

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	507 Philadelphia Ave., Takoma Park	Meeting Date:	2/27/2019
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/20/2019
Applicant:	Dan Goodman	Public Notice:	1/31/2019
Case Number:	37/03-19F	Tax Credit:	n/a
Review:	HAWP	Staff:	Dan Bruechert
Proposal:	Partial Demolition and Building Addition		

RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
STYLE: Tudor Revival
DATE: c.1930s

The subject property is a one-story, brick building with a complex form, Tudor details, and a front-projecting gable. The house has multi-lite casement windows throughout. The historic district terminates at the rear property boundary.

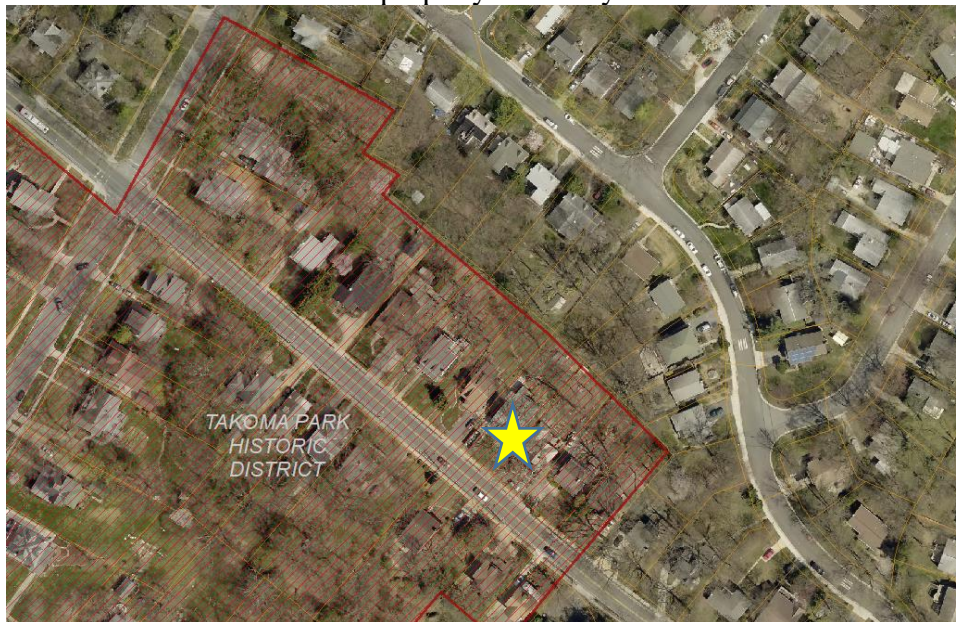


Figure 1: 507 Philadelphia Ave.

PROPOSAL

The applicant proposes to construct a one-story addition to the rear. A portion of the rear addition will include a half-story on the second floor that extends the upstairs living space. This half-story will not extend over the entirety of the one-story addition per the attached plans. The addition includes a rear deck.

APPLICABLE GUIDELINES

Takoma Park

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes to construct an addition on the rear of the subject property. The proposed addition has a bedroom and living room on the ground floor with a new bedroom in the 2nd floor. The addition will be constructed on wood piers with wood lap siding that matches the wood siding in the side and rear-facing gable. No trees will be impacted by the current proposal, though the applicant is aware that care must be taken with one tree in the rear.

Staff will evaluate this addition in three parts: the flat-roof (northwest addition) section, the one-and-a-half story rear gable section, and the rear deck. Staff finds that overall the proposal is appropriate, though the HPC may have specific comments.

The flat roof section in the northwest corner of the house will be co-planer to the historic wall plane with wood lap siding matching the siding in the west-facing gable with clerestory windows. It will be constructed on 8" × 8" (eight-inch square) wood piers. The addition proposes to continue the historic eave height and will have a flat roof.



Figure 2: The proposed addition will project along the west (left) wall plane, but due to the narrow setback is only visible from a restricted vantage point.

The rear elevation of the addition faces outside of the district and has a low wall with casement windows with transom windows above matching the clerestory.

As this building is categorized Non-Contributing to the Takoma Park Historic District, Staff finds that the materials and window details do not impact the size or scale of the building from the public right-of-way. Staff finds that the co-planer location of the western wall is appropriate. Typically, additions are required to be inset from the historic wall plane to differentiate the new from the historic. Because the building is categorized as Non-Contributing and the primary concerns are scale and massing, Staff finds that the co-planer wall will not impact the scale of the house and it is toward the rear to a degree that it will not impair the character of the surrounding district. Additionally, Staff finds that the change in exterior material sufficiently differentiates the new construction from the historic. Staff finds that the flat roof form is acceptable in this location as it retains the expression of the historic rear-orientated hipped-roof. The applicant proposes to use Pinnacle wood clad windows and doors throughout the new construction (details attached to the application). Staff finds that a clad product is appropriate for the new fenestration and will not detract from the streetscape or the historic character of the house.

The next section of the addition will be one-and-a-half stories tall, built on wood piers, with wood lap siding matching the western wall discussed above. The roof of this section of the addition continues the slate rear-facing gable roof and has a flat roof section added on the western side with a large flat-roof dormer on the east side with a multi-lite casement window. This section of the rear addition will be inset from the historic wall plane, leaving a rear casement window and existing basement access door uncovered. As this is classified as Non-Contributing, most changes that aren't visible from the right-of-way are to be approved as a matter of course. The only portion of this addition that will be visible from the public right of way is a small section of the east-facing, flat-roofed dormer. Staff finds that while this change does alter the massing of the addition, it is not to a sufficient degree to impair the historic character of the district as a whole.

Finally, the applicant proposes constructing a rear deck. The deck and railing will be pressure treated wood with horizontal ‘pickets.’ The deck will be supported by wood piers. A portion of the deck will be visible from the public right-of-way, see drawing A007 and the photo below. Staff finds this deck will have only a minimal visual impact from the public right of way and will not impair the district’s character, per the *Guidelines*. Staff recommends approval of this HAWP.



Figure 3: From the east (right) side of the house, the new deck will be partially visible from the right-of-way.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve** the HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: anne@studiocrowkyhall.com Contact Person: Anne Crowky
Daytime Phone No.: 202.387.3003

Tax Account No.: _____
Name of Property Owner: Jan Goodman Daytime Phone No.: 301.460.4134
Address: 537 Philadelphia Avenue Takoma Park MD 20912
Street Number City State Zip Code
Contractor: Mark Gokczynski Phone No.: 240.401.8410

Contractor Registration No.: _____
Agent for Owner: ANNE CROWKY Daytime Phone No.: 202.387.3003
Studio Crowky Hall, Pk

LOCATION OF BUILDING/PREMISE
House Number: 507 Street: Philadelphia Avenue
Town/City: Takoma Park Nearest Cross Street: _____
Lot: 37 Block: 72A Subdivision: 0025
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☒ A/C ☒ Slab ☒ Room Addition ☐ Porch ☒ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Dan Goodman & Shadi Houshgar 507 Philadelphia Avenue Takoma Park, MD 20912	Studio Chalkytall, LLC 1402 Mendenhall Place NW Washington, DC 20010
Adjacent and confronting Property Owners mailing addresses	
Randall Clark 505 Philadelphia Avenue Takoma Park, MD 20912	
Carl & Lauren Wilk 509 Philadelphia Avenue Takoma Park, MD 20912	
Marc & Meredith Santora 506 Philadelphia Avenue Takoma Park, MD 20912	

863885

17 January 2019

HAWP Application Responses

507 Philadelphia Avenue

Takoma Park, MD 20912

1. WRITTEN DESCRIPTION OF PROJECT

- a. The existing Tudor-style one-story brick house with loft and basement was built in 1933 and has remained largely unaltered since that time. It sits on an 8,125 SF wooded lot.
- b. The goal of this project is to create more useable living space for this family of five, but without significantly altering any of the historic features that are visible to public space. The one-story addition is at the rear of the house and the roof lines will tie into and be at the height of (or below) the existing roof lines. The addition will use finish materials which match or are compatible with the existing finish materials.

The project should have no impact on the environmental setting. It does get close to one large tree, but the contractor will coordinate as necessary to make sure that tree is protected.

2. SITE PLAN (see attached drawings)
3. PLANS & ELEVATIONS (see attached drawings)
4. MATERIALS SPECIFICATIONS (see attached drawings)
5. PHOTOGRAPHS (see attached drawings)
6. TREE SURVEY (see attached drawings)

507 Philadelphia Ave - Renovation and Addition

PROJECT DIRECTORY

ARCHITECT
Studio CrowleyHall, PLLC
1402 Meridian Place, NW
Washington, DC 20010
(202) 387 - 3003
info@studiocrowleyhall.com

OWNERS
Shadi Houshyar and Dan Goodman
507 Philadelphia Ave.
Takoma Park, Maryland 20912

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A0003 - FIRST FLOOR DEMOLITION
A0004 - SECOND FLOOR DEMOLITION
A0005 - BASEMENT PROPOSED
A0006 - FIRST FLOOR PROPOSED
A0007 - SECOND FLOOR PROPOSED

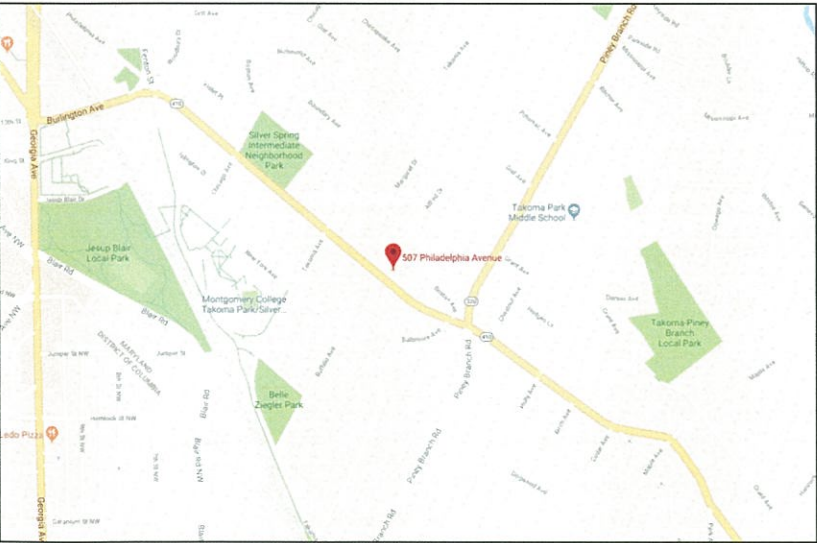
PROJECT INFO.

