

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	111 Elm Ave., Takoma Park	<b>Meeting Date:</b>	2/12/2019
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	2/6/2019
<b>Review:</b>	HAWP	<b>Public Notice:</b>	1/30/2019
<b>Case Number:</b>	37/03-18FFF (REVISION)	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Sarah Boehm & Leonard Newmark	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Window Replacement		

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**Background and Proposal:**

On August 15, 2018 the Historic Preservation Commission conditionally approved several alterations to the windows, doors, and rear porch of the house at 111 Elm Ave. in the Takoma Park Historic District (see attached). As part of this rehabilitation project, the applicant proposed undertaking work in the basement that only altered the interior and did not require HPC review. The County Code Inspector indicated that the basement window in the newly created basement bedroom did not meet the minimum opening size and needed to be changed. In order to meet code requirements, the applicant proposes to remove the existing vinyl sash window from the left elevation, closest to the street, and install a new wood-clad casement window in the same opening.



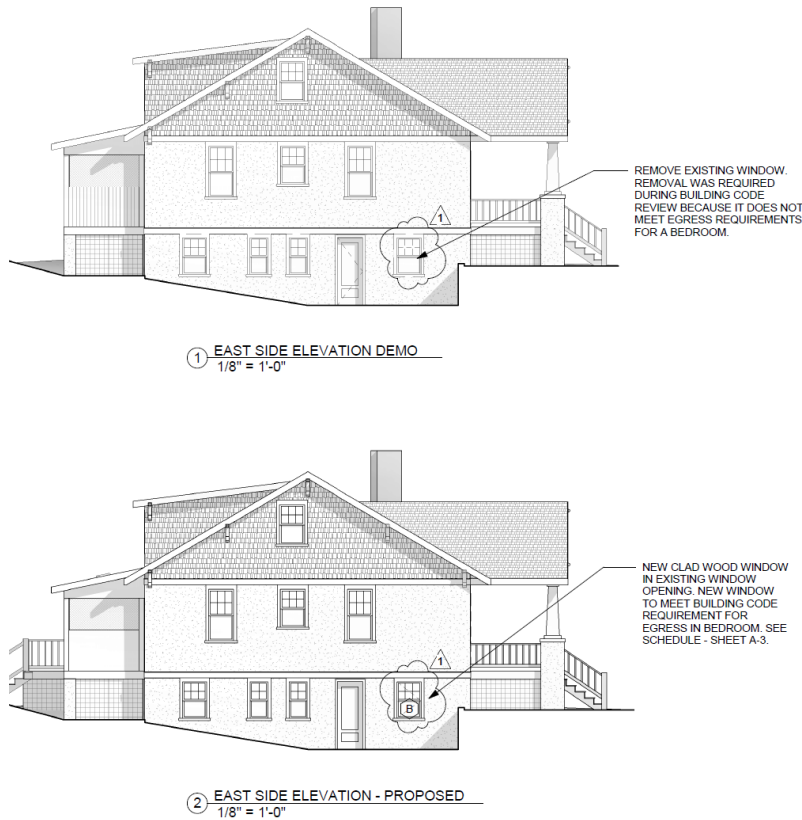


Figure 3: Left elevation showing the location of the proposed window replacement.

### Staff Findings:

Current building code requires a 5 ft<sup>2</sup> (five square feet) opening for ground level egress. The existing window does not meet that requirement, as the opening for the sash window is approximately 4.666 ft<sup>2</sup> (four and two-thirds square feet). The applicant proposes to remove the existing six-over-one vinyl sash window and replace it with a wood-clad casement window that simulates the historic window pattern. The window will have permanently fixed interior and exterior grills and the an applied, thicker, meeting rail (the 2" horizontal member in the middle of the window).



Figure 3: Image of the existing interior basement window.

Staff finds that this solution is appropriate for several reasons. First, the applicant is taking the steps to preserve the existing window opening. The new window will meet code only because its operation has been changed from a sash to a casement window. If the applicant wanted to preserve a sash window in this location, the opening would need to be enlarged, which would contravene the *Takoma Park Design Guidelines* regarding the retention of door and window openings. Second, as this is a basement window, it will have less impact on the character of the historic building than a first-floor window or a front-facing window would. Third, the applicant is preserving the appearance of the window by matching the lite pattern of the existing and will better maintain the character and appearance of the house. An enlarged sash window would introduce new proportions to the window and would be potentially visually incompatible. Staff recognizes that this window will be visible from the public right of way due to the change in grade along Elm Ave. and because of the relatively wide setback between 111 Elm and 113 Elm Ave; however, the proposed window is less visible and smaller than the more significant first floor windows.

Staff supports approval of this window finding that the dimensions and configuration are appropriate for the house, per Standard 2 and 24A-8(b)(2). The *Design Guidelines* state that non-original materials may be used on a case-by-case basis. Staff finds that this is an appropriate application of a non-original material because the single window is on a side elevation, at the basement level, and replaces a non-original, vinyl window with a more compatible window in terms of materials. This proposal will not replace or damage original building materials (per the *Design Guidelines*).

**Staff Recommendation:**

Staff Recommends the HPC approve the revision to HAWP 37/03-18FFF, finding the proposal is consistent with Chapter 24A-8(b)(2), Standard 9 and the *Takoma Park Design Guidelines* and with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: sthoehm@me.com Contact Person: SARAH BOEHRM  
Tax Account No.: 16-13-01073796 Daytime Phone No.: 510-282-3930  
Name of Property Owner: SARAH BOEHRM + LEONARD Daytime Phone No.: 510-282-3930  
Address: 111 ELM AVE TAKOMA PARK NEWMARK MD 20912  
Street Number City State Zip Code  
Contractor: N/A Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: N/A Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 111 Street: ELM AVE  
Town/City: TAKOMA PARK Nearest Cross Street: ALLEGHENY AVE  
Lot: 77+78 Block: 100 Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

☐ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

☐ A/C ☐ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimator: \$ 50K

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sarah Boehrm  
Signature of owner or authorized agent

6/4/18  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

111 ELM AVENUE IS A SINGLE FAMILY HOME DESIGNATED AS A CONTRIBUTING RESOURCE TO TACOMA PARK'S HISTORIC DISTRICT. THE HOUSE IS PRESERVED IN KEEPING WITH THE ORIGINAL 1920S CRAFTSMAN COTTAGE STYLE, AND IN EXCELLENT CONDITION, WITH THE EXCEPTION OF A FRONT DOOR WHICH DOES NOT CONFORM TO THE 1920S STYLE AND APPEARS TO BE FROM THE 1950S.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We need to bring the window up to egress code. We have the specifications for the new window of Jeld-Wen Siteline Clad-wood Casement SCC2848 with a rough opening of 28.75" x 48.75". Grilles are SDL with a modified checkrail to resemble

**2. SITE PLAN**

double hung.

(CONTINUED ON NEXT PAGE)

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

5. Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT: REPLACE FRONT DOOR WITH PERIOD APPROPRIATE STYLE DOOR



Detail: WESTSIDE: MOVE + REPLACE 2 WINDOWS

Applicant: SARAH BOETHM + LEONARD NEWMARK

Page: 16 OF 19

5, Existing Property Condition Photographs (duplicate as needed)



Detail: BACK: MOVE SCREEN DOOR TO BACK, ADD WINDOW, MOVE BACK DOOR, ADD SKYLIGHTS (2), ADD SMALL DECK + STAIRS TO YARD



Detail: EASTSIDE: NO CHANGES

Applicant: SARAH BOEHM + LEONARD NEWMARK

Page: 17 OF 19

<p>7. <b>HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING</b>  [Owner, Owner's Agent, Adjacent and Confronting Property Owners]</p>	
<p><b>Owner's mailing address</b>  SARAH BOETTCH + LEONARD  NEWMARK  111 ELM AVE  TAKOMA PARK 20912</p>	<p><b>Owner's Agent's mailing address</b>  N/A</p>
<p><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>ANDREAS SMITH + JENNIFER  GIBSON  109 ELM AVE  TAKOMA PARK, MD 20912</p>	<p>MARIA TSIOLIS + BENJAMIN  LAMBLOTTE  110 ELM AVE  TAKOMA PARK, MD 20912</p>
<p>GEORGE MIDDENDORF +  LISA FAMOLARE  112 ELM AVE  TAKOMA PARK, MD 20912</p>	<p>RUTH MASTERSON + MARTINA  BARASH  6807 ALLEGHENY AVE  TAKOMA PARK, MD 20912</p>
<p>BRIAN + CATHERINE  ROWLAND  113 ELM AVE  TAKOMA PARK, MD 20912</p>	<p>NINA ZIMDAHL + ROBERT  HART  6809 ALLEGHENY AVE  TAKOMA PARK, MD 20912</p>

111 ELM AVENUE, TAKOMA PARK, MD

INTERIOR ALTERATIONS WITHOUT  
STRUCTURAL CHANGES

PROJECT SCOPE

Existing 1-1/2 story wood framed residence is a contributing resource in the Takoma Park Historic District. The project scope includes a minor interior renovation and small rear deck addition for better access to the yard from the existing screen porch. The expansion of the kitchen requires changes to the existing door and window openings on the rear elevation only. Small, single level deck designed in accordance with Montgomery County Deck Details.

