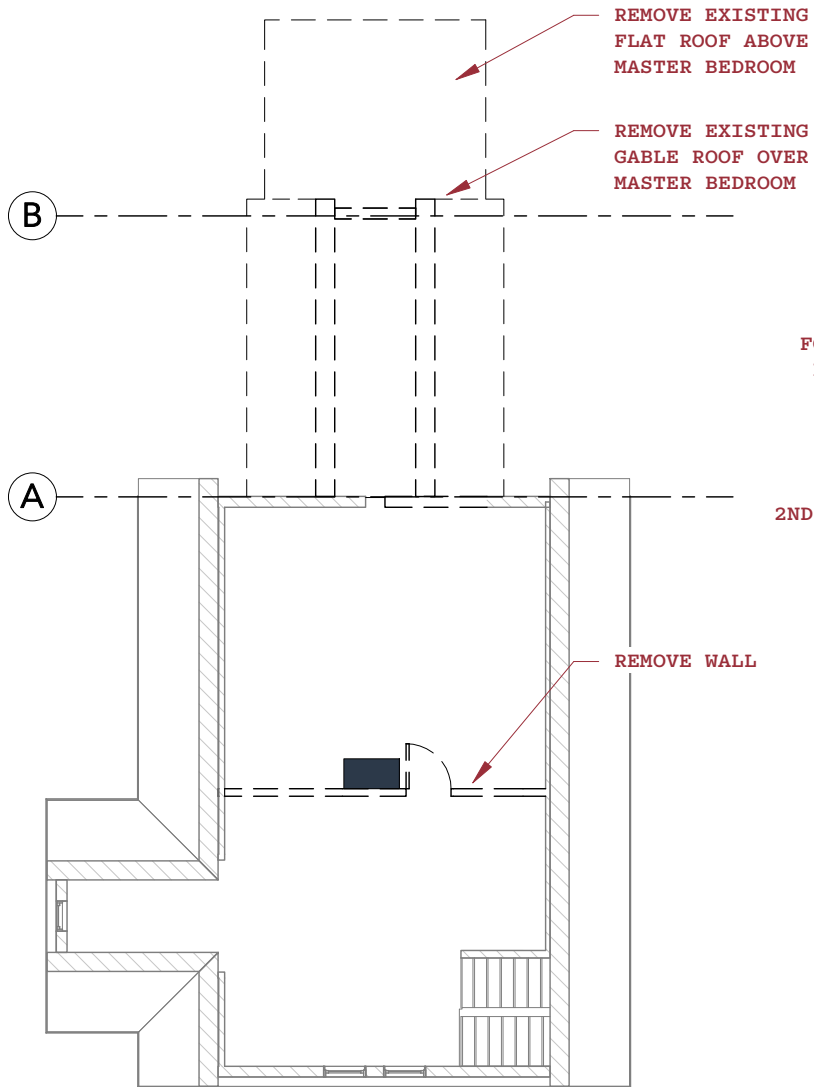
SHEET NO:

8

SHEET NAME:

**2ND FLOOR
PLANS**

SCALE: 3/32" = 1'-0"
20



2 3RD FLOOR PLAN
EXISTING/DEMO
3/32" = 1'-0"

1 3RD FLOOR PLAN
PROPOSED
3/32" = 1'-0"