Existing single family masonry two story house. Work to include rear addition and general interior renovations.

GENERAL NOTES

1. All work and materials shall comply with all local and governing codes.
2. All work and materials shall be provided and installed by qualified personnel in a workmanklike manner.
3. All products shall be new, best of their kind and installed in accordance with manufacturer's instructions.
4. Owner shall be responsible for permits and fees associated with this work; Contractor shall be responsible for inspections.
5. Contractor shall verify existing conditions in field prior to submitting a bid or beginning construction. Should the Contractor find any discrepancies, omissions, ambiguities or conflicts within the Contract Documents, or should he be in doubt as to their meaning or intention, he should notify the Architect in writing for clarification prior to the contract to the beginning of work.
6. Contractor to coordinate work with Owner's subcontractors.
7. Contractor to coordinate all required utility work.
8. Contractor to maintain clean and secure premises at all times.
9. Do not scale drawings. Written dimensions on these drawings shall have precedence over scaled dimensions. Contact the Architect for dimensions and clarifications.
10. Plan dimensions are to finished face of walls, unless otherwise noted.
11. All dimensions shall be checked and verified by the Contractor prior to beginning the work. Notify the Architect of any discrepancies.
12. Contractor to follow strictly all manufacturer's written directions and recommendations when using or installing respective products.

LOCATION MAP



STUDIO
CROWLEY
HALL

Studio CrowleyHall, PLLC
1402 Meridian Place, NW
Washington, DC 20010
(202) 387-3003

Copyright 2019 Studio:
CrowleyHall, pllc : The drawings
and specifications--and the ideas,
designs and arrangements represented
thereby--are and shall remain property of
the architect. No part thereof shall be
copied, disclosed to others or used in
connection with any work or project or by
any other person for any purpose other
than for the specific project for which they
have been prepared and developed
without the written consent of the
architect. Visual contact with these
drawings or specifications shall constitute
conclusive evidence and acceptance of
these restrictions. Absent a written
agreement to the contrary, and strictly
conditioned on the full and timely
payment of all sums due to Architect
under this agreement, upon Architect's
delivery of sealed construction drawings
to client, Architect grants client a
nontransferable, nonexclusive right to
construct the building depicted in the
plans, once and only once, and only on
the site identified in the plans.



Shadi Houshyar

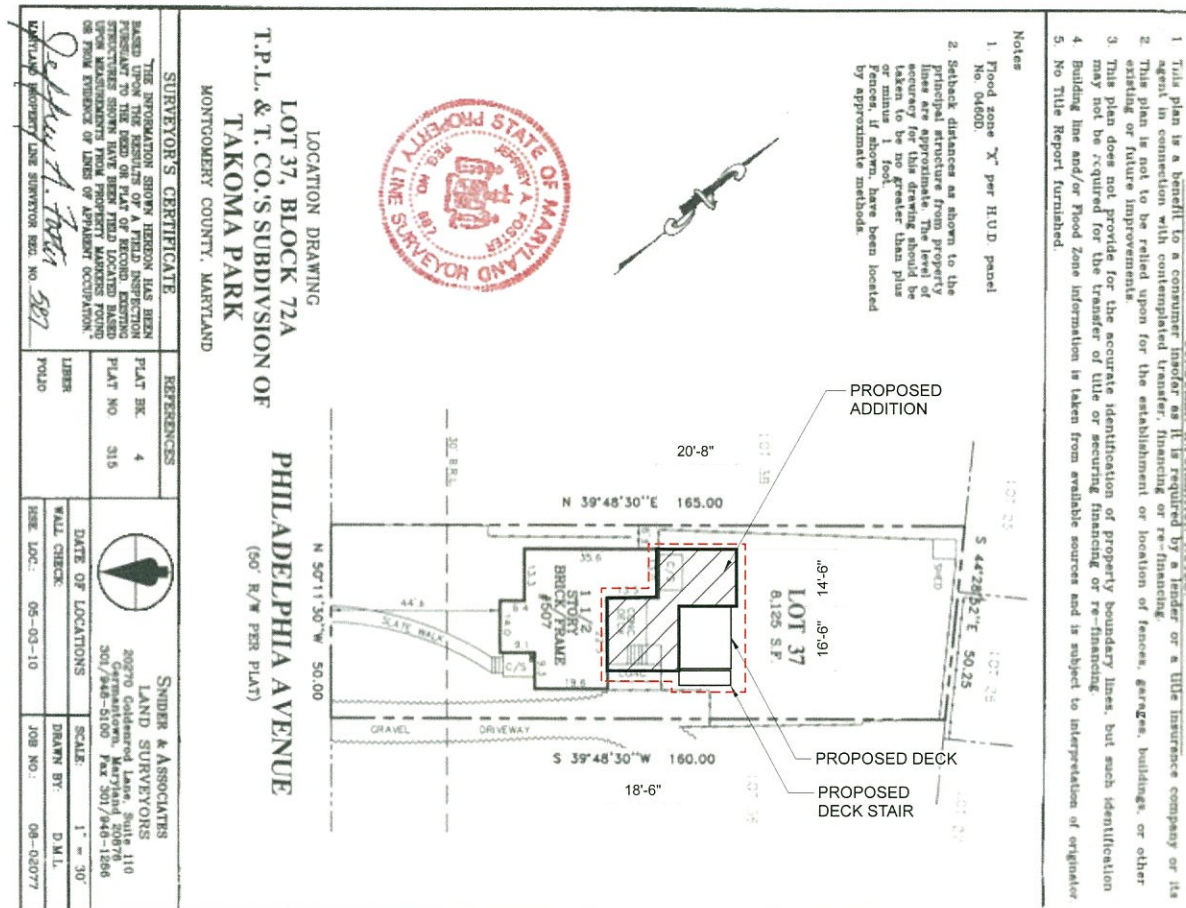
507 PHILADELPHIA AVE RENOVATION & ADDITION

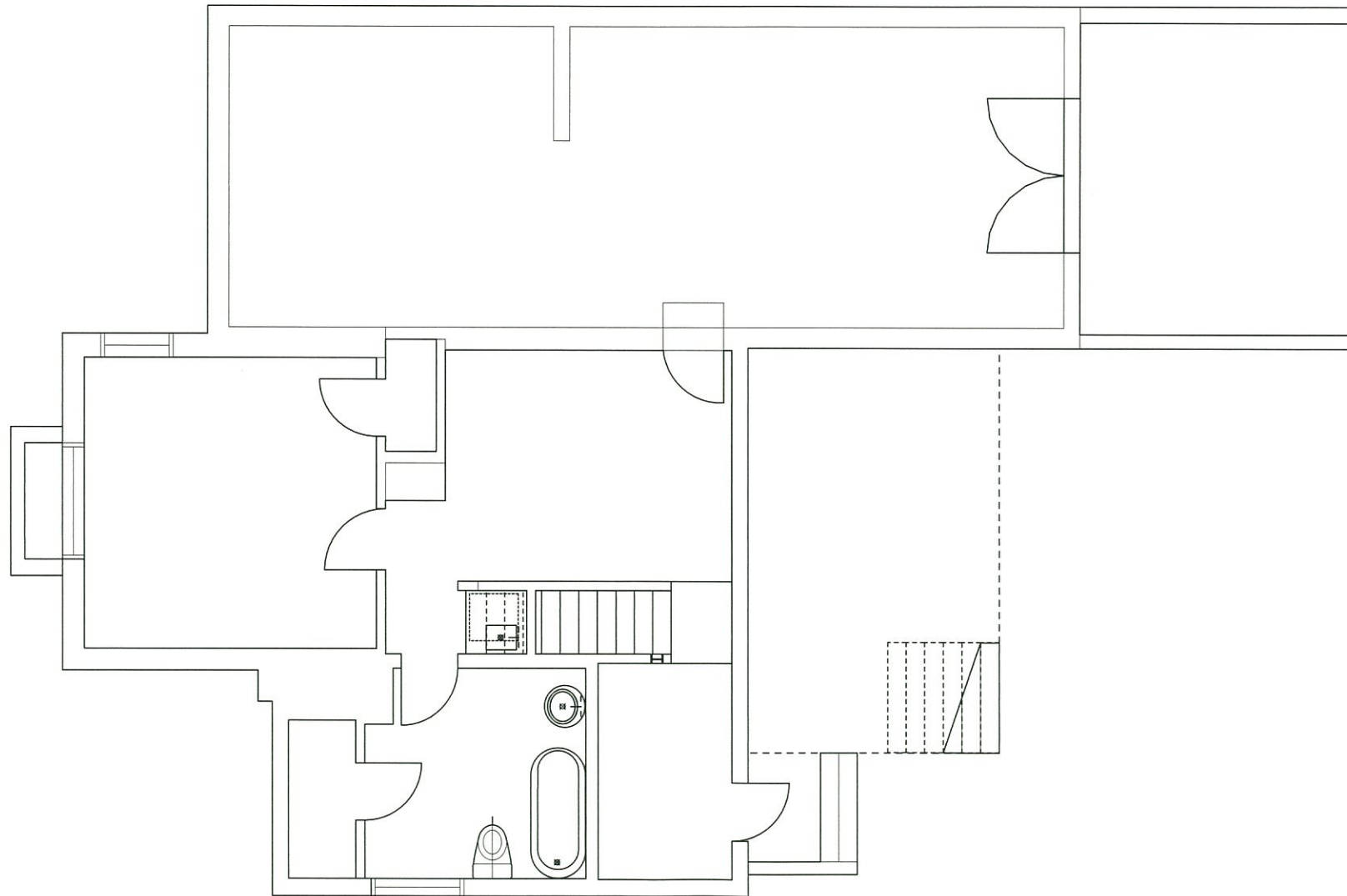
Shadi Houshyar and Dan Goodman
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Takoma Park, Maryland 20912

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COVER SHEET

A001





1
A003

BASEMENT EXISTING
SCALE: 1/4" = 1'-0"