Construction to be in conformance with the IRC and IECC, 2015 Edition, as amended by Montgomery County Executive Regulation No 8-12.

DRAWING INDEX

- C-S COVER SHEET  
D-1 DEMO PLAN  
D-2 DEMO PLAN  
D-3 DEMO PLAN  
A-1 NEW BASEMENT PLAN  
A-2 NEW FIRST FLOOR PLAN  
A-3 NEW SECOND FLOOR PLAN & SCHEDULES  
A-4 KITCHEN DETAIL PLAN  
A-5 EXTERIOR ELEVATIONS  
A-6 EXTERIOR ELEVATIONS  
A-7 EXTERIOR 3D VIEWS & PHOTOS  
A-8 EXTERIOR ELEVATIONS  
E-1 ELECTRICAL PLAN  
E-2 ELECTRICAL PLAN



DRAWING LEGEND

- EXISTING TO BE DEMOLISHED  
EXISTING WALL TO REMAIN AS IS  
NEW CMU BLOCK WALL  
NEW POURED CONC WALL  
NEW WOOD STUD WALL; 2x6 EXTERIOR, 2x4 INTERIOR  
NO NEW WORK - EXISTING TO REMAIN

TYPICAL DRAWING NOTES

1. EX. BASEMENT WALLS DRAWN AS MASONRY/ CONCRETE AND HAVE FRAMED WALLS AS SHOWN.  
2. EXISTING HOUSE WALLS ARE DRAWN WITH FINISHES. NEW ADDITION ARE DRAWN AS FRAMING. FINAL FINISH SURFACES SHALL ALIGN.  
3. 2X4 STUD WALLS ARE TYPICAL AT INTERIOR U.O.N.  
4. EXTERIOR WALLS ARE 2X6 FRAME, SHEATHING, AND INSULATION PER NOTES ON PLAN.  
USE EFFICIENT FRAMING METHODS WHERE POSSIBLE  
1. NON-LOAD BEARING WALL STUDS AT 24" CENTER  
2. WINDOW ROUGH OPENINGS ELIMINATE JACK STUD  
3. NON-STRUCTURAL HEADERS IN NON-LOAD BEARING WALLS  
4. SINGLE TOP PLATE WITH STACKED FRAME  
5. 2-STUD CORNERS W/DRYWALL CLIPS OR ALT. FRAMING  
6. T-WALLS W/DRYWALL CLIPS OR ALTERNATIVE FRAMING

GENERAL DEMOLITION NOTES

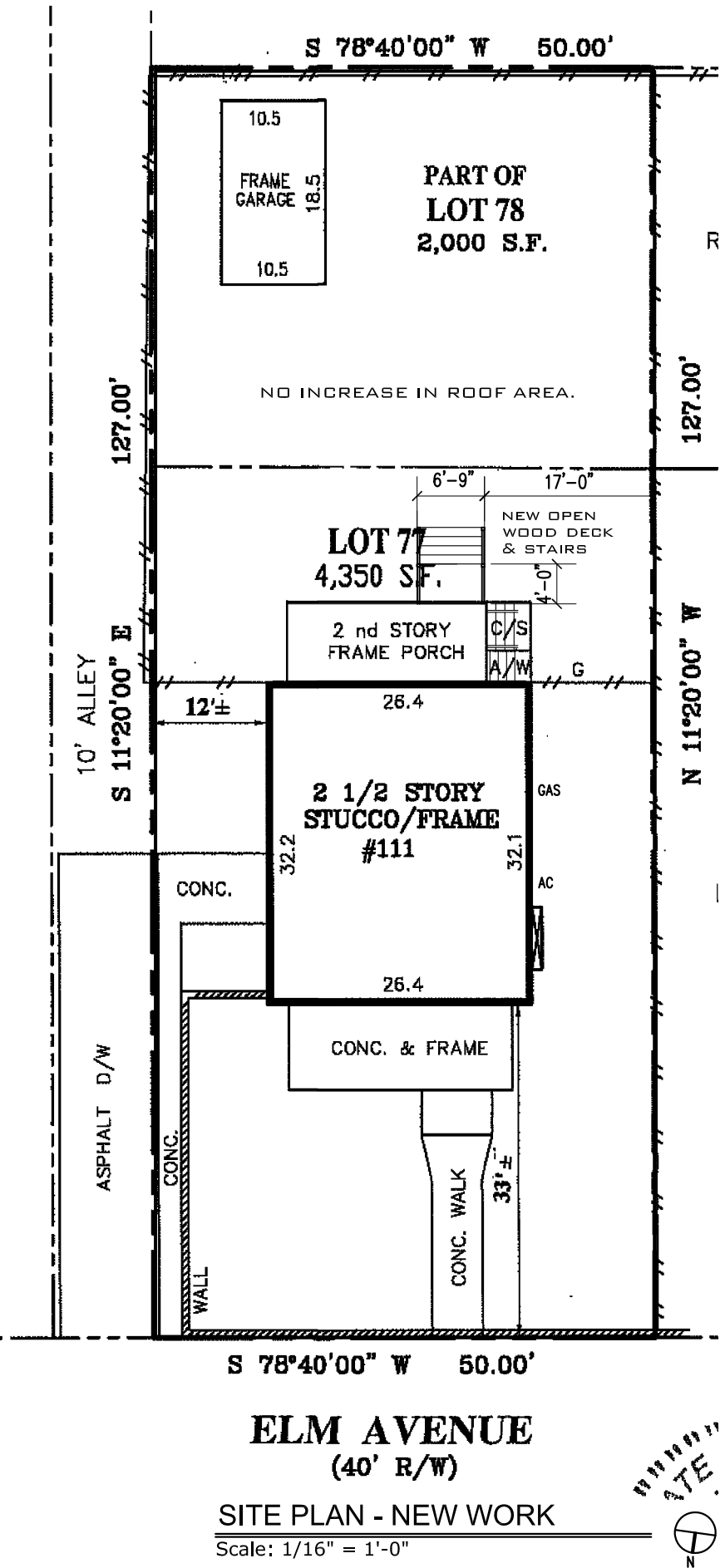
1. REMOVE WALLS, DOORS, TRIM, FINISHES, FIXTURES, AND CABINETS AS NOTED. PREPARE FOR NEW WALL FRAMING PER NEW DESIGN INTENT AND FINISHES.  
2. SALVAGE DOORS, HARDWARE, TRIM, WINDOWS, FIXTURES, ETC FOR REUSE WHERE APPLICABLE.  
3. SALVAGE WOOD FLOORING FOR PATCHING AS R'ORD.  
4. REMOVE SELECT WINDOWS AND PREPARE NEW ROUGH OPENINGS AND LOCATIONS PER NEW DESIGN INTENT FOR NEW WINDOWS - SEE WINDOW SCHEDULE OR PLAN NOTES.  
5. TEMPORARILY BRACE AND REINFORCE STRUCTURE AS REQUIRED. INSTALL NEW BEAMS AND POSTS FOR NEW DESIGN INTENT - SEE STRUCTURAL DRAWINGS.  
6. RELOCATE MECHANICAL DUCTS, VENTS, UNITS, AND EXTERIOR AC AS REQUIRED FOR NEW DESIGN INTENT.  
7. RELOCATE PLUMBING AS REQUIRED FOR NEW DESIGN.