BEN NORKIN
- ARCHITECTURE -

7204 Trescott Ave
Takoma Park, MD 20912 202 - 578 - 7094

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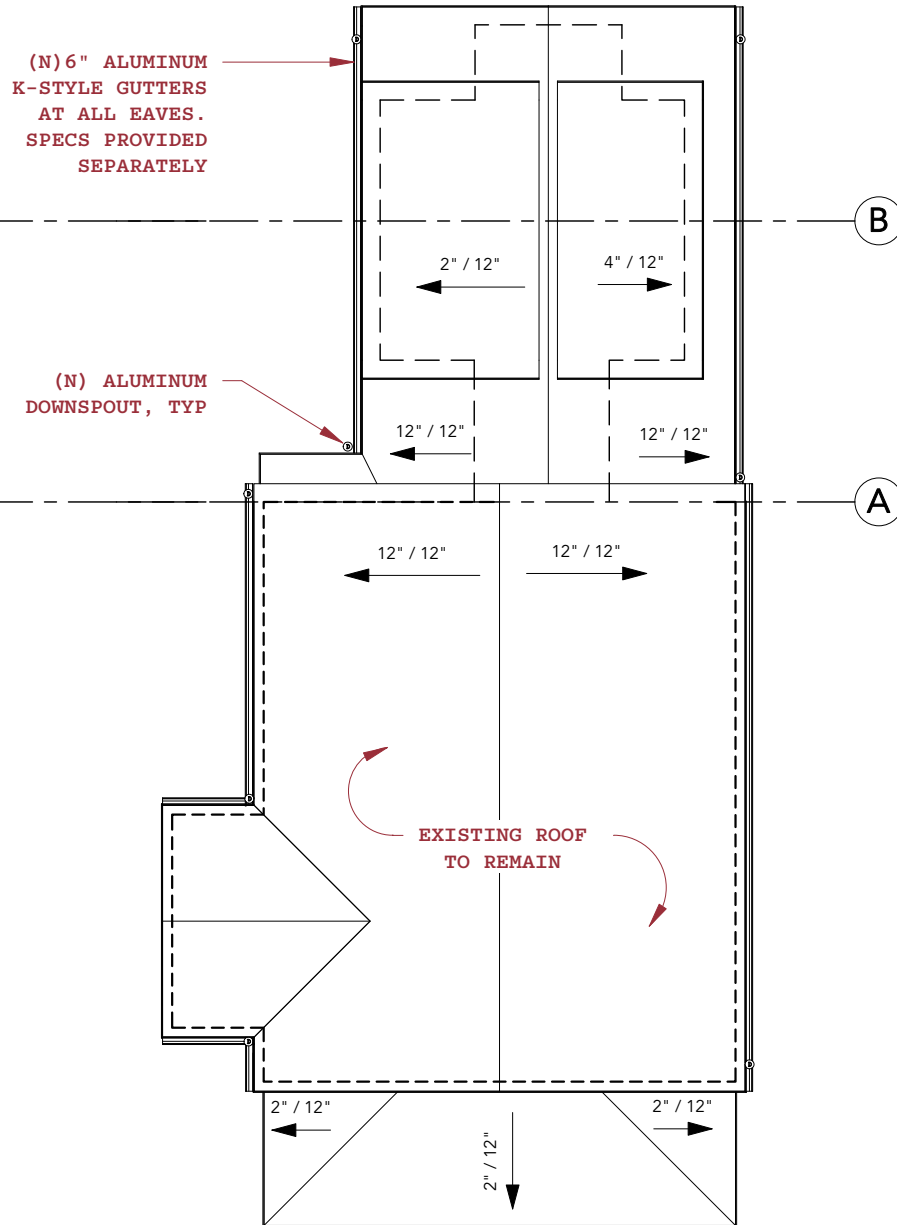
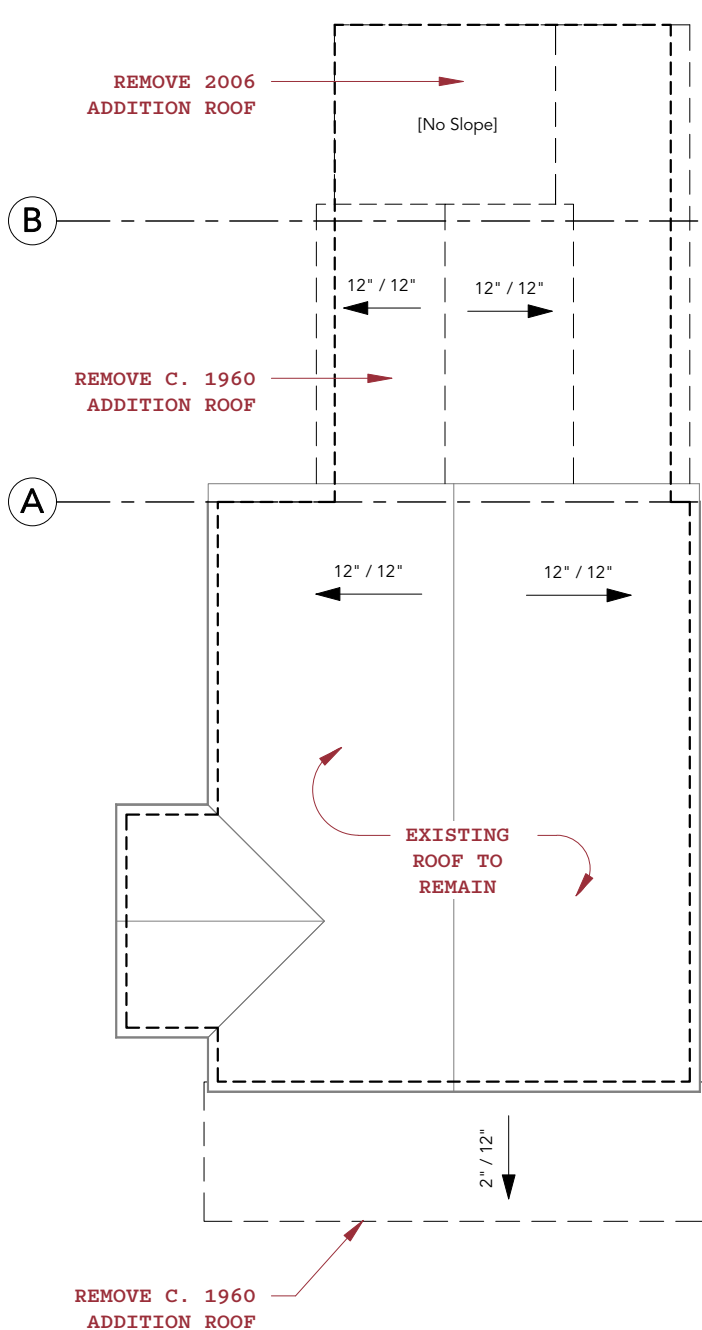
PROJECT: 18004

DRAWN BY BJN

SHEET NO:
9

SHEET NAME:
**3RD FLOOR
PLANS**

SCALE:
3/32" = 1'-0"



2 PROPOSED ROOF PLAN
3/32" = 1'-0"

1 PROPOSED ROOF PLAN
3/32" = 1'-0"

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PROJECT: 18004

DRAWN BY BJN

SHEET NO:
10

SHEET NAME:
ROOF PLAN

SCALE:
3/32" = 1'-0"



2 EXISTING FRONT ELEVATION

1/16" = 1'-0"

EXIST. FISH SCALE SHINGLES
TO REMAIN. PATTERN NOT SHOWN
FOR CLARITY, SEE PHOTOS

ALL WINDOWS TO REMAIN

6x6 P.T. WOOD POST, PAINTED

2X2 P.T. WOOD BALLUSTER,
PAINTED W. 1X4 CAP AND 1X3
BOTTOM RAIL, EA. SIDE

8X8 P.T. WOOD POST, PAINTED

LATTICE

(N) ALUMINUM GUTTERS,
TYP ALL EAVES

(N) ALUMINUM
DOWNSPOUT

ASPHALT
SHINGLE ROOF

1X8 FASCIA

WRAP STRUCTURAL
BEAM W. P.T.
1X, PAINTED

(N) WOOD STAIR TO
REPLACE EXISTING

EX 3RD FL

EX 2ND FL

EX 1ST FL

GRADE

EX CELLAR

± 30' - 10" EXISTING ROOF MIDPOINT
± 37' - 7" EXISTING ROOF RIDGE

1 PROPOSED FRONT ELEVATION

1/8" = 1'-0"