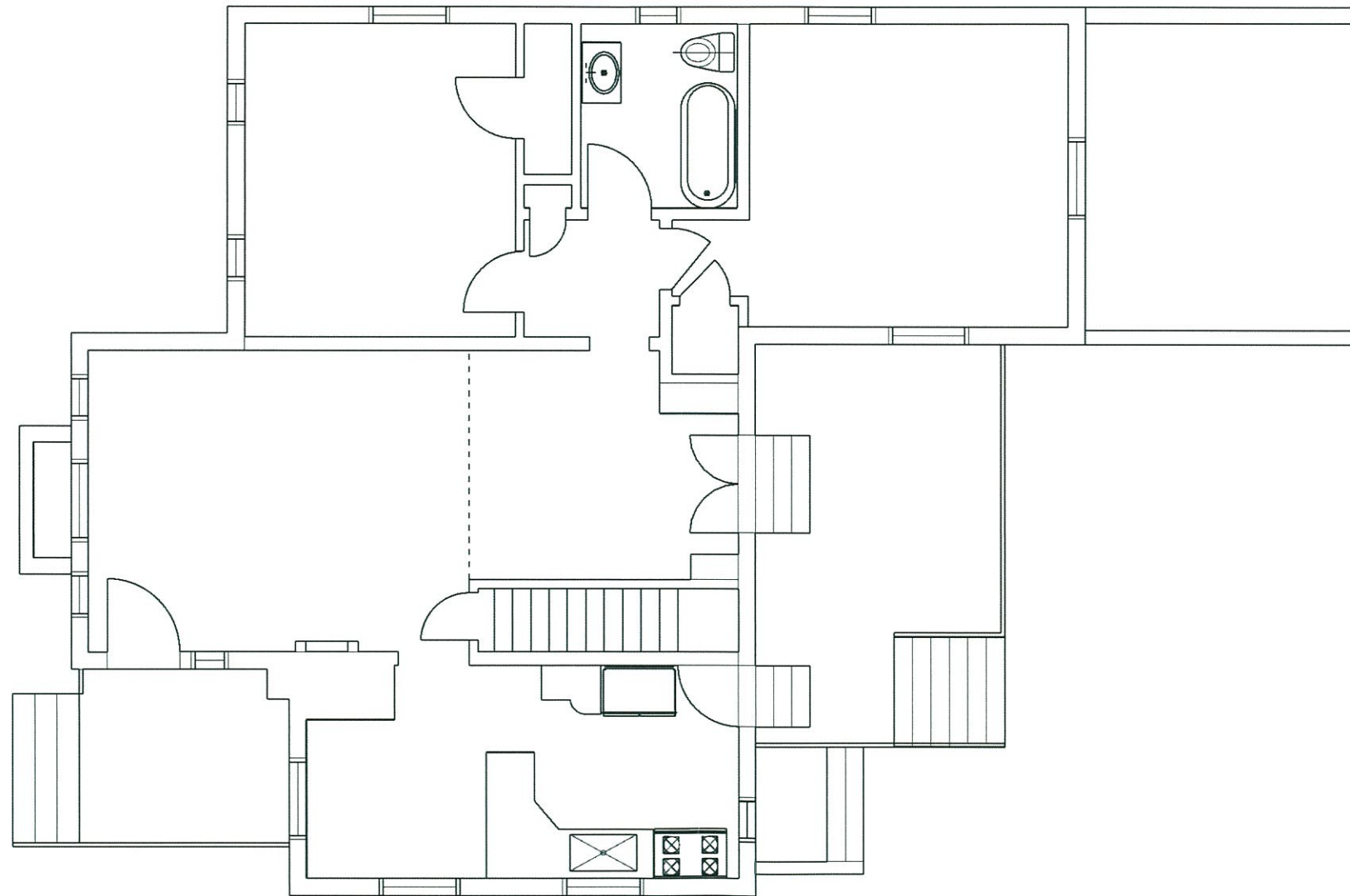
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**BASEMENT
EXISTING**



1
A004

FIRST FLOOR EXISTING
SCALE: 1/4" = 1'-0"