BUILDING PLANNING

1. DESIGN CRITERIA SHALL BE:  
GROUND SNOW LOAD 30 PSF  
WIND SPEED 115 MPH (3 SECOND GUST)  
SEISMIC ZONE: B  
FROST LINE DEPTH 30"  
2. MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS  
ATTICS W/STORAGE 20 PSF  
ATTICS W/O STORAGE 10 PSF  
DECKS 40 PSF  
EXTERIOR BALCONIES 40 PSF  
PASSENGER VEHICLE GARAGES (GRADE) 50 PSF  
ROOMS OTHER THAN SLEEPING 40 PSF  
SLEEPING ROOMS 30 PSF  
STAIRS 40 PSF

INSULATION SPECIFICATIONS

1. PROVIDE INSULATION TO MEET THE MINIMAL R VALUE IN AREA OF NEW WORK, TYPICAL EXCEPT AS NOTED ON DRAWINGS. BATT INSULATION SHALL BE FORMALDEHYDE FREE. RIGID INSULATION AS NOTED. CLOSED/OPEN SPRAY FOAM IF NOTED. MINIMUM VALUES ARE PER TABLE R402.1.1 OF THE 2015 IRC - CLIMATE ZONE 4:  
R-49 FOR ROOF OF ADDITION AND EXISTING  
R-38C OR R-38 FOR NEW ROOF AREA OVER EXTERIOR WALLS W/ LIMITED SPACE (LESS THAN 20% OF AREA)  
R-21 FOR EXTERIOR WALLS MINIMUM;  
2X6 STUDS W/R-21 BATT INSULATION  
R-25 FOR FLOORS OVER UNCONDITION AIR / GARAGE  
R-11 UNFACED FOR INTERIOR WALLS  
R-30 AT BAND JOIST  
R-15 FOR STUD CAVITY AT BASEMENT WALL  
R-10 FOR CONTINUOUS AT BASEMENT WALL  
R-10 RIGID UNDER CONCRETE SLAB & B/W FTG  
2. SEE WINDOW SCHEDULE FOR U-FACTORS.  
3. INSULATE INTERIORS FOR ACOUSTICS: INTERIOR FLOORS AND INTERIOR WALLS AT PLUMBING AND BATHROOMS. FORMALDEHYDE FREE BATT OR DENSE PACK CELLULOSE.



M J W  
DESIGNS

Project Architect - Maria Wright  
443.994.8777

maria@mjdsgnslc.com

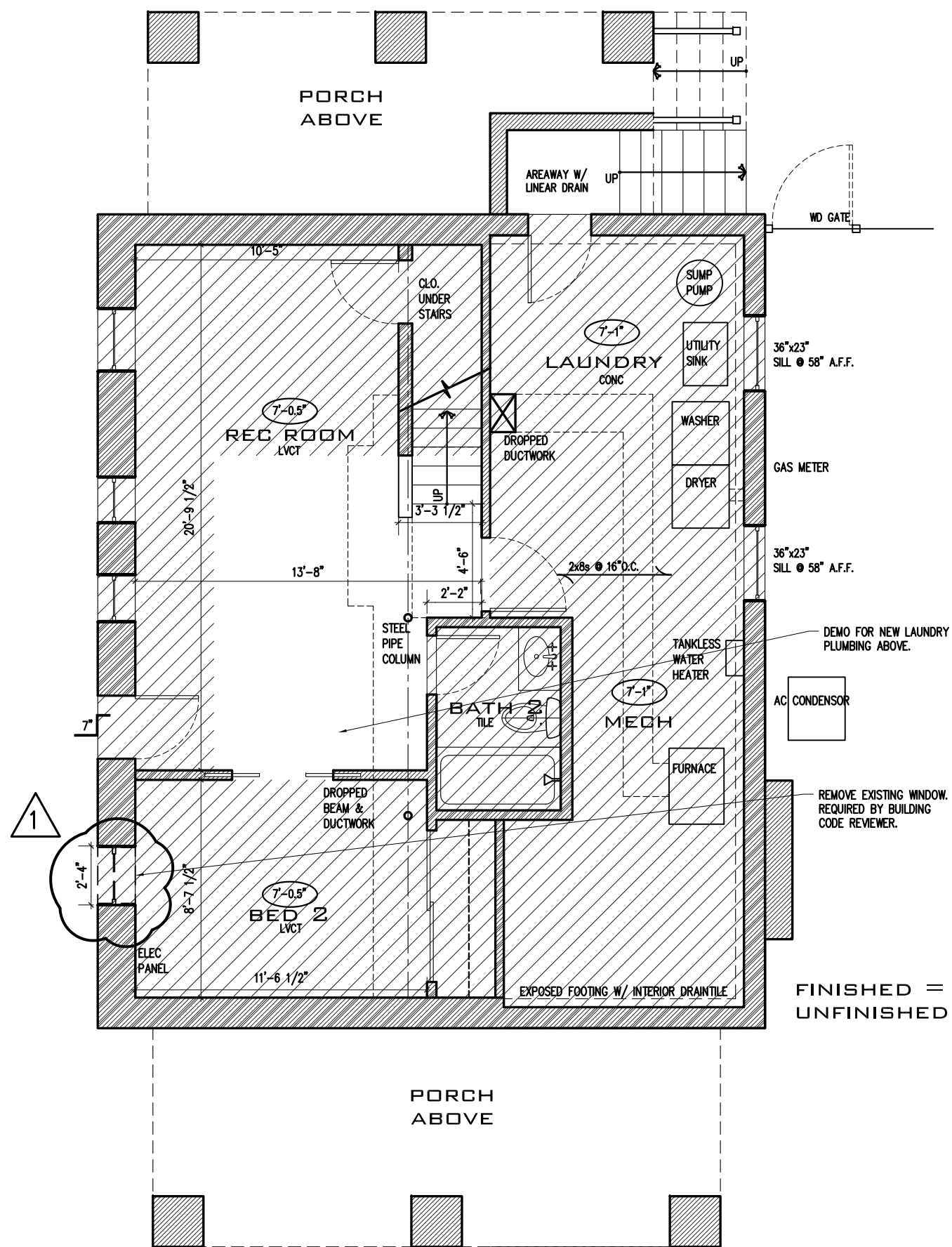
BOEHM-NEWMARK RESIDENCE

111 Elm Avenue  
Takoma Park, MD 20912  
Interior Renovation

Issue: Date:  
PERMIT 2018.09.11  
PERMIT  
REV. 1 2009.01.16

COVER SHEET

C-S  
10



- DRAWING LEGEND
- EXISTING TO BE DEMOLISHED
  - EXISTING WALL TO REMAIN AS IS
  - NEW WOOD STUD WALL; 2x6 EXTERIOR, 2X4 INTERIOR
  - NO NEW WORK - EXISTING TO REMAIN

BASEMENT PLAN - DEMO

Scale: 3/16" = 1'-0"



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DESIGNS

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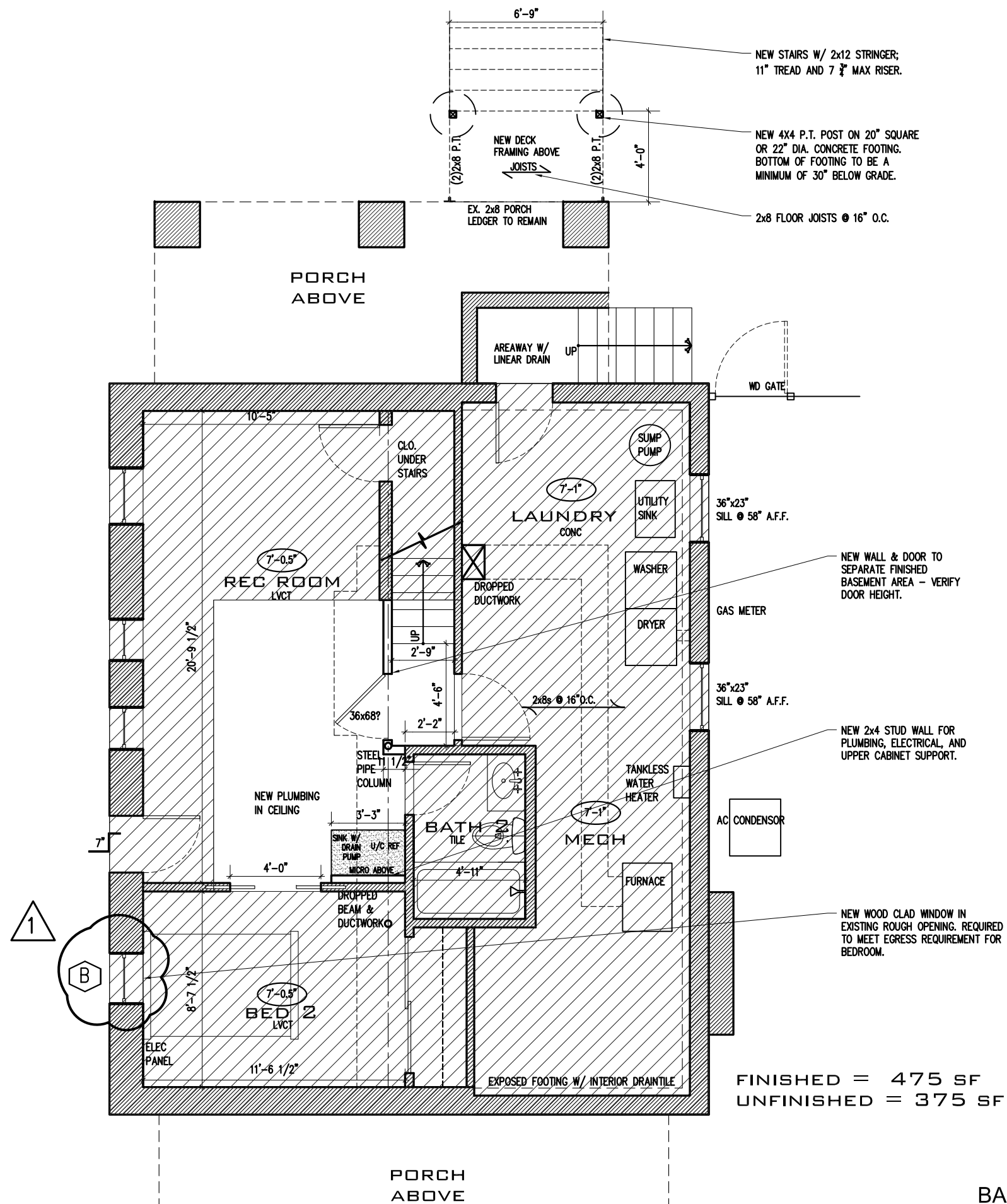
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DEMO PLAN