BEN NORKIN

- ARCHITECTURE -

7204 Trescott Ave
Takoma Park, MD 20912

202 - 578 - 7094

bennorkinarchitecture.com
ben@bennorkinarchitecture.com

HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY BJN

SHEET NO:

11

SHEET NAME:

ELEVATIONS

SCALE:

As indicated



2 PROPOSED LEFT ELEVATION
1/8" = 1'-0"

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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN

7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY BJN

SHEET NO:

12

SHEET NAME:

ELEVATIONS

SCALE: 1/4" = 1'-0"

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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912

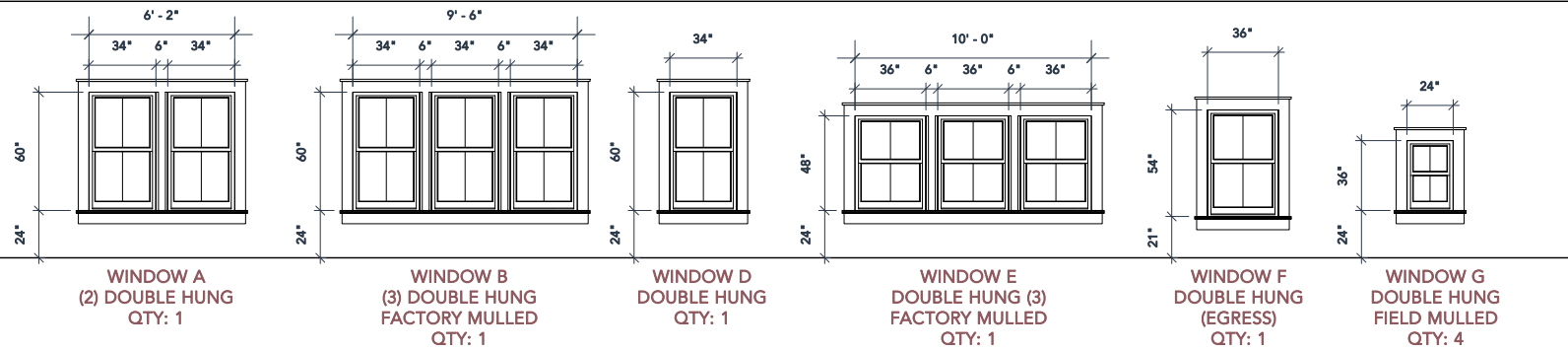
PROJECT: 18004

DRAWN BY BJN

SHEET NO:
13

SHEET NAME:
ELEVATIONS

SCALE: $\frac{1}{8}" = 1' - 0"$
25



ALL WINDOWS TO BE ANDERSEN 200 SERIES WOOD CLAD DOUBLE-HUNG WINDOWS. MUNTIN PATTERN AS SHOWN ABOVE.
TRIM TO BE PAINTED 1X6 P.T. WOOD FOR ALL WINDOWS EXCEPT G. WINDOW G TRIM TO BE PAINTED 1X4 P.T. WOOD