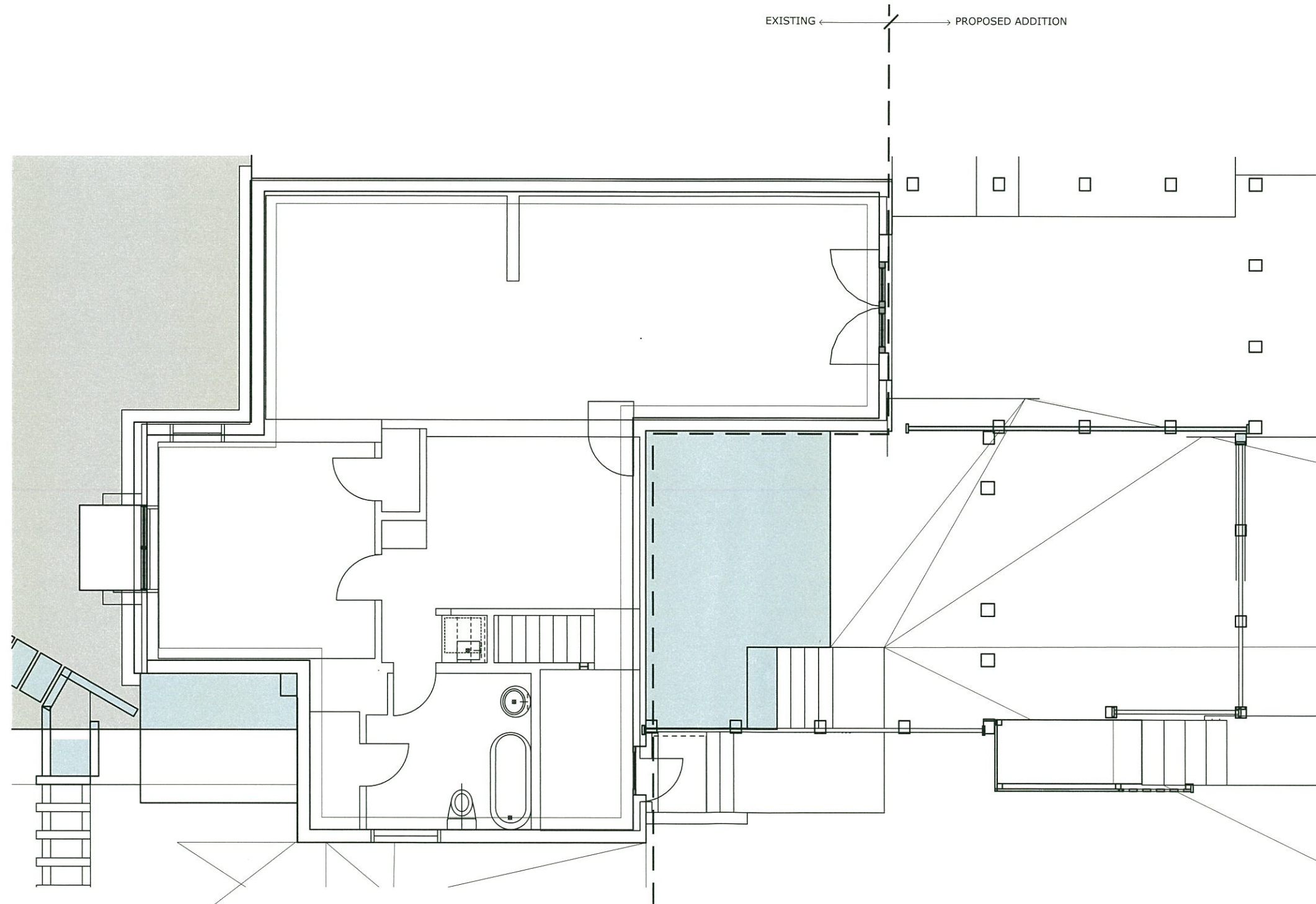


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**FIRST FLOOR
EXISTING**



1
A005
BASEMENT PLAN PROPOSED
SCALE: 1/4" = 1'-0"





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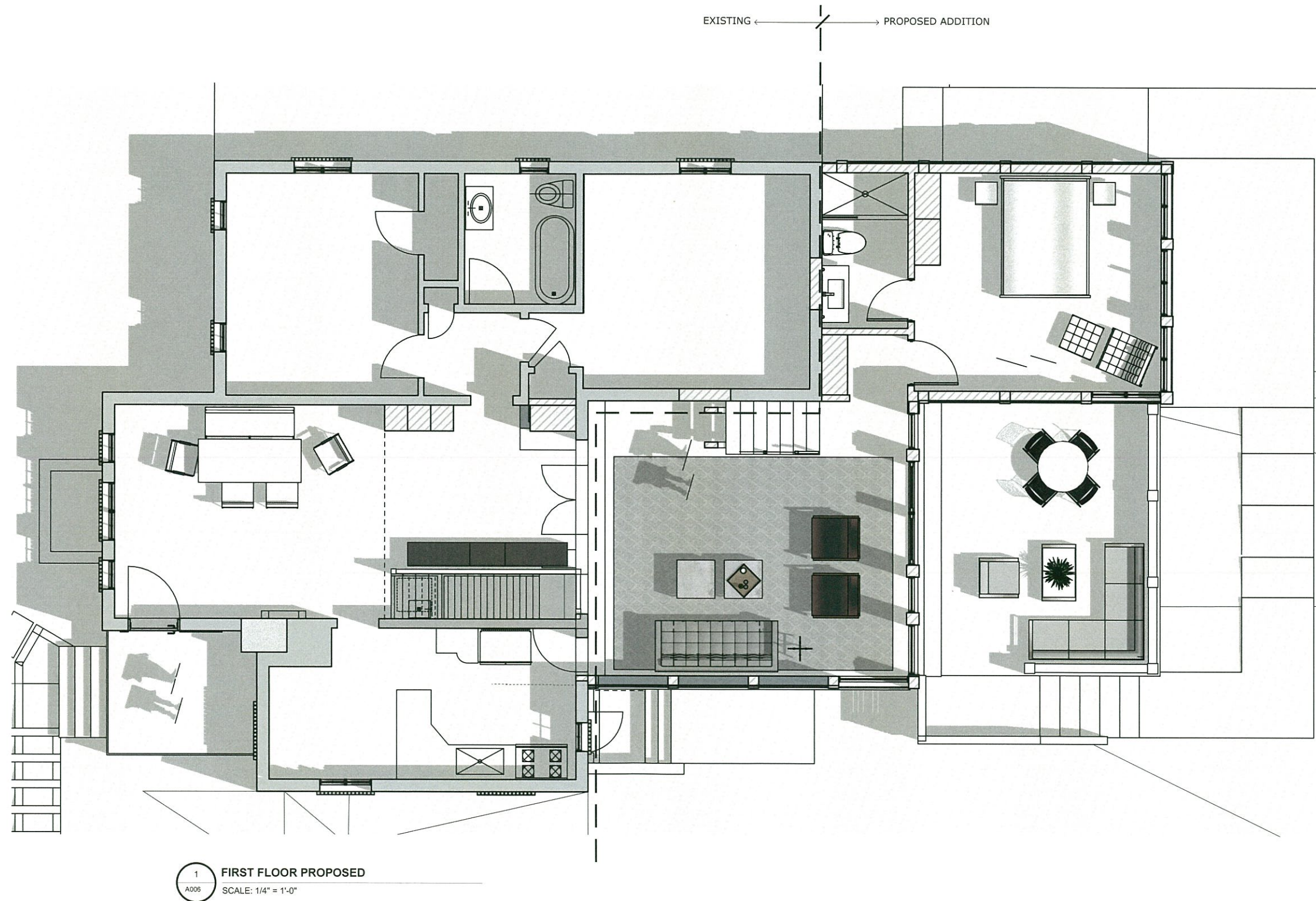
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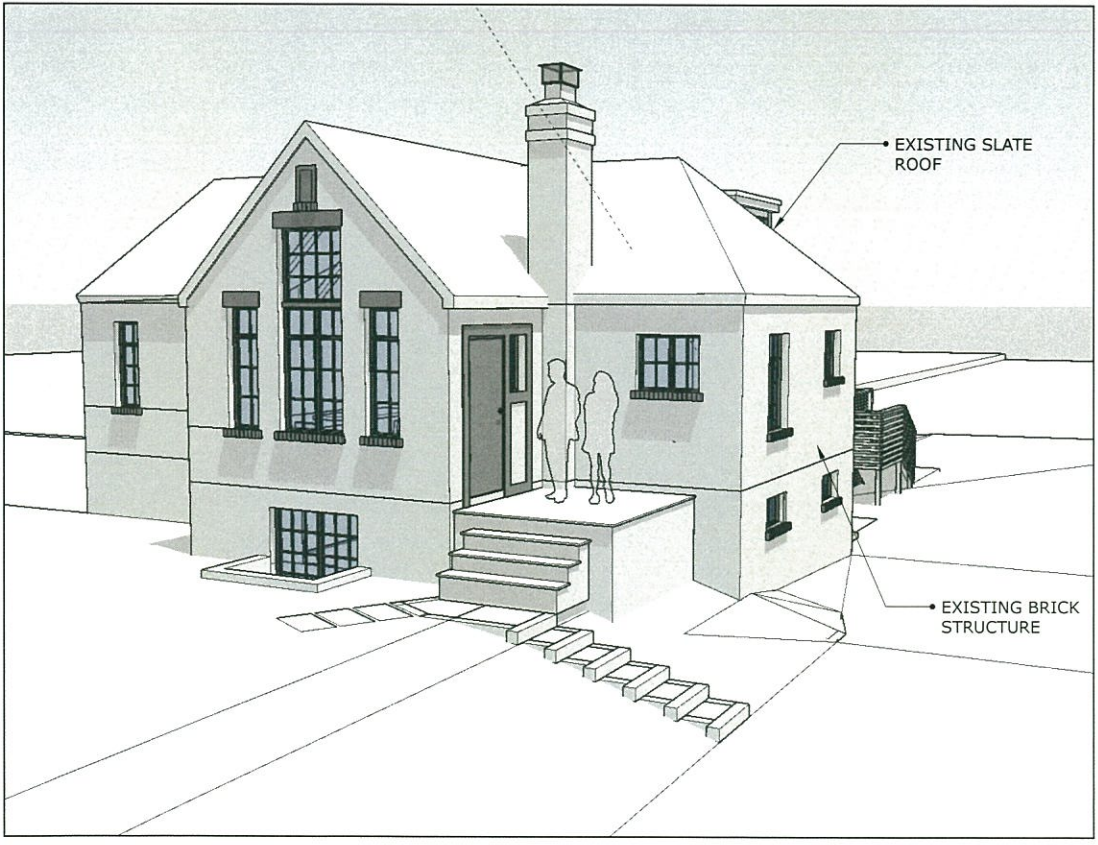
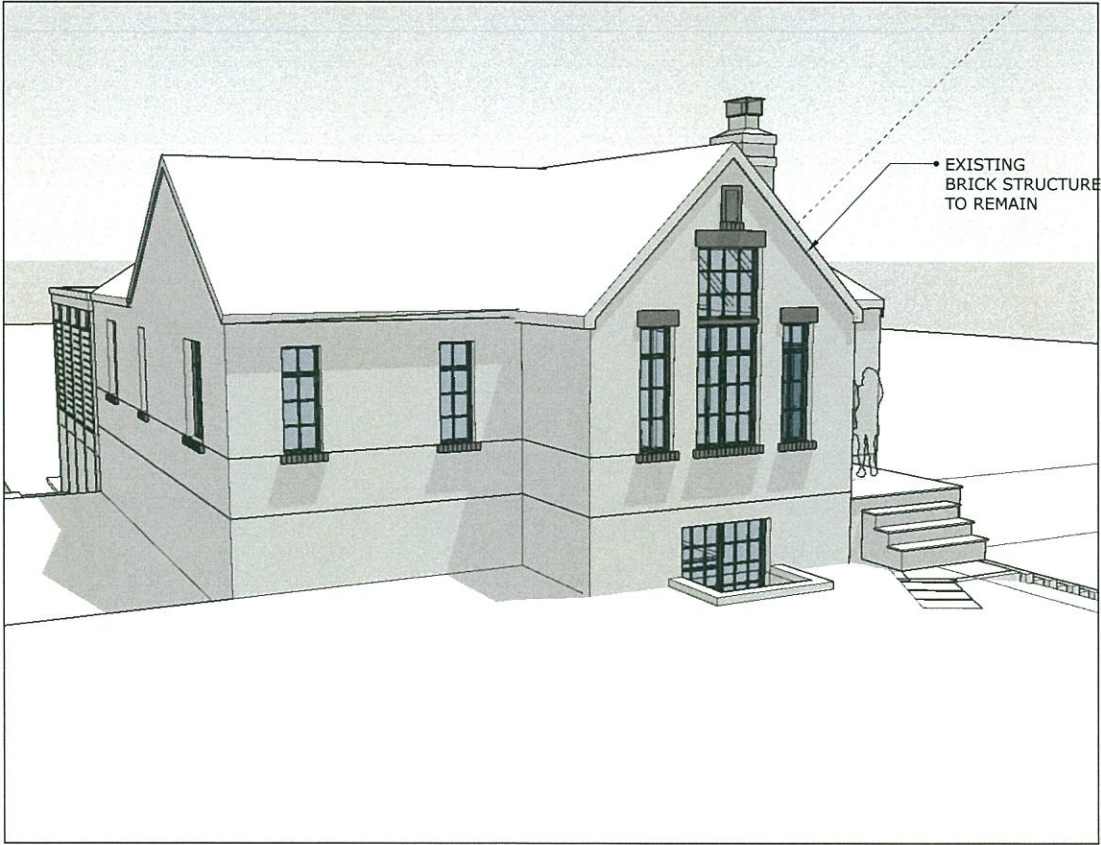
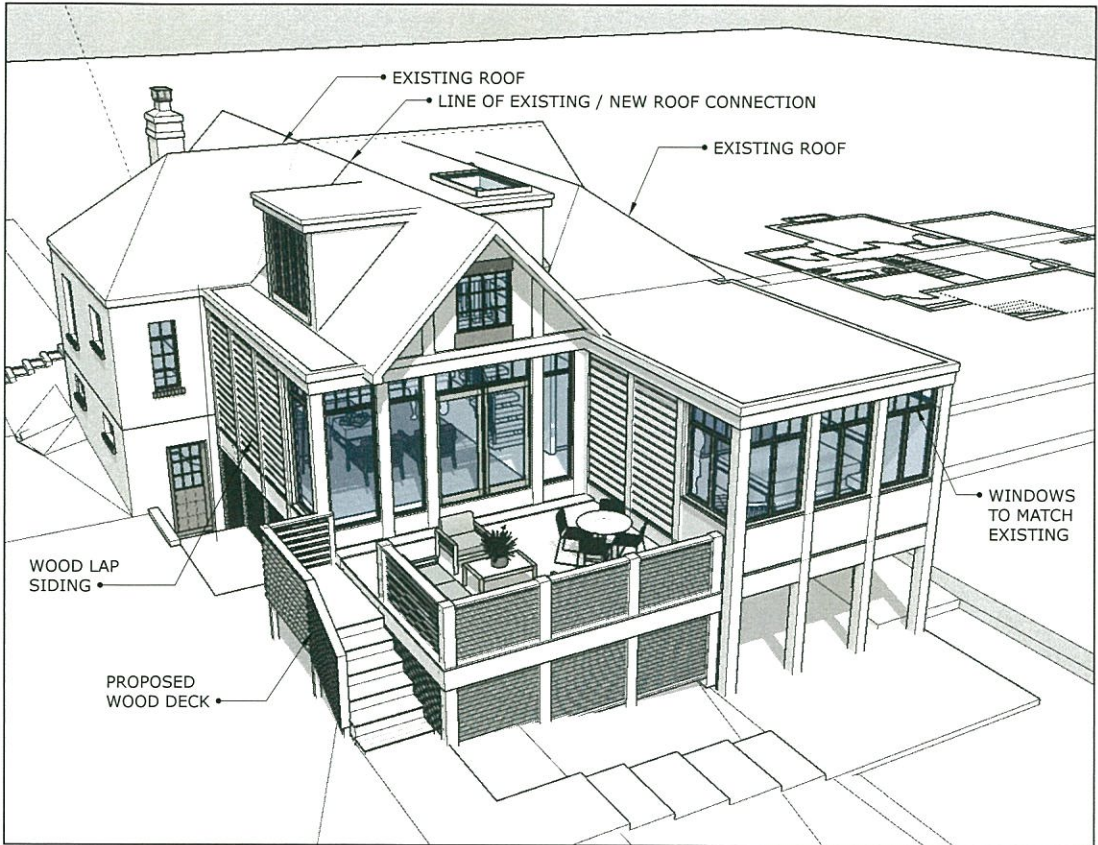
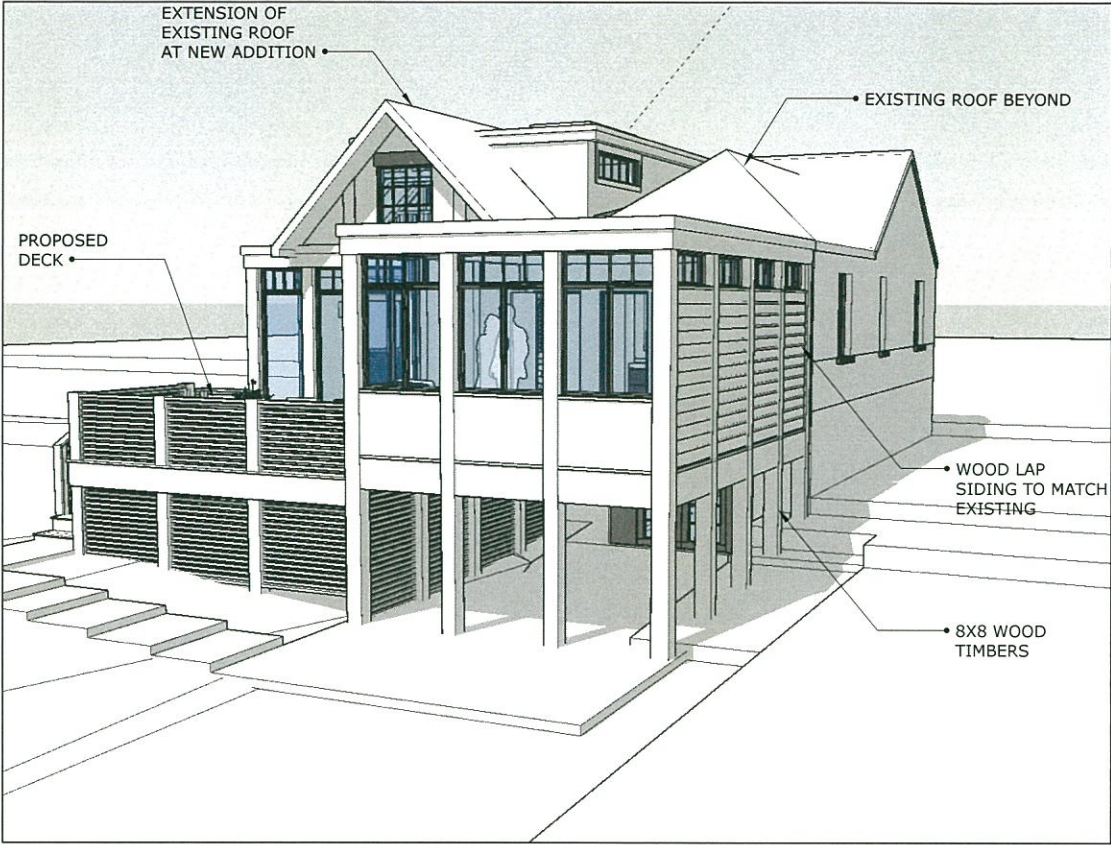
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**FIRST FLOOR
PROPOSED**