D-1  
11



DRAWING LEGEND	
	EXISTING TO BE DEMOLISHED
	EXISTING WALL TO REMAIN AS IS
	NEW WOOD STUD WALL; 2x6 EXTERIOR, 2X4 INTERIOR
	NO NEW WORK - EXISTING TO REMAIN

BASEMENT PLAN - NEW WORK

Scale: 3/16" = 1'-0"



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DESIGNS

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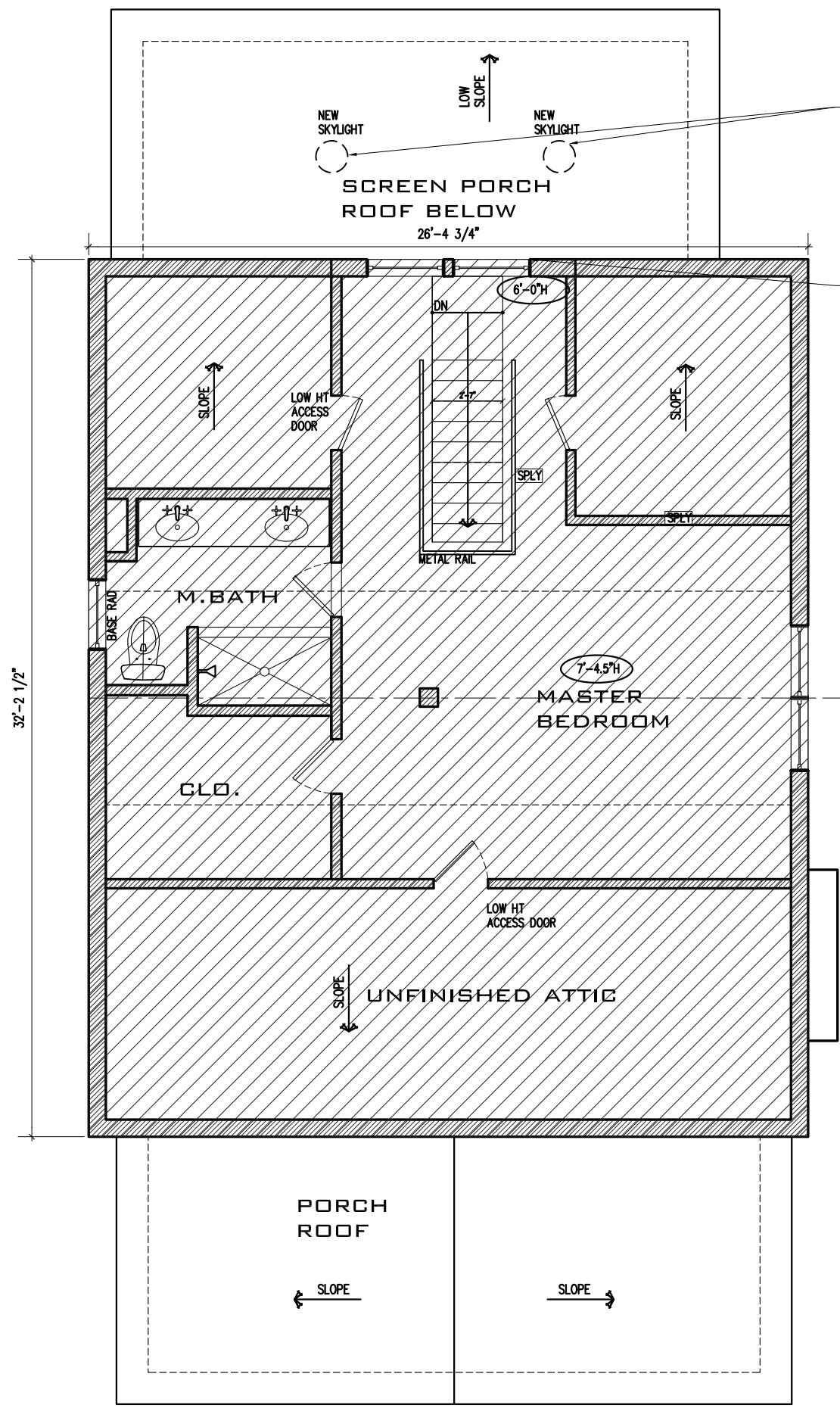
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Issue:	Date:
PERMIT	2018.09.11
PERMIT	
REV. 1	2009.01.16

NEW PLAN

A-1  
12



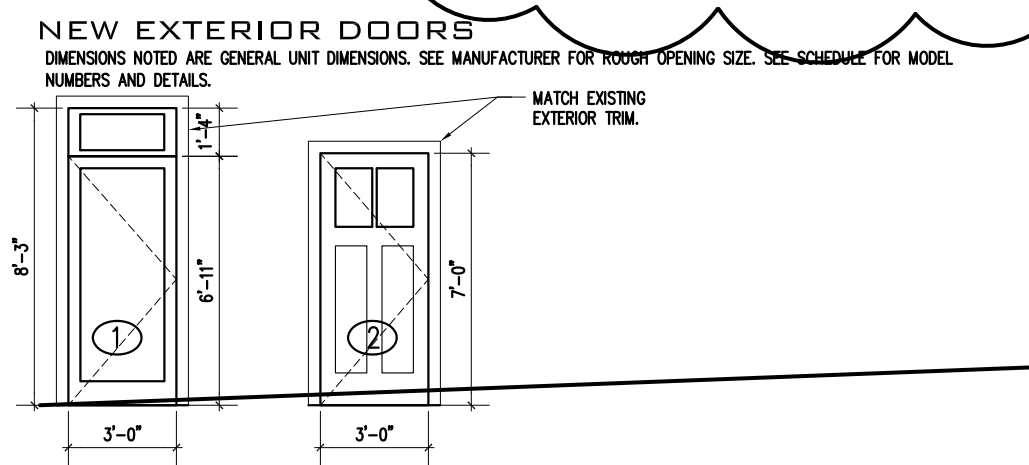
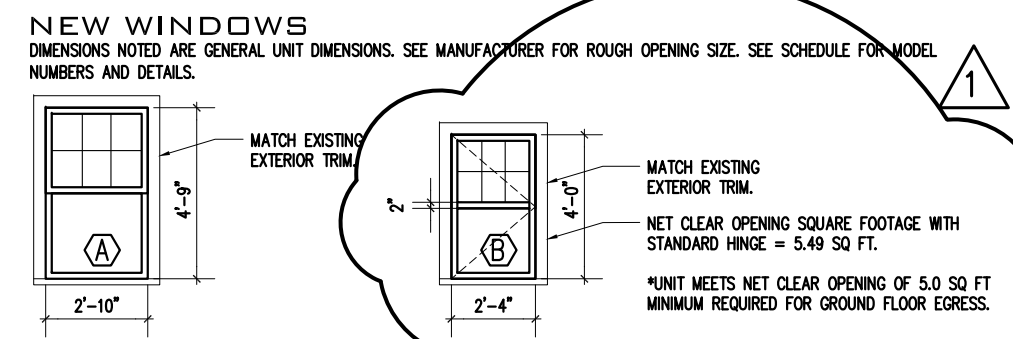
NEW SKYLIGHTS IN EXISTING PORCH ROOF; COORDINATE SIZE & LOCATION W/ EXISTING ROOF FRAMING.