Window Schedule

$\frac{1}{8}" = 1' - 0"$

ORIGINAL SIDING TO REMAIN

PROPOSED DORMER FROM PRIOR SUBMISSION

FIBER CEMENT SIDING AT 2ND FLOOR
ADDITION AND ATTIC DORMER

EXISTING 2ND FLOOR ADDITION

(N) ALUMINUM GUTTERS, TYP
ALL EAVES

(N) WINDOW TO MATCH EXISTING

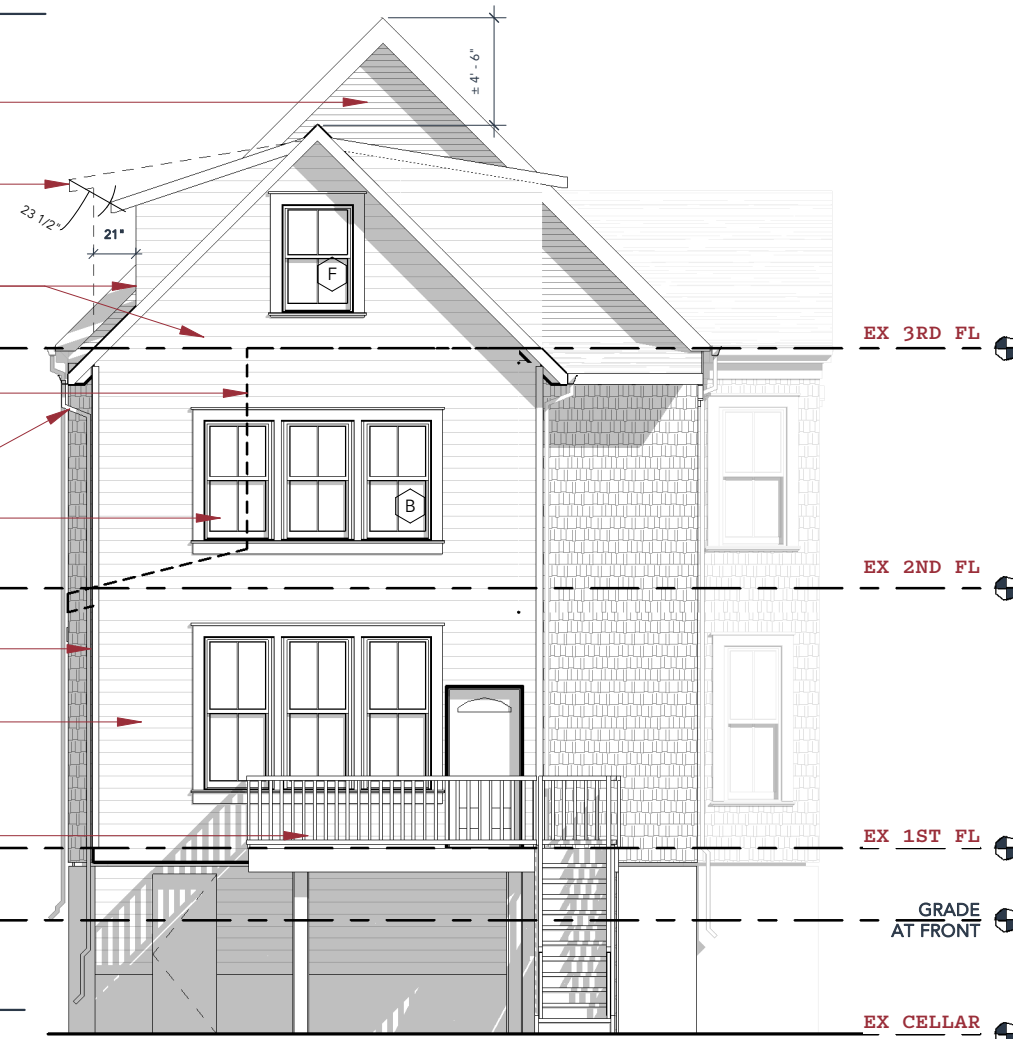
WOOD CORNER TRIM

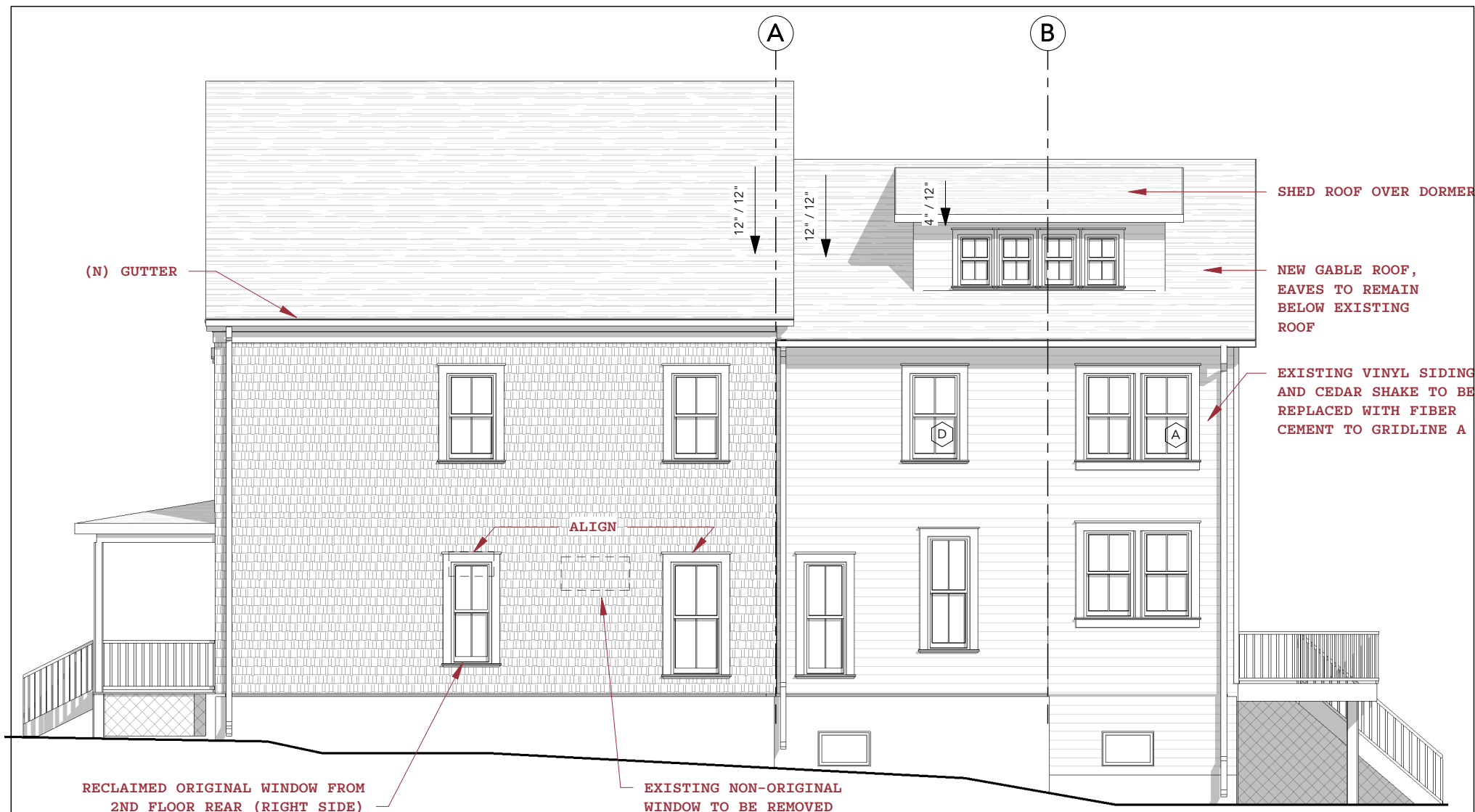
REPLACE EXISTING VINYL
SIDING WITH FIBER CEMENT

EXIST. WOOD DECK
TO REMAIN

PROPOSED REAR ELEVATION

$\frac{1}{8}" = 1' - 0"$





1 PROPOSED RIGHT ELEVATION
1/8" = 1'-0"

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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN

7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY: BJN

SHEET NO:

14

SHEET NAME:

ELEVATIONS

SCALE: 1/8" = 1'-0"



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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
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PROJECT: 18004

DRAWN BY BJN

SHEET NO:
15

SHEET NAME:
3D PERSPECTIVE

SCALE:
27



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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY BJN

SHEET NO:
16

SHEET NAME:
3D PERSPECTIVE

SCALE:
28



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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912



PROJECT: 18004

DRAWN BY BJN

SHEET NO:
17

SHEET NAME:

3D PERSPECTIVE

SCALE:
29



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HOPKINS RENOVATION

NATALIE HOPKINS AND JOHN BOHN
7309 Piney Branch Rd Takoma Park, MD 20912



PROJECT: 18004

DRAWN BY BJN

SHEET NO:
18

SHEET NAME:
3D PERSPECTIVE

SCALE:
30

Similar Options to Consider

See All

				
Amerimax Home Products 6 in. White Aluminum (0)	Amerimax Home Products 6 in. Aluminum Right (0)	Amerimax Home Products 6 in. x 10 ft. White (8)	Amerimax Home Products 6 in. End with 3 in. x 4 in. (1)	Amerimax Home Products 6 in. Aluminum (0)
\$3²⁸ /each	\$3²⁸ /each	\$15³⁴ /each	\$8⁰⁸ /each	\$3⁵⁵ /each
Model # 4600200192	Internet #205481981	Store SKU #1000710174		



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Amerimax Home Products

6 in. x 16 ft. White Aluminum K-Style Gutter

★★★★★ (10)

[Write a Review](#)

\$24⁵⁶

Quantity

-

1

+

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Product Overview



Model #: 4600200192

Sku #: 1000710174**Internet #:** 205481981

The Amerimax 6 in. x 16 ft. White Aluminum Gutter has extra-long, heavy-weight aluminum construction. Featuring a baked-on white factory finish and a traditional K-style design, this durable gutter can be used to control run-off and help protect the walls and landscaping of your home or other structures. The 6 in. size is ideal for wide-roof areas, commercial buildings or in areas of heavy rainfall.

- Heavy-weight, rust-free aluminum construction for durability
- Baked-on white finish for low maintenance that can be spray painted if desired to match any decor
- Extra-long 16 ft. design requires fewer splices and connections
- K-style design to complement your home, business or other structure
- 6 in. Gutter is ideal for wide-roof drainage or in areas of heavy rainfall
- Use with 3 in. x 4 in. for maximum run-off drainage

Info & Guides

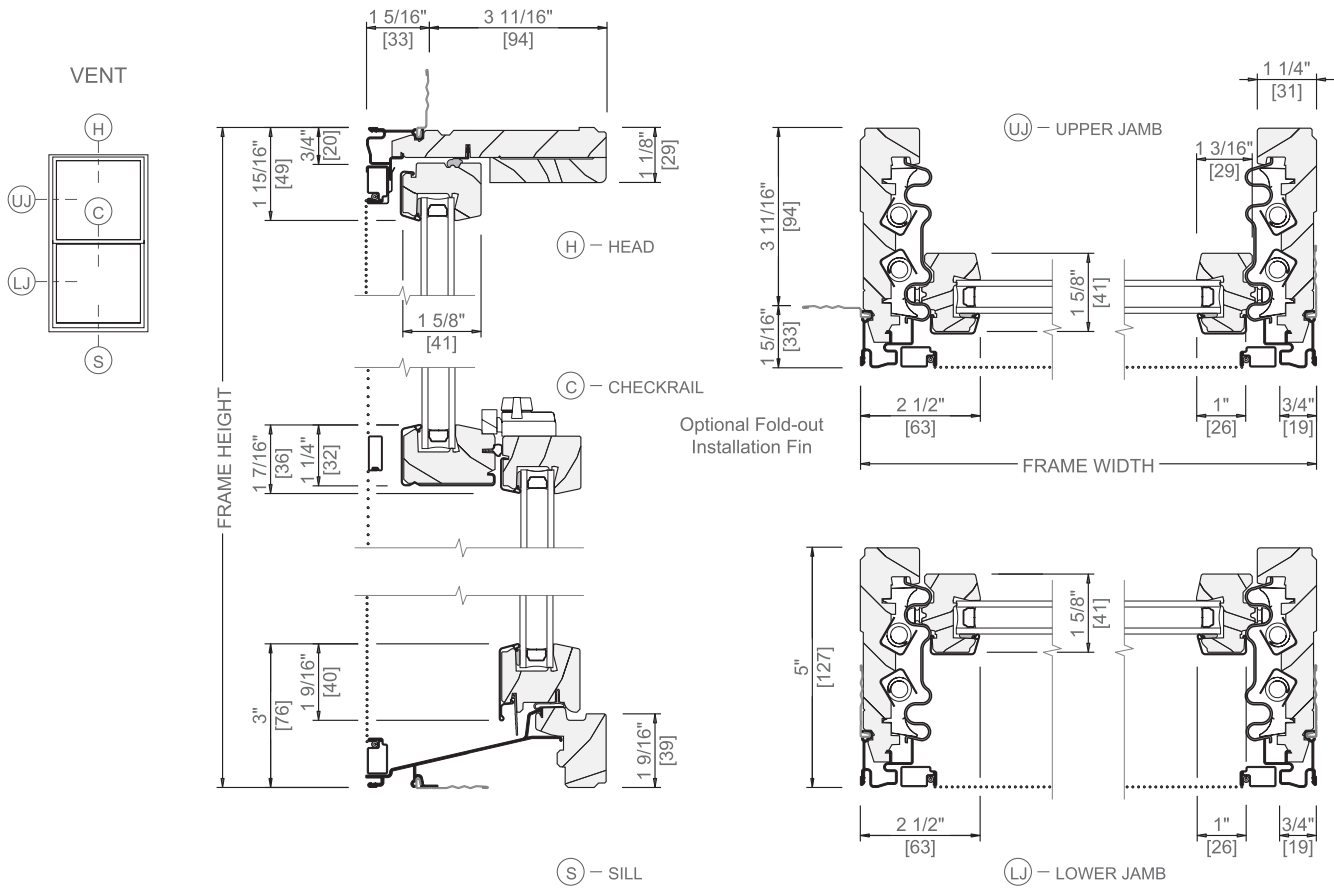
- [Instructions / Assembly](#)



DOUBLE-HUNG

UNIT SECTIONS

Aluminum-Clad Wood



Scale 3" = 1' 0"