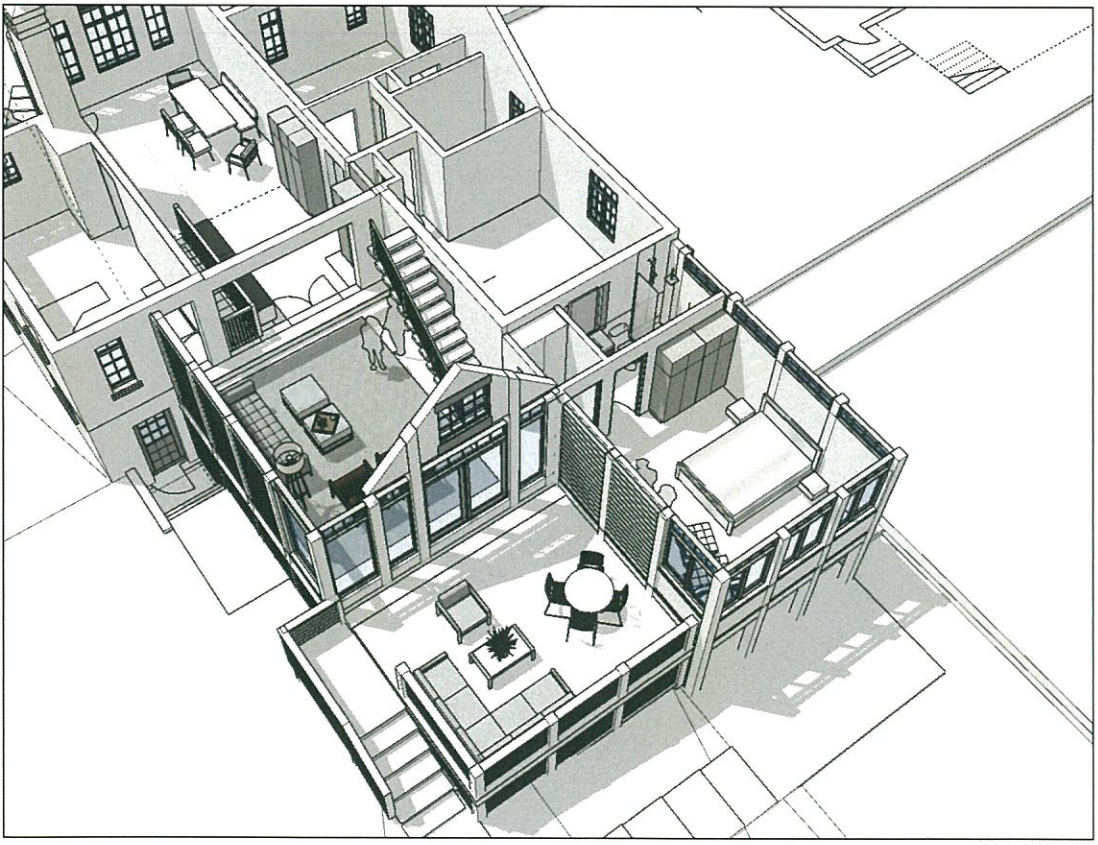
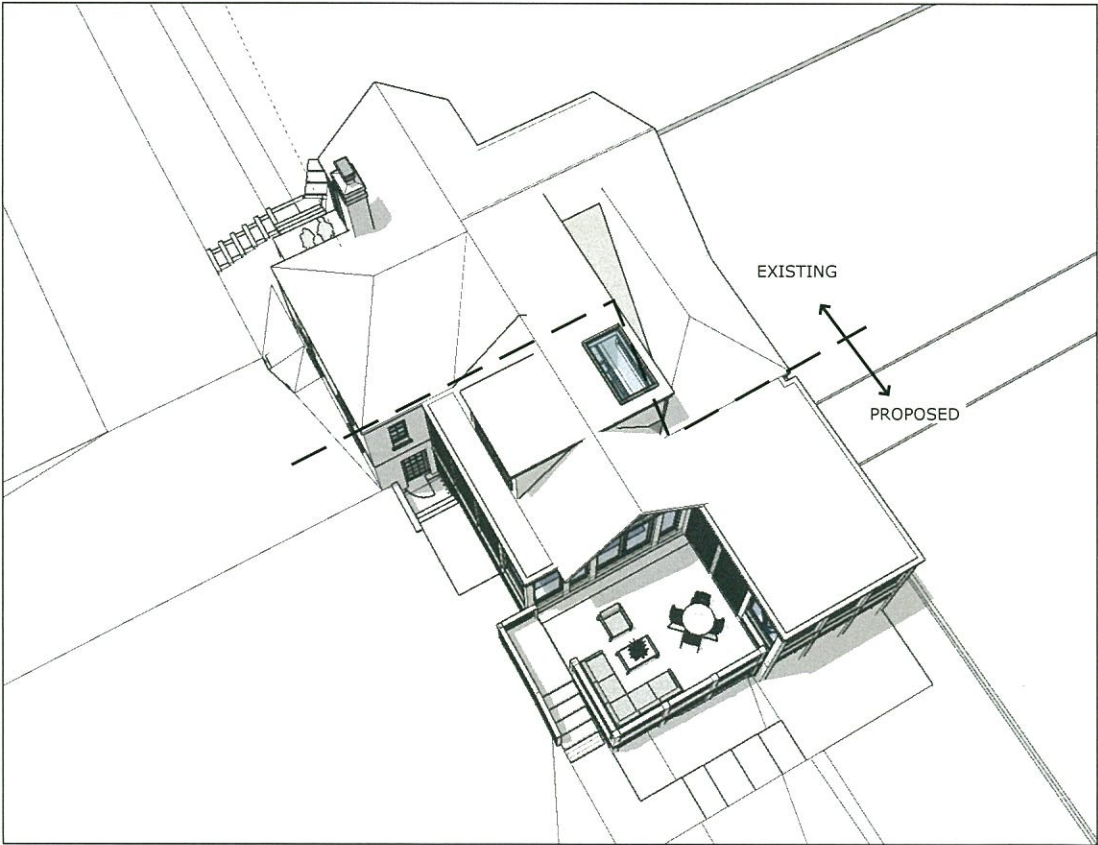
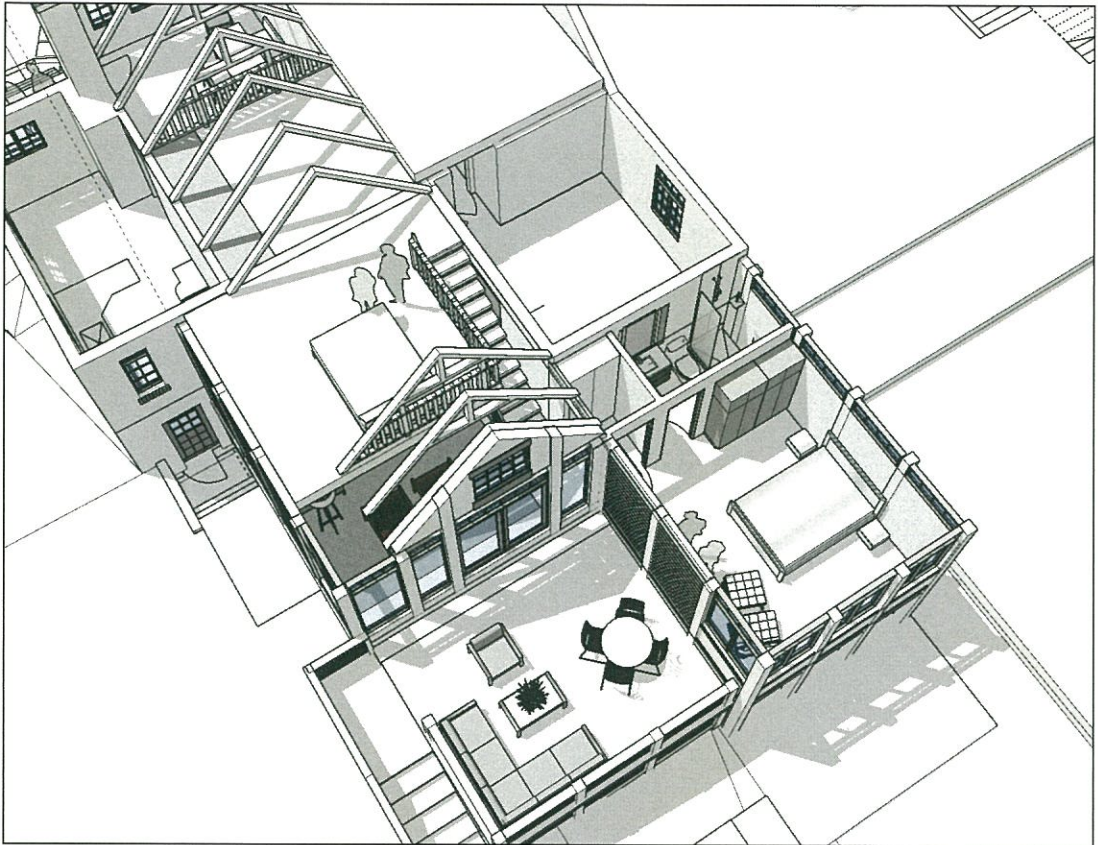
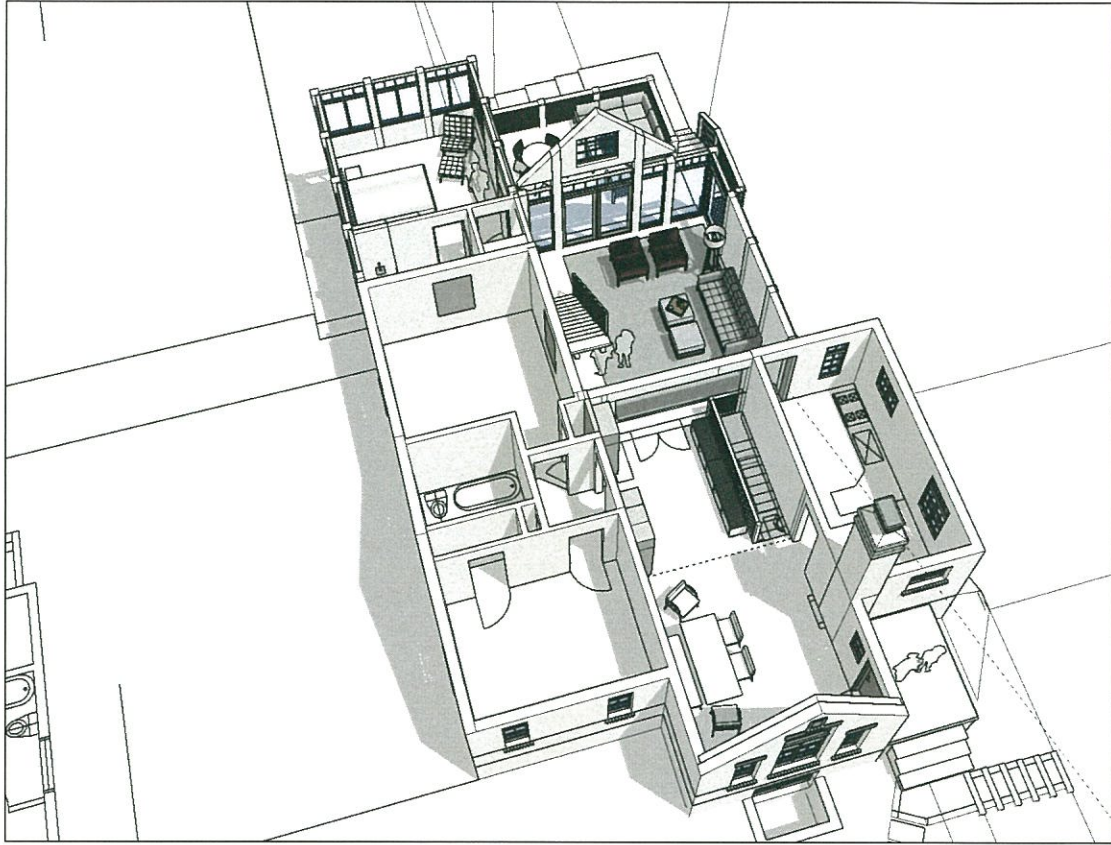
A006