REPAIR FLASHING AND ADD CONTINUOUS ICE & WATER SHIELD FOR LOW SLOPE ROOF. NEW EPDM ROOFING MATERIAL TO MATCH EXISTING.

FINISHED = 450 SF

SECOND FLOOR PLAN - NEW WORK  
Scale: 3/16" = 1'-0"

EXTERIOR WINDOW & DOOR SCHEDULE					QUANTITY			
			UP	LT.	RT.	FXD		
(A)	SCD3556 - 6/1 SIMULATED DIVIDED-LITE PATTERN.		1					
(B)	SCC2848 - 6/1 SIMULATED DIVIDED LITE PATTERN WITH MODIFIED CHECKRAIL				1			
(1)	PR805W30611 - SITELINE CLAD WOOD OUTSWING PATIO DOOR W/ TRANSOM PR805W3014, TEMPERED GLAZING.				1			
(2)	SIMPSON DOOR, MODEL 36802 CRAFTSMAN TWO PANEL - TWO LITE (SDL), TEMPERED GLAZING.				1			
(3)	VELUX SUN TUNNEL SKYLIGHT IN SCREEN PORCH; COORDINATE SIZE W/ EXISTING FRAMING					2		



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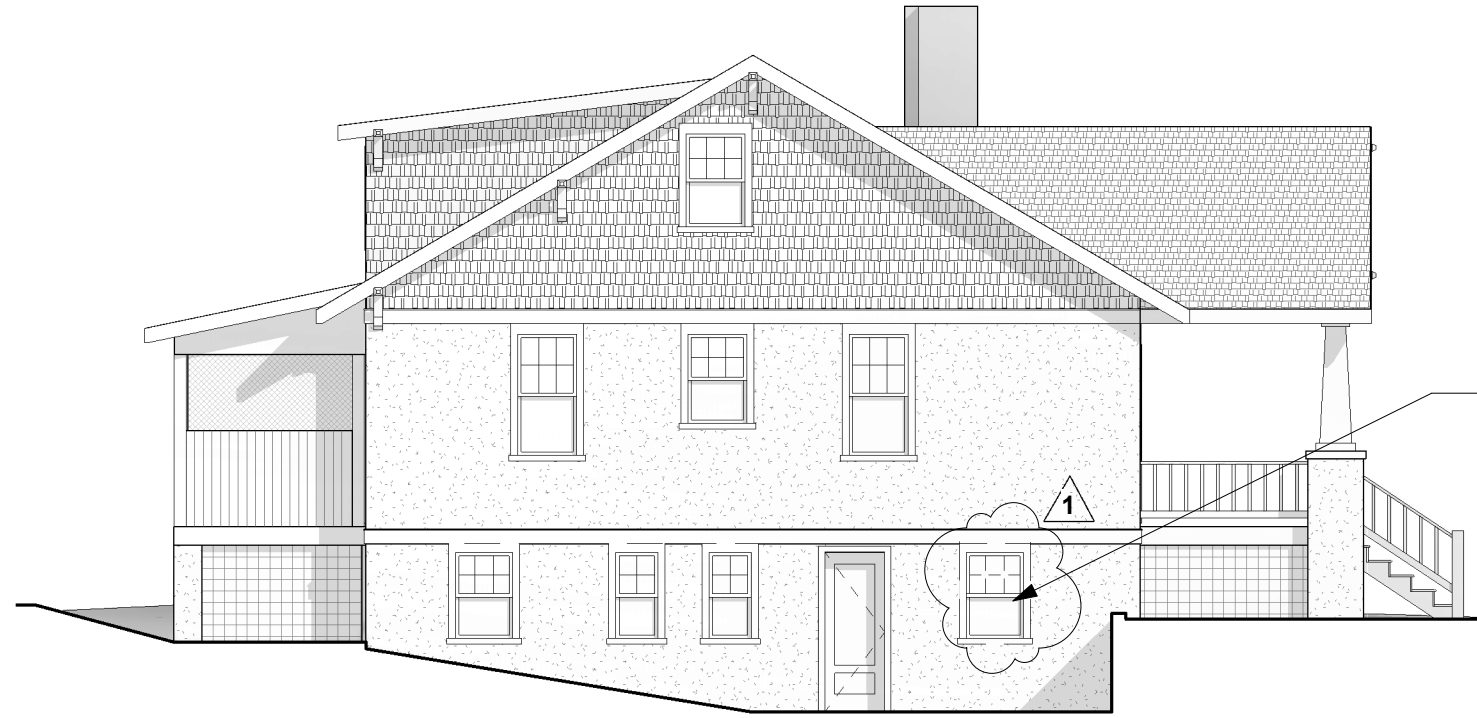
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Interior Renovation

Issue: PERMIT PERMIT REV. 1

Date: 2018.09.11  
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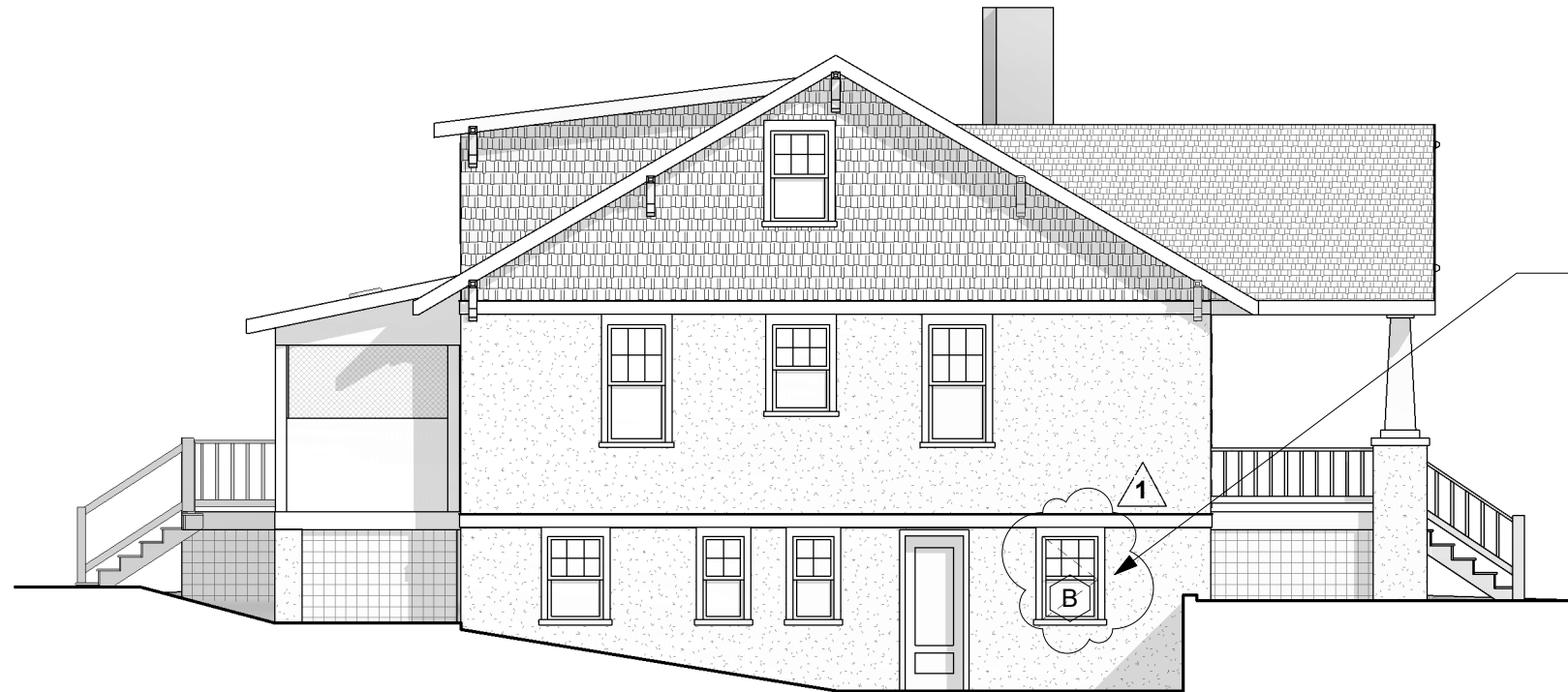
NEW PLAN

A-3  
13



REMOVE EXISTING WINDOW.  
REMOVAL WAS REQUIRED  
DURING BUILDING CODE  
REVIEW BECAUSE IT DOES NOT  
MEET EGRESS REQUIREMENTS  
FOR A BEDROOM.