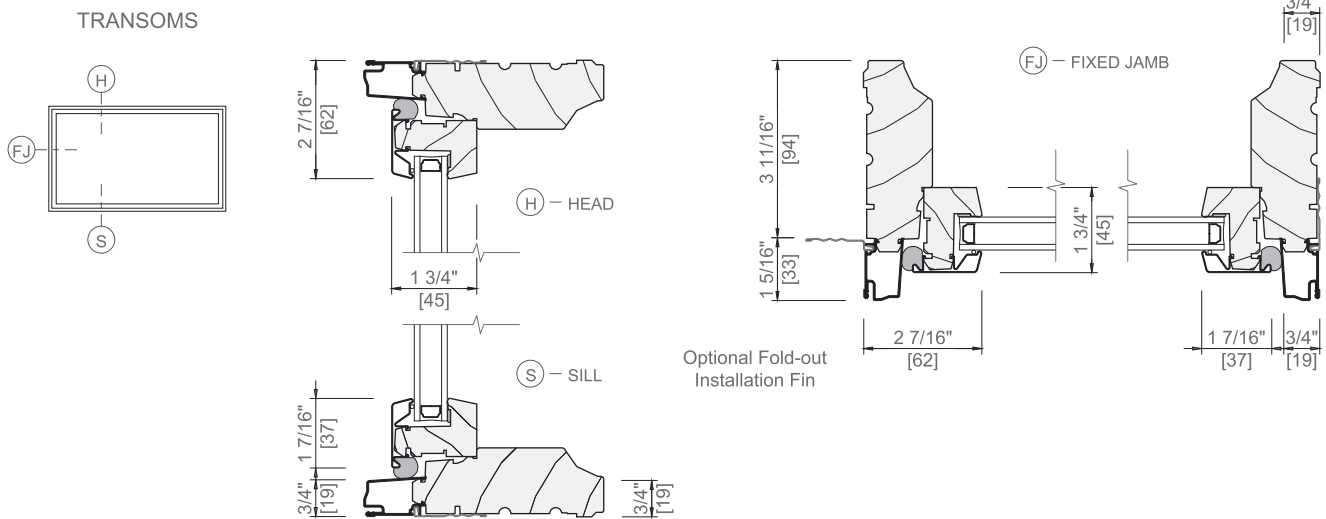
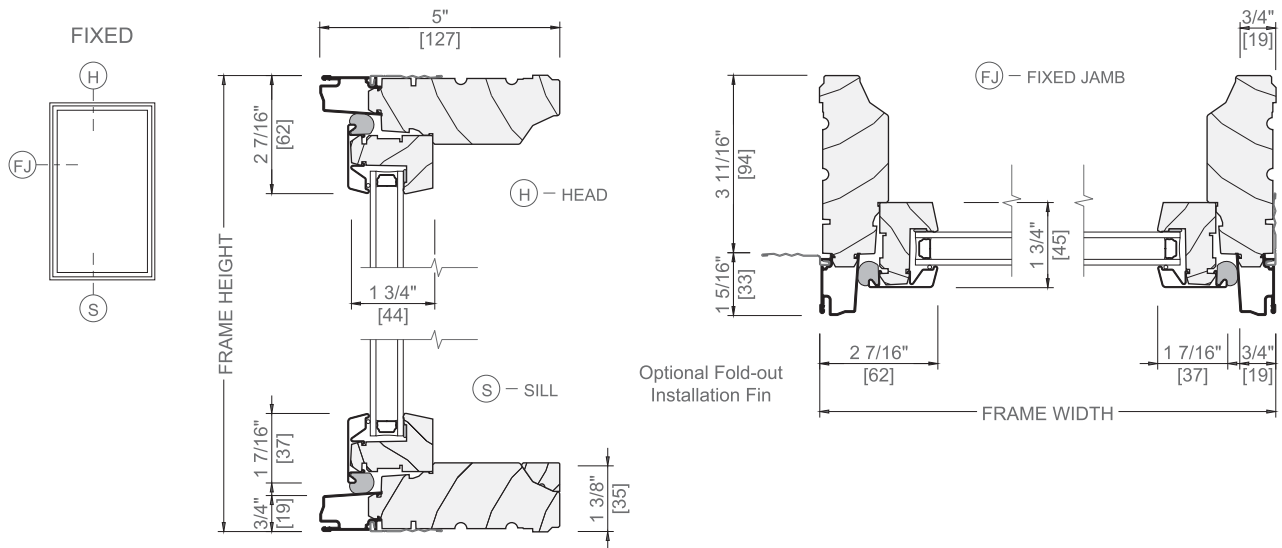
All dimensions are approximate.



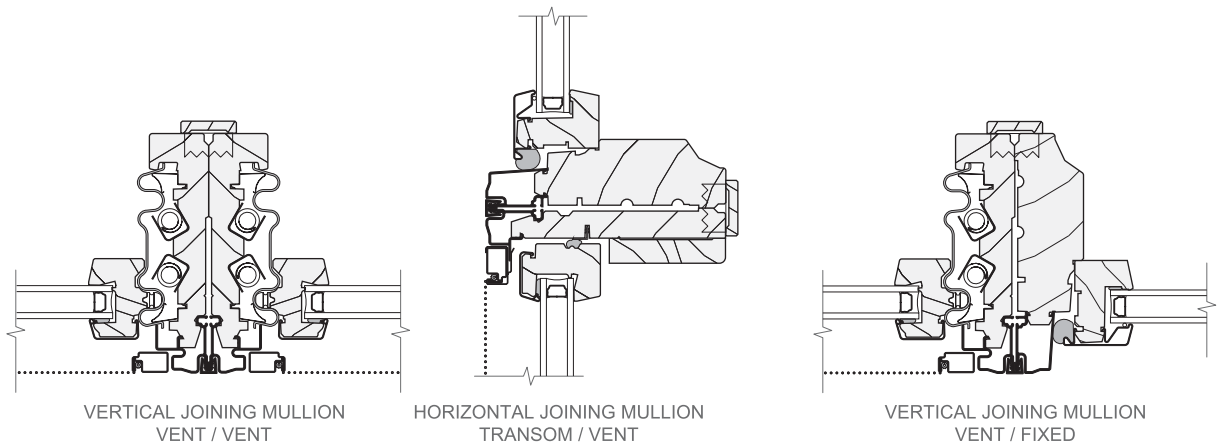
DOUBLE-HUNG

UNIT SECTIONS

Aluminum-Clad Wood



TYPICAL JOINING MULLIONS



Scale 3" = 1' 0"

All dimensions are approximate.