1 FIRST FLOOR PROPOSED
A006 SCALE: 1/4" = 1'-0"



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ELEVATIONS



Andrew B. Crowley

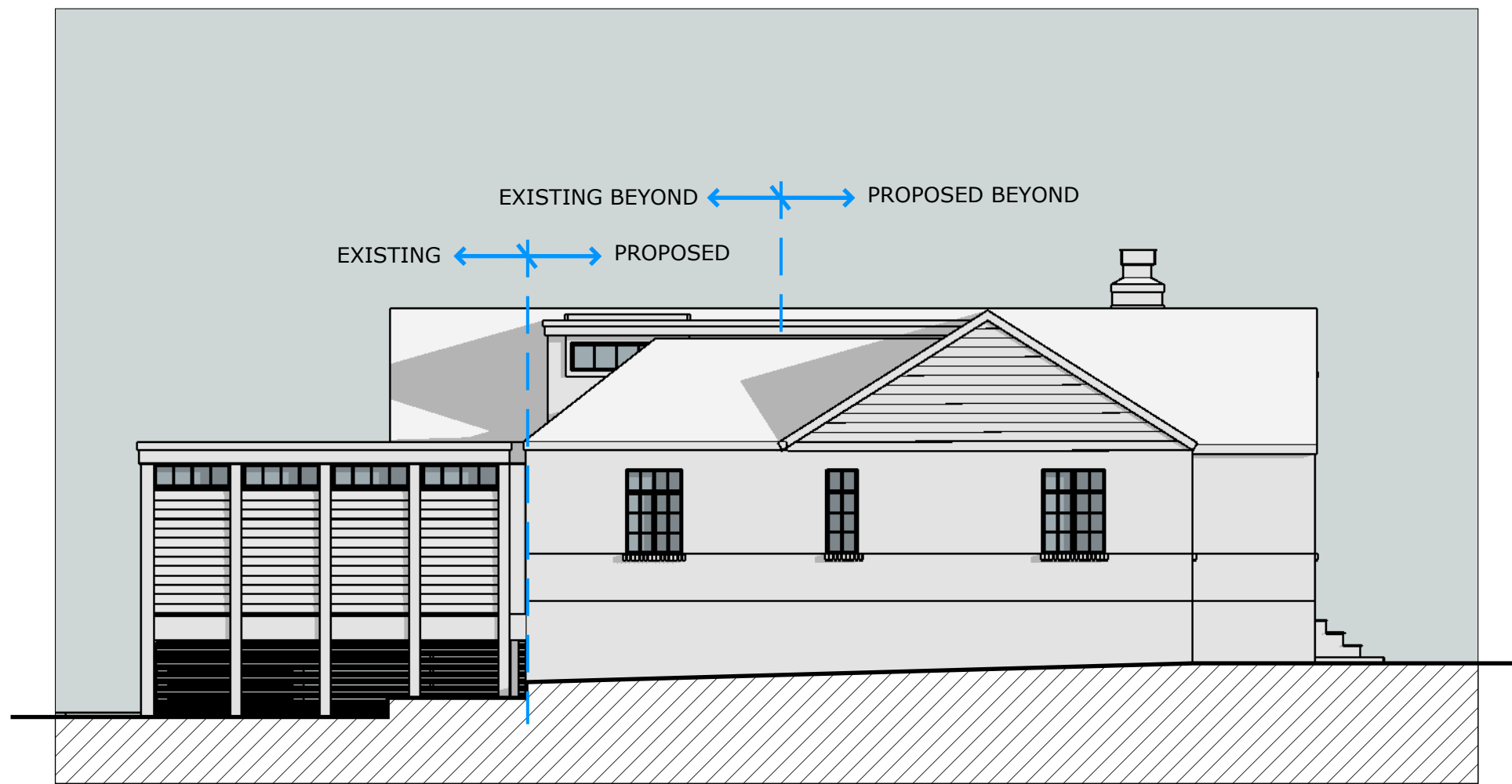
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ELEVATIONS

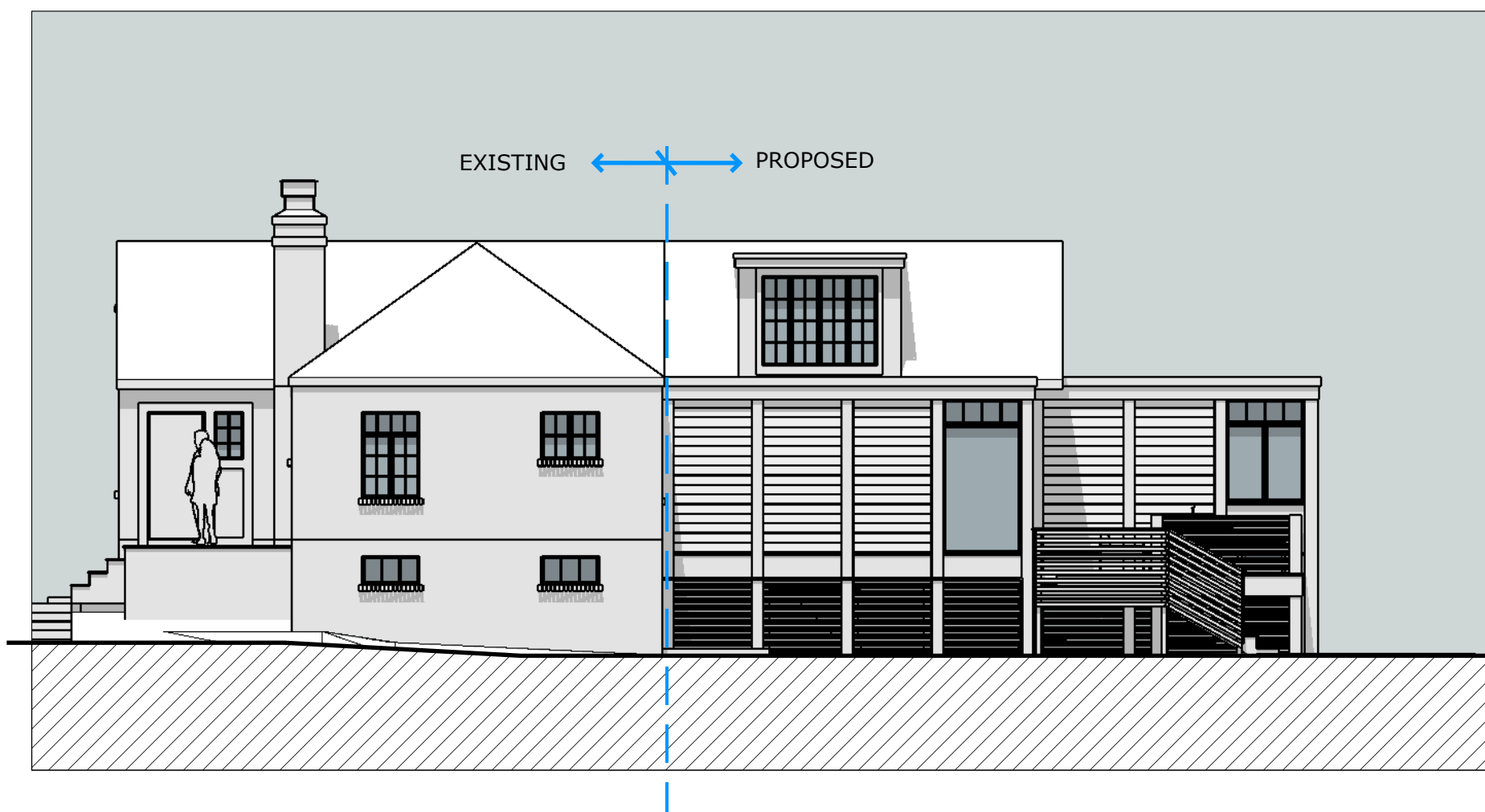
A009



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION / PHILADELPHIA AVE.
SCALE: 1/8" = 1'-0"