① EAST SIDE ELEVATION DEMO  
1/8" = 1'-0"



NEW CLAD WOOD WINDOW  
IN EXISTING WINDOW  
OPENING. NEW WINDOW  
TO MEET BUILDING CODE  
REQUIREMENT FOR  
EGRESS IN BEDROOM. SEE  
SCHEDULE - SHEET A-3.

② EAST SIDE ELEVATION - PROPOSED  
1/8" = 1'-0"

**MJW  
DESIGNS, LLC**

Designer - Maria Wright  
443.994.8777  
Maria@MJWdesignsllc.com

**BOEHM-NEWMARK RESIDENCE**

111 Elm Avenue  
Takoma Park, MD 20912  
Interior Renovation

**ISSUE:**  
PERMIT 2018.09.11  
PERMIT  
REV. 1 2019.01.16

ELEVATION

**A-8**  
14

**The Following  
Pages Are  
from the  
Previous  
Approval**

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	111 Elm Ave., Takoma Park	<b>Meeting Date:</b>	8/15/18
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	8/8/18
<b>Review:</b>	HAWP	<b>Public Notice:</b>	8/1/18
<b>Case Number:</b>	37/03-18FFF	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Sarah Boehm & Leonard Newmark	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Window and Door alterations, and rear porch alterations		

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**STAFF RECOMMENDATION**

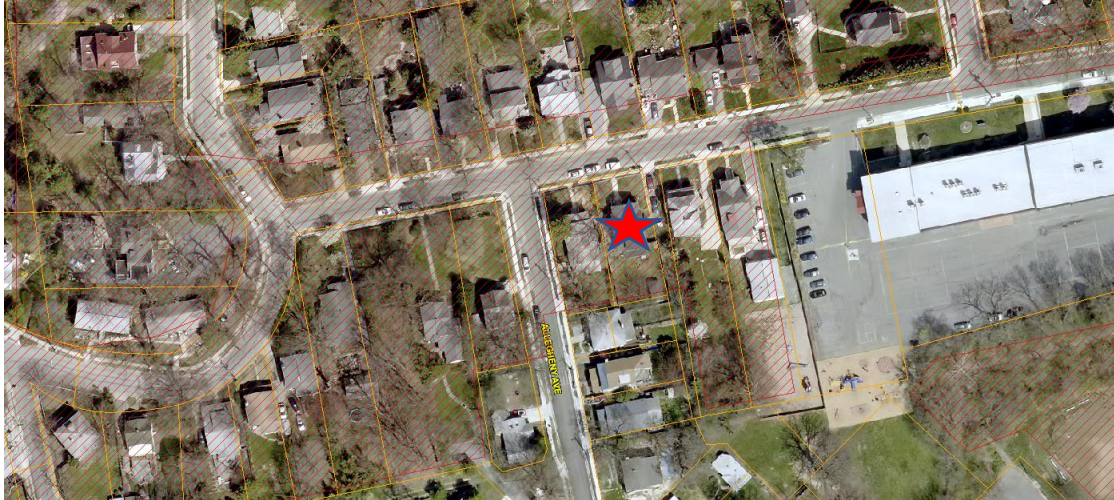
Staff recommends that the HPC **approve with three conditions** the HAWP application.

1. The window on the west elevation, needs to be maintained its historic location.
2. The new rear window needs to be wood. A clad window in this location is not appropriate. Submitted permit drawings must reflect compliance with this condition.
3. Detailed specification for the skylights must be submitted for review and approval to Staff with the permit drawings with final approval authority delegated to Staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource to the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1910-20

The subject property is a one-and-a-half story tall bungalow, three bays wide, with a side gable roof and a full width front gable porch. The main floor of the house is clad in stucco with shingle siding under the gables. The windows throughout the house are six-over-one sash windows, with some smaller four-over-one windows in the basement level.



## **BACKGROUND**

At the June 27, 2018 meeting the applicant presented a preliminary consultation with the HPC for this address. The HPC was supportive of the proposed front door, the alterations at the rear, but expressed significant reservations for the proposed alterations to the windows on the west (right) elevation. The Commissioners generally stressed the need to retain the existing windows and retain the paired sash windows in their historic configuration. The applicant has modified their proposal and have returned for a HAWP.

## **PROPOSAL**

The applicant proposes to replace the front door, make alterations to the rear porch, and to remove a window from the right-side elevation and install new window.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Takoma Park Historic District (*Guidelines*), Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district).

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

Original size and shape of window and door openings should be maintained, where feasible.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

## **STAFF DISCUSSION**

The applicant proposes work on the house in three general areas: replacing the non-historic front door, modifying the screened-in rear porch, and removing a historic window from the right (west) elevation and install a new clad wood window 2' 6" (two feet, six inches) toward the rear wall. The applicant additionally proposes to install a new window on the rear elevation.

### **Door Replacement**

The existing door on the front of the house is a three lite, mid-century design that is not original to the house. Its removal is acceptable as this is not a historic feature and its retention detracts from the historic character of the house.

The applicant proposes to install a two-panel, two-lite wood, Craftsman style door in its place. This door is in keeping with the design of the house and appropriate for the time period of construction. Staff finds that it is an appropriate design and recommends approval of this proposal.

### **Rear Porch Modifications**

The existing rear screened-in porch is a non-historic addition to the house and has a shed roof and side loading steps. It is a wood frame construction and has some beadboard panels on the left side. The left side of the porch is partially visible from the public right-of-way along Elm Ave., and the rear of the porch is visible from Allegheny Ave. (outside of the historic district).

The applicant proposes to remove the existing side loading steps, fill in the existing screen door opening with a beadboard panel, install new rear loading wood steps matching the appearance and materials of the removed steps, install a new screen door, and to install two Velux skylights (cut sheet attached) in the porch roof.. The applicant also proposes to move the rear door several inches and reinstall it. Staff finds that these modifications do not detract from the character of the house or the surrounding district and Staff supports approval in accordance with 24A-8(b)(1). The *Design Guidelines* state that "minor alterations to areas that do not directly front on a public right-of-way such as... skylights should be allowed as a matter of course. While Staff finds that the proposed alteration is acceptable per the *Guidelines* permit drawings need include detailed specifications for the skylights. Additionally, these changes are not visible from the public right-of-way within the boundaries of the historic district and the *Guidelines* state that these changes should be approved as a matter of course.

### **Window Removal and Reconfiguration**

The applicant proposes to remove a window on the right elevation of the house and install a new clad window on the right side in a new window opening closer to the rear wall. The window proposed for removal on the right side is the rear-most six-over-one wood window. Information presented by the applicant at the preliminary consultation suggests that the wood windows throughout the house are historic. The applicant proposes install a new clad window in a new window opening 2' 6" (two feet, six inches) to the rear of the house.

The proposal evaluated at the Preliminary Consultation called for the removal of the paired sash window and the rear window on the west elevation and to install two smaller sash windows on the elevation in new locations. The proposal aimed to align new window openings with the reconfigured kitchen. Staff found that the proposal was contrary to the *Design Guidelines* which state, “Original size and shape of window and door openings should be maintained, where feasible.” Staff found, and the HPC concurred, that the historic paired sash windows were significant to historic character of the building and surrounding streetscape. Staff also determined that while the landscape around the house has matured, the windows on this elevation are visible from the public right-of-way when considered irrespective of the landscaping (see the c.2012 image below, prior to the maturing of much of the surrounding landscape).

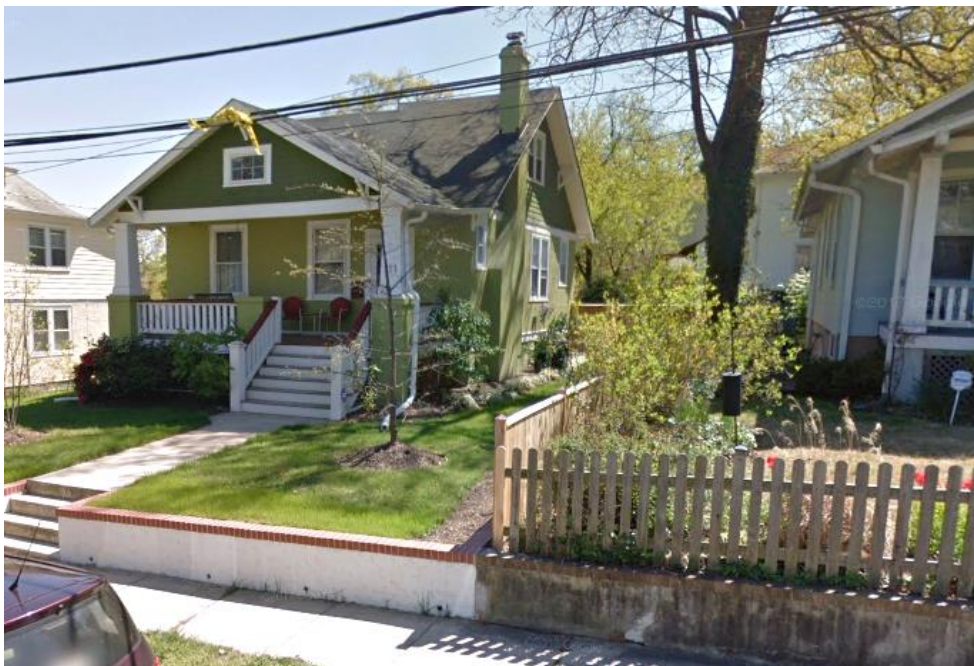


Figure 1: April 2012 view of the house showing the right rear windows.