See Installation and Performance at www.PellaADM.com for mullion limitations and reinforcing requirements.



Contract - Detailed

Pella Window and Door Showroom of Beltsville
12100 Baltimore Avenue Suite 1
Beltsville, MD 20705-1363
Phone: (301) 957-7000 Fax: (301) 210-9542

Sales Rep Name: Kowalski, John
Sales Rep Phone: 410-303-6694
Sales Rep Fax: 240-554-2528
Sales Rep E-Mail: jkowalski@pellamidatlantic.com

Customer Information	Project/Delivery Address	Order Information
Ben Norkin Architecture 7204 Trescott Ave Takoma Park, MD 20912-6404 Primary Phone: (301) 555-1212 Mobile Phone: Fax Number: E-Mail: ben@bennorkinarchitecture.com Contact Name: Great Plains #: 1005076372 Customer Number: 1009035273 Customer Account: 1005076372	Hopkins Renovation 7309 Piney Branch Road Lot # TAKOMA PARK, MD 20912 County: MONTGOMERY Owner Name: Ben Norkin Architecture Owner Phone: (301) 555-1212	Quote Name: Hopkins Renovation Order Number: 060 Quote Number: 11045799 Order Type: Non-Installed Sales Wall Depth: Payment Terms: C.O.D. Tax Code: MARYLAND8 Cust Delivery Date: None Quoted Date: 2/15/2019 Contracted Date: Booked Date: Customer PO #:

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
10	E	ProLine, 3-Wide Double Hung, 118.5 X 47.5, White	\$1,679.30	1	\$1,679.30



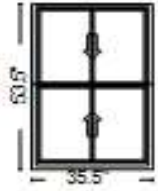
PK #
2027

Viewed From Exterior

1: 35.547.5 Double Hung, Equal
 Frame Size: 35 1/2 X 47 1/2
 General Information: Clad, 5", 3 11/16", No Certification
 Exterior Color / Finish: Standard Enduraclad, White
 Interior Color / Finish: Prefinished White Paint Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP
 Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 1: AlignedWith, 6"
 2: 35.547.5 Double Hung, Equal
 Frame Size: 35 1/2 X 47 1/2
 General Information: Clad, 5", 3 11/16", No Certification
 Exterior Color / Finish: Standard Enduraclad, White
 Interior Color / Finish: Prefinished White Paint Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP
 Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 2: AlignedWith, 6"
 3: 35.547.5 Double Hung, Equal
 Frame Size: 35 1/2 X 47 1/2
 General Information: Clad, 5", 3 11/16", No Certification
 Exterior Color / Finish: Standard Enduraclad, White
 Interior Color / Finish: Prefinished White Paint Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP
 Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 1: AlignedWith, 6"
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella
 Recommended Clearance, Perimeter Length = 332".

Rough Opening: 36 - 1/4" X 48 - 1/4"

Line #	Location:	Attributes		
15	F	ProLine, Double Hung, 35.5 X 53.5, White	<u>Item Price</u>	<u>Qty</u>
			\$591.10	1
				<u>Ext'd Price</u>
				\$591.10

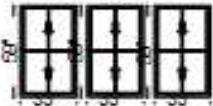


Viewed From Exterior

PK #
2027

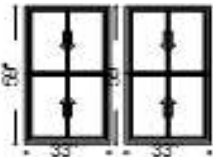
1: 35.553.5 Double Hung, Equal
Frame Size: 35 1/2 X 53 1/2
General Information: Clad, 5", 3 11/16", No Certification
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella
Recommended Clearance, Perimeter Length = 178".

Rough Opening: 36 - 1/4" X 54 - 1/4"

Line #	Location:	Attributes		
20	B	ProLine, 3-Wide Double Hung, 111 X 59, White		
			<u>Item Price</u>	<u>Qty</u>
			\$1,757.56	1
				<u>Ext'd Price</u>
				\$1,757.56
		 <p>PK # 2027</p> <p>Viewed From Exterior</p> <p>1: 3359 Double Hung, Equal Frame Size: 33 X 59 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08 11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only) Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 1: AlignedWith, 6" 2: 3359 Double Hung, Equal Frame Size: 33 X 59 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08 11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only) Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 2: AlignedWith, 6" 3: 3359 Double Hung, Equal Frame Size: 33 X 59 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08 11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only) Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 1: AlignedWith, 6" Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 340".</p>		

Rough Opening: 33 - 3/4" X 59 - 3/4"

Line #	Location:	Attributes		
25	A	ProLine, 2-Wide Double Hung, 72 X 59, White	<u>Item Price</u>	<u>Qty</u>
			\$1,171.71	1
				<u>Ext'd Price</u>
				\$1,171.71




PK #
2027

Viewed From Exterior

1: 3359 Double Hung, Equal
 Frame Size: 33 X 59
 General Information: Clad, 5", 3 11/16", No Certification
 Exterior Color / Finish: Standard Enduraclad, White
 Interior Color / Finish: Prefinished White Paint Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only)
 Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 1: AlignedWith, 6"
 2: 3359 Double Hung, Equal
 Frame Size: 33 X 59
 General Information: Clad, 5", 3 11/16", No Certification
 Exterior Color / Finish: Standard Enduraclad, White
 Interior Color / Finish: Prefinished White Paint Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only)
 Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 1: AlignedWith, 6"
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 262".

Rough Opening: 33 - 3/4" X 59 - 3/4"

Line #	Location:	Attributes		
30	D	ProLine, Double Hung, 33 X 59, White	<u>Item Price</u>	<u>Qty</u>
			\$585.85	1
				<u>Ext'd Price</u>
				\$585.85




Viewed From Exterior

PK #
2027

1: 3359 Double Hung, Equal
Frame Size: 33 X 59
General Information: Clad, 5", 3 11/16", No Certification
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Prefinished White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only)
Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 184".