1
A009
EXISTING PHOTOGRAPHS
SCALE: 1/4" = 1'-0"



James B. Crowley

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EXISTING
PHOTOGRAPHS



WINDSOR
WINDOWS & DOORS
A Woodgrain Millwork Company



PINNACLE

WOOD CLAD AND PRIMED WINDOWS & DOORS

www.windsorwindows.com

The Wonders of Wood

Strength and beauty shine through in Windsor's Pinnacle products. We use only the finest pine, alder and fir so you can create only the finest homes. The many sizes and shapes available allow you to make a statement – from contemporary looks to classic lines.

No matter what design you have in mind, Windsor allows you to achieve it in style. With each Pinnacle product, you get the rugged durability and traditional appeal of real wood.

See What Sets Pinnacle Apart

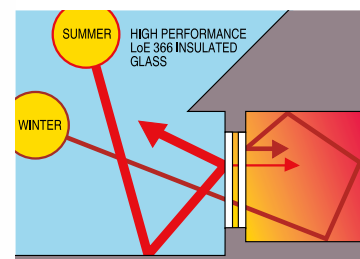
[1] PREMIUM WOOD CONSTRUCTION Natural wood serves as one of the most energy efficient materials available. Windsor uses only the finest wood interiors of Clear Select Pine, Natural Alder or Douglas Fir.

[2] CARDINAL® LoE 366 GLASS Windsor products feature LoE 366 glass with a coating that alters the way glass transmits visible and invisible light. LoE 366 decreases heat loss in the winter and heat gain in the summer. Reduced ultraviolet light penetration also helps prevent your furniture, drapes and carpet from fading.

A triple-glazed IG option is available for Pinnacle Select and Pinnacle clad direct set and radius units. Triple IG consists of 1-1/4" OA thickness and two LoE coatings.

The LoE 366 coating on surface #2 and the LoE 180 coating on surface #5 provides superior U-value thermal performance.

[3] EXTRUDED ALUMINUM We use only heavy-duty .050 extruded aluminum cladding, versus thin roll form aluminum. It is sturdier and more resistant to exterior damage, including dents and chips. The powder coat used in our paint application is the extremely durable 2604 finish. The 2605 finish is available when your project requires an even stronger defense against the elements. All Pinnacle clad and Select casement and awning products feature a thermally-broken frame for improved efficiency.



PINNACLE AWNING AND DIRECT SET WINDOWS AND NARROW STILE PATIO DOORS.
Washington, D.C.



[4] TAPE AND SILICONE GLAZED We use silicone and tape glazing methods to ensure a water-tight seal and slow the conduction of heat and cold.

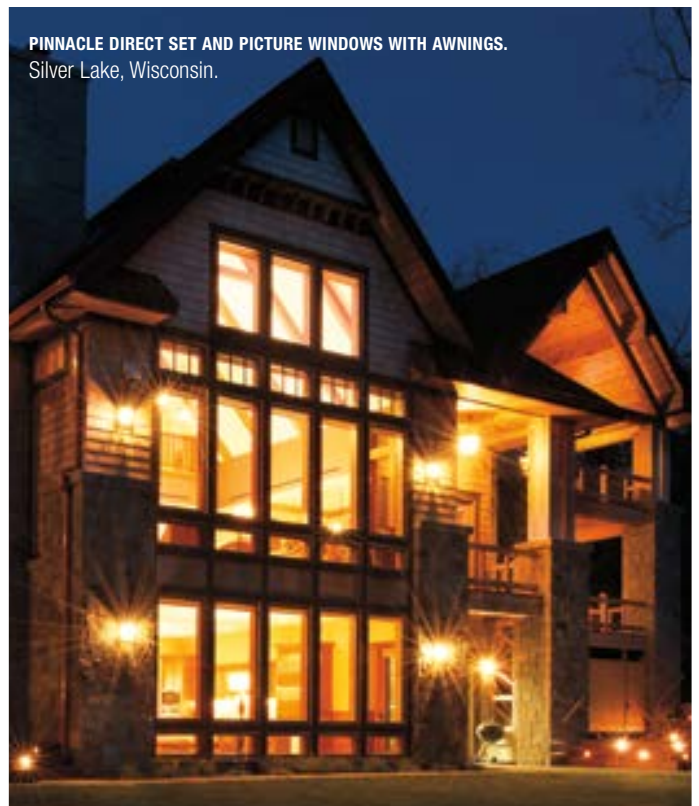
[5] SUPER SPACER® TECHNOLOGY Super Spacer dual-seal moisture barrier technology provides one of the most thermally efficient spacers in the marketplace, meeting or exceeding ENERGY STAR® guidelines in all zones. All-foam Super Spacer reduces heat and cold conduction, which results in more comfortable living for homeowners and fewer callbacks for builders.

STATE-OF-THE-ART LISEC® GLASS FABRICATION EQUIPMENT Our highly-automated glass line requires no manual manipulation – dramatically reducing seal failures caused by human contact with the glass – while our robotic equipment provides an incredible level of accuracy for a fast and efficient material flow.

ENERGY STAR PARTNER Windsor Windows & Doors is proud to be an ENERGY STAR partner. Look for the ENERGY STAR logo on our products, which means those models meet EPA guidelines for energy efficiency. Performance data is available on our website at www.windsorwindows.com.

WARRANTY Our Pinnacle products offer an industry leading Limited 20/10 Warranty. For more specific information, go to www.windsorwindows.com.

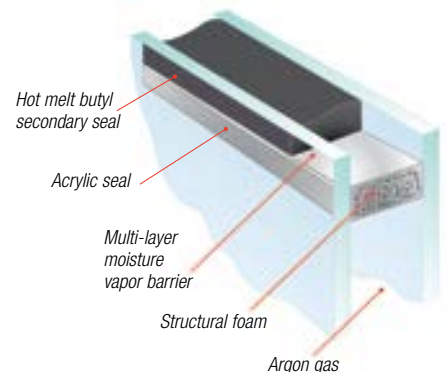
PINNACLE DIRECT SET AND PICTURE WINDOWS WITH AWNINGS.
Silver Lake, Wisconsin.



Super Spacer®

Reverse dual-seal technology

(Airspace is not filled with argon in products with breathing tubes.)





Casement & Awning

Simplicity is a thing of beauty. Casements and awnings provide convenience and energy conservation in one easy-to-use, even easier-to-look-at unit. The Pinnacle casements and awnings offer maximum light, excellent ventilation and simple cleaning. With an endless number of sizes and options, we can make a casement or awning for any room in your home. We use a thick, two-inch sash and our special tape and silicone glazing method to increase insulation and, more importantly, reduce your energy bills. Our sleek, single-lever, multi-point hardware makes for effortless operation and a tight, leakproof fit.

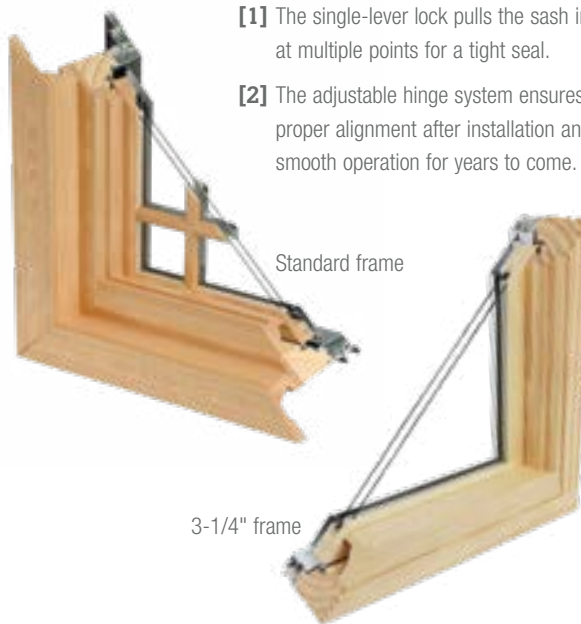
Enjoy an easy-to-operate window available at an incredible value. Pinnacle casements and awnings can help you achieve the cost savings and energy efficiency you need, with the natural wood beauty you want.

Choose a standard frame with various extension jamb depths for a traditional look or a 3-1/4" frame for narrow wall construction or drywall return applications.

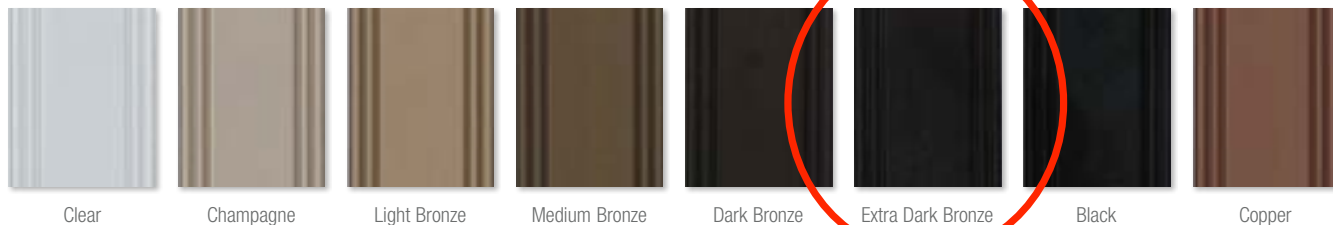


[1] The single-lever lock pulls the sash in at multiple points for a tight seal.