The revised proposal calls for moving the rear window on the right (west) elevation by 2' 6" (two feet, six inches) and installing a new clad window in its place. The applicant will patch the existing opening and paint the wall to match. The applicant proposes to install a JeldWen Sitaline six-over-one wood clad window in the same size as the existing window with permanently applied interior and exterior muntins. At the preliminary consultation the applicant indicated that the sash cords were broken, and the build-up of paint made the windows difficult to operate. Staff does not believe that this alone is sufficient to justify the removal of a historic wood window and that if this historic window was repairable it could provide decades of continued use (there are also Montgomery County Tax Incentives available for the repair of this element). While the proposed replacement window will be the same size as the existing, Staff remains finds that the proposal does not comply with the *Design Guidelines*, which states that consideration should be given to maintaining original window and door openings, where

feasible. The proposed work is on a secondary elevation; however, the *Guidelines* do not dictate a less rigid adherence except when work will not be at all visible from the public right-of-way. Staff finds that approval of this HAWP should be conditioned on retaining the window on the west elevation to comply with the *Design Guidelines*.

The applicant proposes installing a window on the rear (south) elevation near the southwest corner of the house. The proposed window for the newly created opening will be a JeldWen Sitaline six-over-one wood clad window with permanently applied exterior and interior 7/8" (seven-eighths inch) with putty bevel-profiled muntins (see pages 26 for details). The proposed window will be the same size as the historic sash window discussed above in the same lite pattern, making the design appropriate for the architectural style of the house. This window will be partially visible from the public right-of-way, but in a location that is outside of the historic district. Staff finds that even though this new opening is at the rear of the house, because it is being created within the house's historic building envelope, the window needs to be wood to be compatible with the historic materials. Staff recommends conditioning approval of this HAWP on the use of a wood window being installed in the proposed opening. The new window should match the dimensions and profiles of the proposed clad window. The applicants identified window manufacture, JeldWen, makes a wood window in matching dimensions. Staff recommends that permit drawings showing a wood window installed in the rear elevation must be submitted for review and approval with final approval authority delegated to Staff.

#### **STAFF RECOMMENDATION**

Staff recommends the HPC **approve with three conditions** the HAWP application;

1. The window on the west elevation, needs to be maintained its historic location;
2. The new rear window needs to be wood. A clad window in this location is not appropriate. Submitted permit drawings must reflect compliance with this condition; and
3. Detailed specification for the skylights must be submitted for review and approval to Staff with the permit drawings with final approval authority delegated to Staff;

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Email: sthoehm@me.com Contact Person: SARAH BOEHRM  
Tax Account No.: 16-13-01073796 Daytime Phone No.: 510-282-3930  
Name of Property Owner: SARAH BOEHRM + LEONARD Daytime Phone No.: 510-282-3930  
Address: 111 ELM AVE TAKOMA PARK, MD 20912  
Street Number City State Zip Code  
Contractor: N/A Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: N/A Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 111 Street: ELM AVE  
Town/City: TAKOMA PARK Nearest Cross Street: ALLEGHENY AVE  
Lot: 77+78 Block: 100 Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

☐ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

**CHECK ALL APPLICABLE:**

☐ A/C ☐ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimator: \$ 50K

1C. If this is a revision of a previously approved active permit, see Permit # N/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sarah Boehrm  
Signature of owner or authorized agent

6/4/18  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

111 ELM AVENUE IS A SINGLE FAMILY HOME DESIGNATED AS A CONTRIBUTING RESOURCE TO TACOMA PARK'S HISTORIC DISTRICT. THE HOUSE IS PRESERVED IN KEEPING WITH THE ORIGINAL 1920S CRAFTSMAN COTTAGE STYLE, AND IN EXCELLENT CONDITION, WITH THE EXCEPTION OF A FRONT DOOR WHICH DOES NOT CONFORM TO THE 1920S STYLE AND APPEARS TO BE FROM THE 1950S.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT IS LARGELY AN INTERIOR KITCHEN REMODEL WITH SOME EXTERIOR MODIFICATIONS TO INCREASE LIGHT IN THE INTERIOR OF THE HOME, AND IMPROVE ACCESS TO AND VIEWS OF THE BACKYARD. THE EXTERIOR MODIFICATIONS INCLUDE MOVING AND REPLACING TWO WINDOWS ON THE WEST SIDE OF THE HOUSE, MOVING THE SCREENED IN PORCH DOOR TO THE:

(CONTINUED ON NEXT  
PAGE)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

(CONTINUATION OF 1.6. "GENERAL DESCRIPTION OF PROJECT")

BACK OF THE PORCH AND ADDING A SMALL DECK AND STAIRS FROM THE PORCH TO THE YARD, ADDING TWO SKYLIGHTS TO THE SCREENED IN PORCH, AND MOVING AND REPLACING THE EXTERIOR BACK DOOR TO THE PORCH WITH A TRANSOM WINDOW. IN ADDITION, THE REMODEL WILL INCLUDE A REPLACEMENT OF THE FRONT DOOR TO A STYLE IN KEEPING WITH THE 1920S CRAFTSMAN COTTAGE STYLE. OVERALL, THE CHANGES WILL EITHER IMPROVE UPON OR REMAIN IN KEEPING WITH THE HISTORIC STYLE OF THE HOME.

5. Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT: REPLACE FRONT DOOR WITH PERIOD APPROPRIATE STYLE DOOR



Detail: WESTSIDE: MOVE + REPLACE 2 WINDOWS

Applicant: SARAH BOETHM + LEONARD NEWMARK

Page: 16 OF 19

5, Existing Property Condition Photographs (duplicate as needed)