Rough Opening: 33 - 3/4" X 59 - 3/4"

Line #	Location:	Attributes		
35	G	ProLine, 4-Wide Double Hung, 94 X 45.5, White	<u>Item Price</u>	<u>Qty</u> <u>Ext'd Price</u>
			\$1,940.01	1 \$1,940.01
		<p>PK # 2027</p> <p>Viewed From Exterior</p> <p>1: 23.545.5 Double Hung, Equal Frame Size: 23 1/2 X 45 1/2 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20</p> <p>2: 23.545.5 Double Hung, Equal Frame Size: 23 1/2 X 45 1/2 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20</p> <p>3: 23.545.5 Double Hung, Equal Frame Size: 23 1/2 X 45 1/2 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 3: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20</p> <p>4: 23.545.5 Double Hung, Equal Frame Size: 23 1/2 X 45 1/2 General Information: Clad, 5", 3 11/16", No Certification Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20</p>		

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella
Recommended Clearance, Perimeter Length = 279".

Rough Opening: 94 - 3/4" X 46 - 1/4"

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
40	None Assigned	TRFUELSURCHARGE - Fuel Surcharge - TRADE	\$25.00	1	\$25.00

Thank You For Purchasing Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at Insynctive.pella.com. By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC). Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

Pella Mid-Atlantic, Inc.

CONTRACT:

This contract constitutes the sole and complete agreement between the purchaser and Pella Mid-Atlantic, Inc. the seller, and is subject to additional charges should changes be required. No statement, representation or agreement written or verbal, not appearing on the face of this Contract is binding on the seller. This contract is binding upon the seller only upon acceptance by an authorized executive of the company at the home office. All agreements are subject to prior sale, government regulations and requirements. If contract is not approved the purchaser will be notified within fourteen (14) days of contract date, otherwise the same is automatically approved. The seller will not be responsible for delays due to labor troubles, fire, accidents, transportation, or other causes beyond its control.

MATERIALS TO BE FURNISHED:

Contract is based upon quantities, unit sizes, and unit numbers as sketched and listed on enclosed proposal, as well as equipment and fittings as specified. Drawings are as viewed from the exterior. Purchaser should carefully check quantities, sizes, and specifications. Standard jamb extension is applied, unless otherwise noted. The products ordered in this contract will be made and assembled to these specific requirements, and therefore this order is not cancelable, and these units may not be returned without a charge to be determined by the seller. All Pella wood windows and sliding glass doors are factory primed on the exterior (excludes Mahogany). Units with wood exterior, assembled by the seller will include: standard brickmould, subsill and outside mullion covers (unless otherwise noted herein).

DELIVERY:

CUSTOMER MUST FURNISH HELP TO UNLOAD AT TIME OF DELIVERY. Customer is responsible for checking the material upon arrival. Any shortage or damage must be noted on the delivery/packing list. No claims will be considered unless seller is notified within seventy-two (72) hours from the date of delivery. Customer is responsible for furnishing map to job site. Seller will deliver the goods covered by this contract within a reasonable time from the date of contract ratification, unless otherwise expressly stated in this written contract.

Anticipated Delivery Date: _____

PAYMENT TERMS:

100% payment is due upon the execution of this Agreement.

Alternatively, a 50 % Deposit must be made upon execution of this Agreement.

(Internal Use Only): 50% Deposit in the amount of \$_____ received on __ day of _____ 20__.

If a 50% deposit is made, the 50% remaining balance must be received from Purchaser not less than two days prior to Anticipated Delivery Date. Purchaser must make payment by credit card (no checks will be accepted).

(Internal Use Only): 50% Balance received \$_____ on __ day of _____ 20__.

NET 30 DAYS (if applicable): Net 30 day terms are subject to approval by Pella Mid-Atlantic, Inc. of customer's credit. A one and one half percent (1 1/2 %) per month (annual percentage rate of eighteen percent) late charge will apply to all payments over thirty (30) days past due computed on the basis of the balance outstanding at the end of each monthly statement period. A one and one half percent (1 1/2 %) per month (annual percentage rate of eighteen percent) late charge will apply to all payments over thirty (30) days past due computed on the basis of the balance outstanding at the end of each monthly statement period.

SELLER REMEDIES:

Seller reserves a security interest in the goods sold pursuant to this contract under the applicable provisions of article 9 -Secured Transactions-Uniform Commercial Code. Seller further reserves the right to perfect and enforce any statutory lien, including any mechanic's contractor's or materialmen's lien, arising under local law to secure payment of the account debt arising under this contract. In the event Seller employs an attorney-at-law after Buyer has defaulted in its payment as agreed under the terms of this contract, then Buyer shall pay Seller a collection fee in a fixed and stipulated sum equal to twenty percent (20%) of the outstanding principal account balance at time of buyers default, or two thousand five hundred dollars (\$2,500.00), whichever is greater, together with any court or litigation costs incurred by seller in collecting the account debt arising under this contract.

LIMITATION OF WARRANTIES AND DAMAGES:

Seller expressly warrants the goods sold under this contract will be as described in this contract. **ALL OTHER WARRANTIES, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, ARE EXPRESSLY DISCLAIMED.** Buyer's remedy for breach shall be limited to replacement of the goods sold or to a return of the goods and a refund of their purchase price, at Buyer's option, which shall be the Buyer's sole remedy in the event of seller's breach in the performance of this contract. Seller shall not be liable for any consequential or incidental damages for breach of any warranty.

☐ Project Checklist has been reviewed

Customer Name (Please print)

Pella Sales Rep Name (Please print)

Customer Signature

Pella Sales Rep Signature

Date

Date

Credit Card Approval Signature**Order Totals**

Taxable Subtotal	\$7,725.53
Sales Tax @ 6%	\$463.53
Non-taxable Subtotal	\$25.00
Total	\$8,214.06
Deposit Received	
Amount Due	\$8,214.06