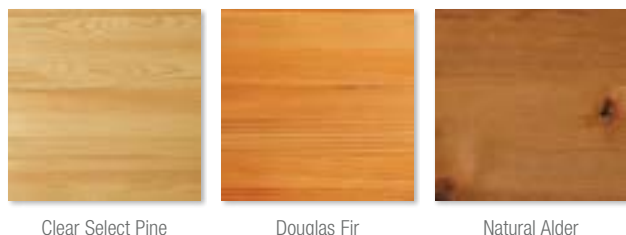
[2] The adjustable hinge system ensures proper alignment after installation and smooth operation for years to come.



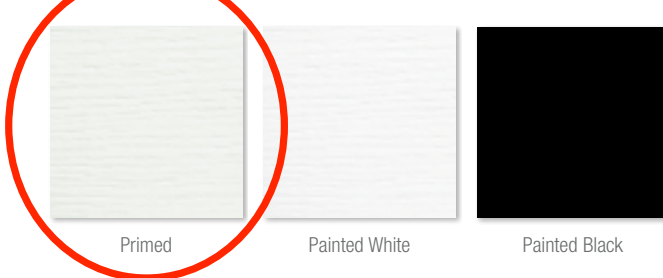
Anodized Finishes



Interior Wood Species



Interior Finishes

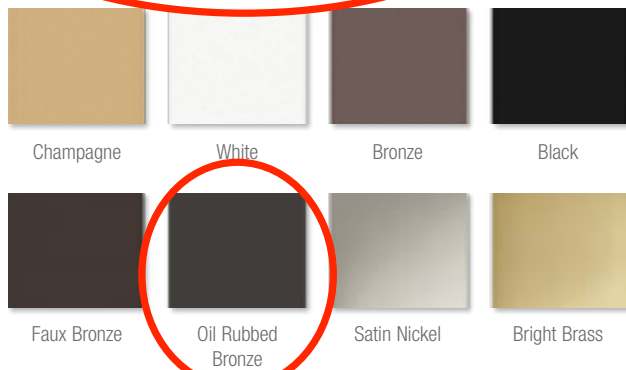


Radius Interior Trim

Custom-fitted wood trim for radius-shaped windows and radius-top doors is available in five moulding styles. All styles are available in Clear Select Pine, Oak, Douglas Fir and Natural Alder.



Casement/Awning Crank and Finishes



Double Hung Lock and Finishes



NOTE: Printing limitations prevent exact color/finish representation. See your Windsor distributor for actual samples.

options & accessories

Glass **Special order item*

Units with 1-1/4" OA triple IG are only available in LoE 366/180, obscure, satin etch, glue chip, rain and reed glass.



LoE 366 (Standard)



Dual Low-E



Dual Low-E HS
(Select and clad only)



LoE 180



LoE 240



LoE 272



Clear



Gray Tint



Bronze Tint



Obscure



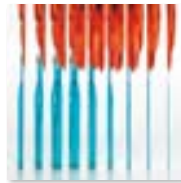
Satin Etch



Glue Chip*



Rain*

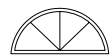


Reed*

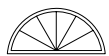
Direct Set and Radius Options

Radius Inner Grille Patterns

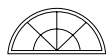
NOTE: Before selecting a special grille pattern, confirm alignment with units below.



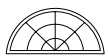
Pattern 1
3-spoke
Standard



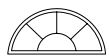
Pattern 2
5-spoke
Standard



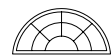
Pattern 3
Single Radius
Starburst
42" HR & up



Pattern 4
Double Radius
Starburst
60" HR & up



Pattern 5
Single Radius
Sunburst
42" HR & up



Pattern 6
Double Radius
Sunburst
60" HR & up



1-spoke
Quarter Round



2-spoke
Quarter Round



3-spoke
Ellipse



Radius Special Shapes



Round



Half Round



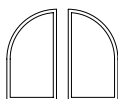
Quarter Round



Seg-top Quarter



Seg-top



Extended Quarter
Round



Round Top



Ellipse



Eyebrow

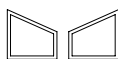
Direct Set Special Shapes



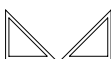
Rectangle



Flat-top
Trapezoid



Trapezoid



Right Triangle



Triangle



Parallelogram



Octagon



Hexagon



Pentoid



Flat-top
Pentoid

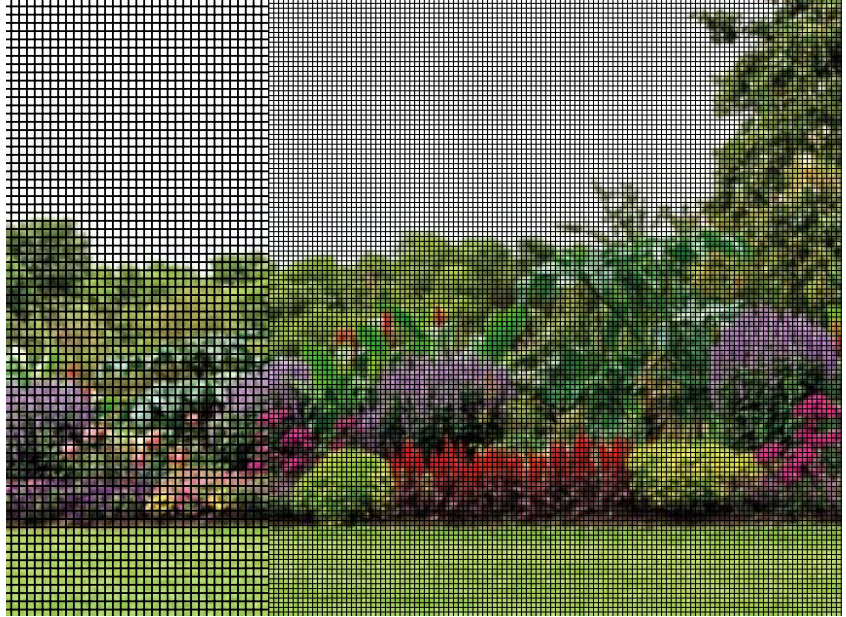
NOTE: Printing limitations prevent exact color/finish representation. See your Windsor distributor for actual samples.

options & accessories



Screens

All exterior-applied screens for Pinnacle double hung, glide-by and patio doors come with screen frames matching the clad color of the unit. Interior-applied screens for Pinnacle casement and awning windows have screen frames available in champagne, white, bronze, black, wood-veneered pine, wood-veneered alder or wood-veneered fir.



Conventional Screen Mesh

BetterVue® (Standard)

UltraVue®

Grilles

All of our wood and cellular PVC (CPVC) Windsor Divided Lite bars are hand-fitted to ensure a perfect fit.



7/8" & 1-1/4"
Perimeter Grille



7/8" & 1-1/4"
Stick Grille



3/4" & 1"
Profiled Inner Grille



13/16" Flat Inner Grille
(Not available on Select)



7/8" & 1-1/4"
Interior Wood
Windsor Divided Lite



7/8" & 1-1/4"
Exterior Clad
Windsor Divided Lite



7/8" & 1-1/4"
Exterior CPVC
Windsor Divided Lite
(Primed only)



5/8" & 7/8" Tall Putty
Windsor Divided Lite



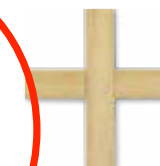
5/8" & 7/8" Short Putty
Windsor Divided Lite



1/4" Ogee



5/8", 7/8", 1-1/4" & 2"
Contemporary Windsor
Divided Lite



5/8", 7/8", 1-1/4" & 2"
Contemporary Windsor
Divided Lite



2" Tall Putty
Simulated Check Rail



2" Exterior Low Profile
Simulated Check Rail



2" CPVC Simulated
Check Rail (Primed only)

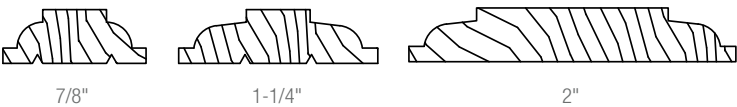


3-3/8"
Simulated Mid Rail

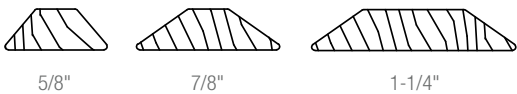


Grille Profiles

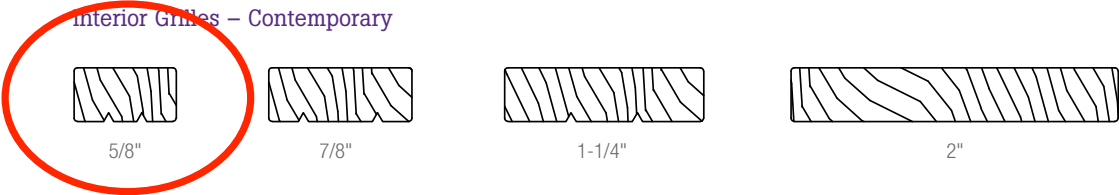
Interior Grilles – Ogee



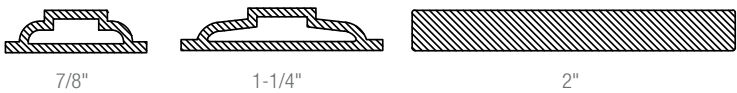
Interior Grilles – Putty



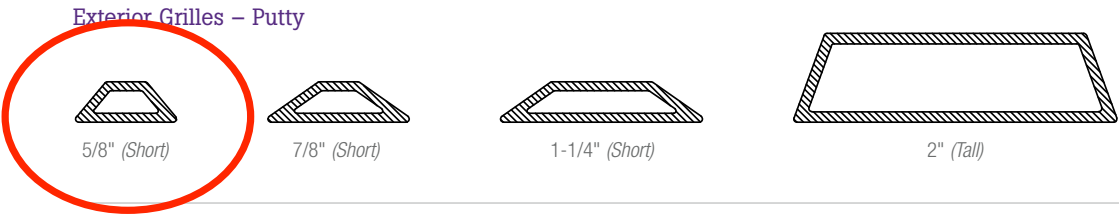
Interior Grilles – Contemporary



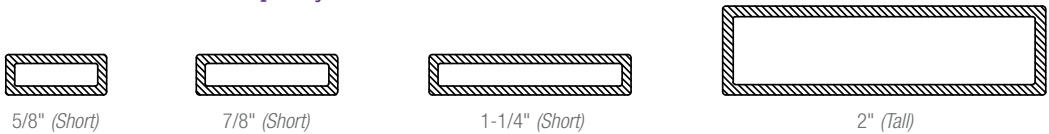
Exterior Grilles – Ogee



Exterior Grilles – Putty



Exterior Grilles – Contemporary



Grille Sections