Detail: BACK: MOVE SCREEN DOOR TO BACK, ADD WINDOW, MOVE BACK DOOR, ADD SKYLIGHTS (2), ADD SMALL DECK + STAIRS TO YARD



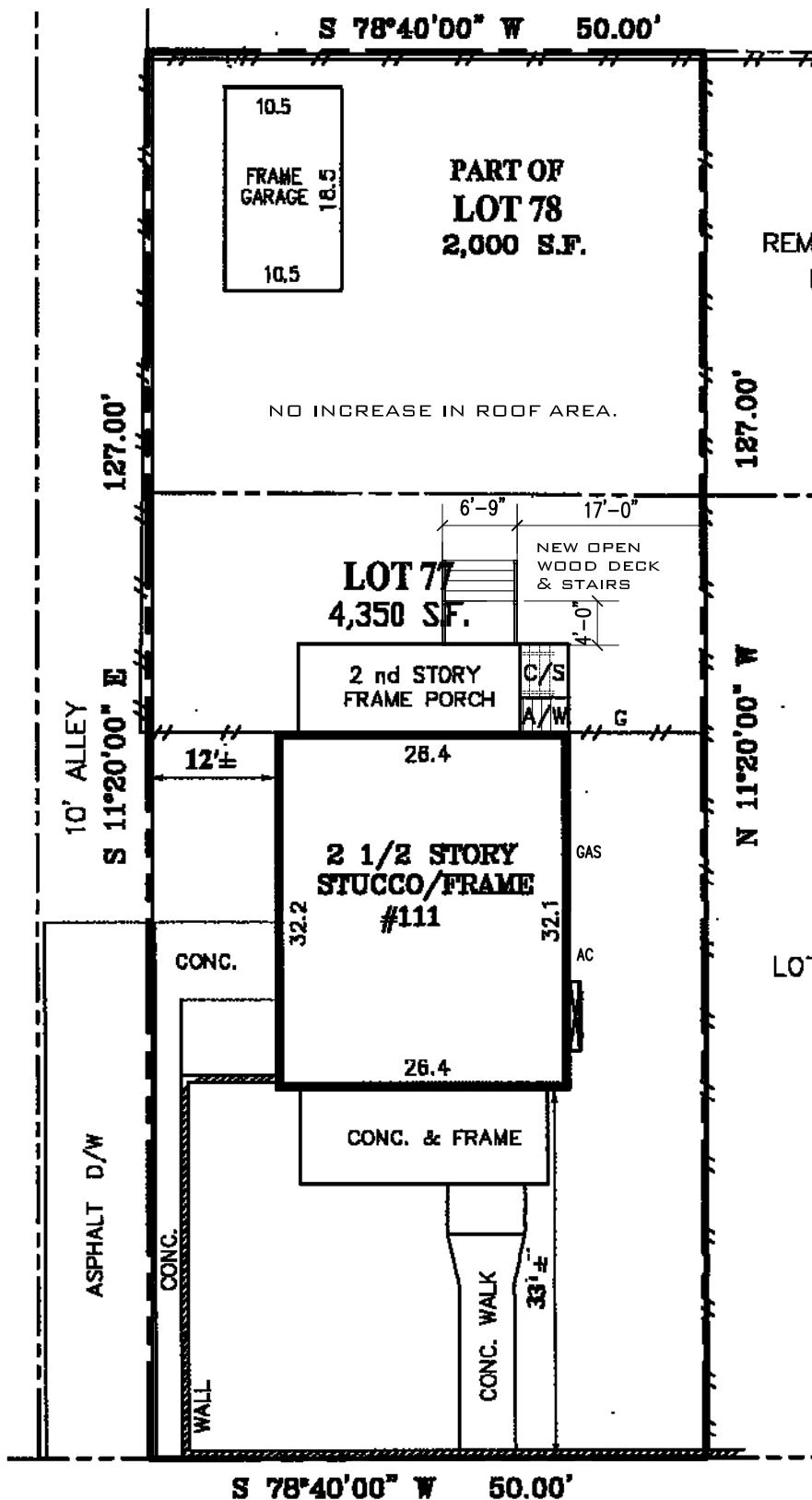
Detail: EASTSIDE: NO CHANGES

Applicant: SARAH BOEHM + LEONARD NEWMARK

Page: 17 OF 19

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<p>7. <b>HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING</b>  [Owner, Owner's Agent, Adjacent and Confronting Property Owners]</p>	
<p><b>Owner's mailing address</b></p> <p>SARAH BOETTCH + LEONARD  NEWMARK  111 ELM AVE  TAKOMA PARK 20912</p>	<p><b>Owner's Agent's mailing address</b></p> <p>N/A</p>
<p><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>ANDREAS SMITH + JENNIFER  GIBSON  109 ELM AVE  TAKOMA PARK, MD 20912</p>	<p>MARIA TSIOLIS + BENJAMIN  LAMBLOTTE  110 ELM AVE  TAKOMA PARK, MD 20912</p>
<p>GEORGE MIDDENDORF +  LISA FAMOLARE  112 ELM AVE  TAKOMA PARK, MD 20912</p>	<p>RUTH MASTERSON + MARTINA  BARASH  6807 ALLEGHENY AVE  TAKOMA PARK, MD 20912</p>
<p>BRIAN + CATHERINE  ROWLAND  113 ELM AVE  TAKOMA PARK, MD 20912</p>	<p>NINA ZIMDAHL + ROBERT  HART  6809 ALLEGHENY AVE  TAKOMA PARK, MD 20912</p>



## PROJECT SCOPE

Existing 1-1/2 story wood framed residence is a contributing resource in the Takoma Park Historic District. The project scope includes a minor interior renovation and small rear deck addition for better access to the yard from the existing screen porch. The expansion of the kitchen requires changes to the existing door and window openings on the west and rear elevation.

Construction to be in conformance with the IRC and IECC, 2015 Edition, as amended by Montgomery County Executive Regulation No 8-12.

## DRAWING INDEX

- 1 COVER SHEET/SITE PLAN
- 2 BASEMENT PLAN - DEMO
- 3 1ST FLOOR PLAN - DEMO
- 4 2ND FLOOR PLAN - DEMO
- 5 BASEMENT PLAN - NEW
- 6 1ST FLOOR PLAN - NEW
- 7 2ND FLOOR PLAN - NEW
- 8 DOOR & WINDOW SCHEDULE
- 9 FRONT & EAST SIDE ELEVATION
- 10 WEST SIDE ELEVATION
- 11 REAR ELEVATION
- 12 3D VIEWS & PHOTOS

## EXISTING SITE PLAN

Scale 1/16" = 1'-0"



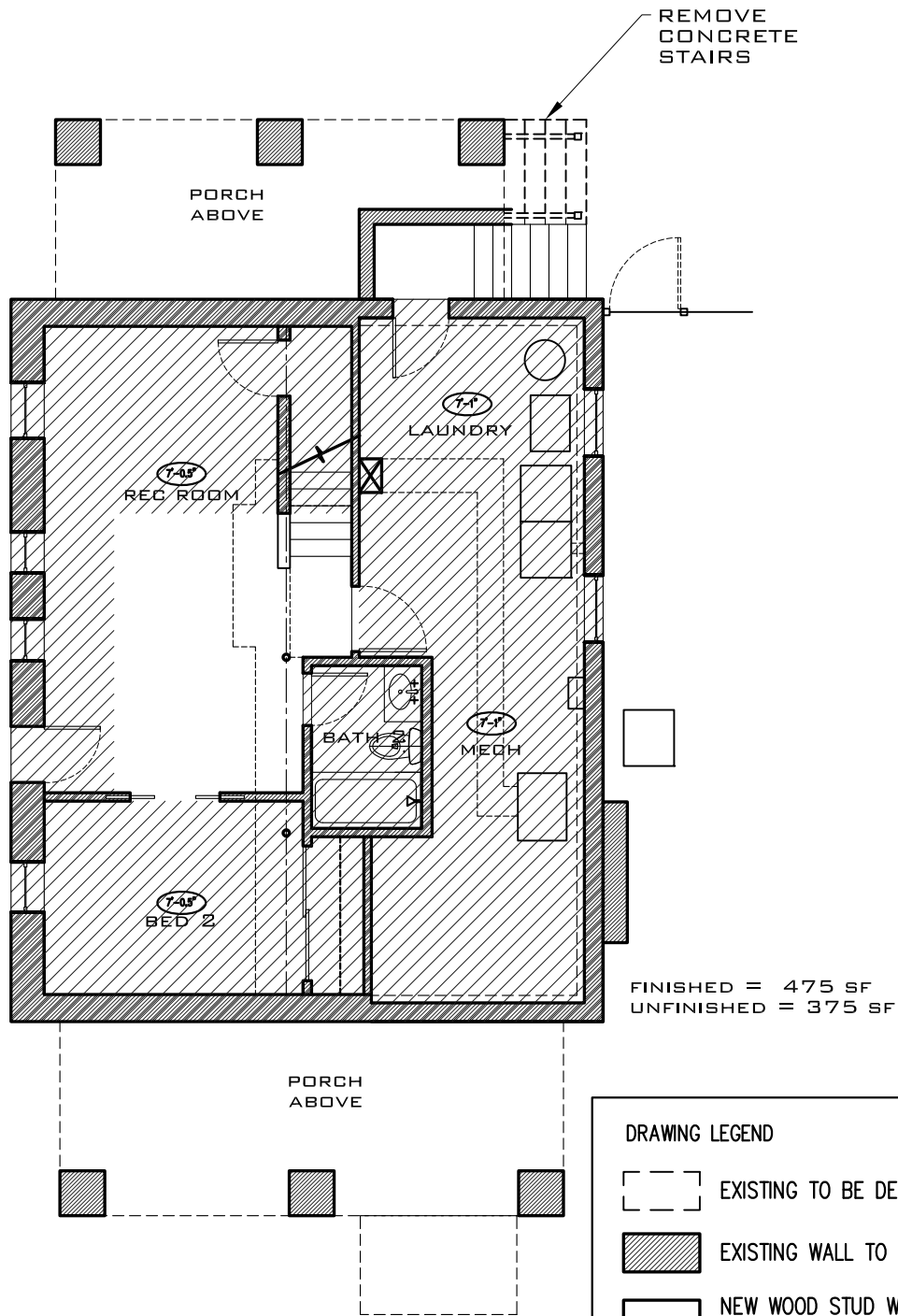
MJW DESIGNS, LLC  
30 Hayward Ct, Takoma Park, MD 20912  
443.994.8777

BOEHM-NEWMARK RESIDENCE  
111 Elm Avenue, Takoma Park, MD 20912

Historic Area Work Permit  
2018.07.05

1

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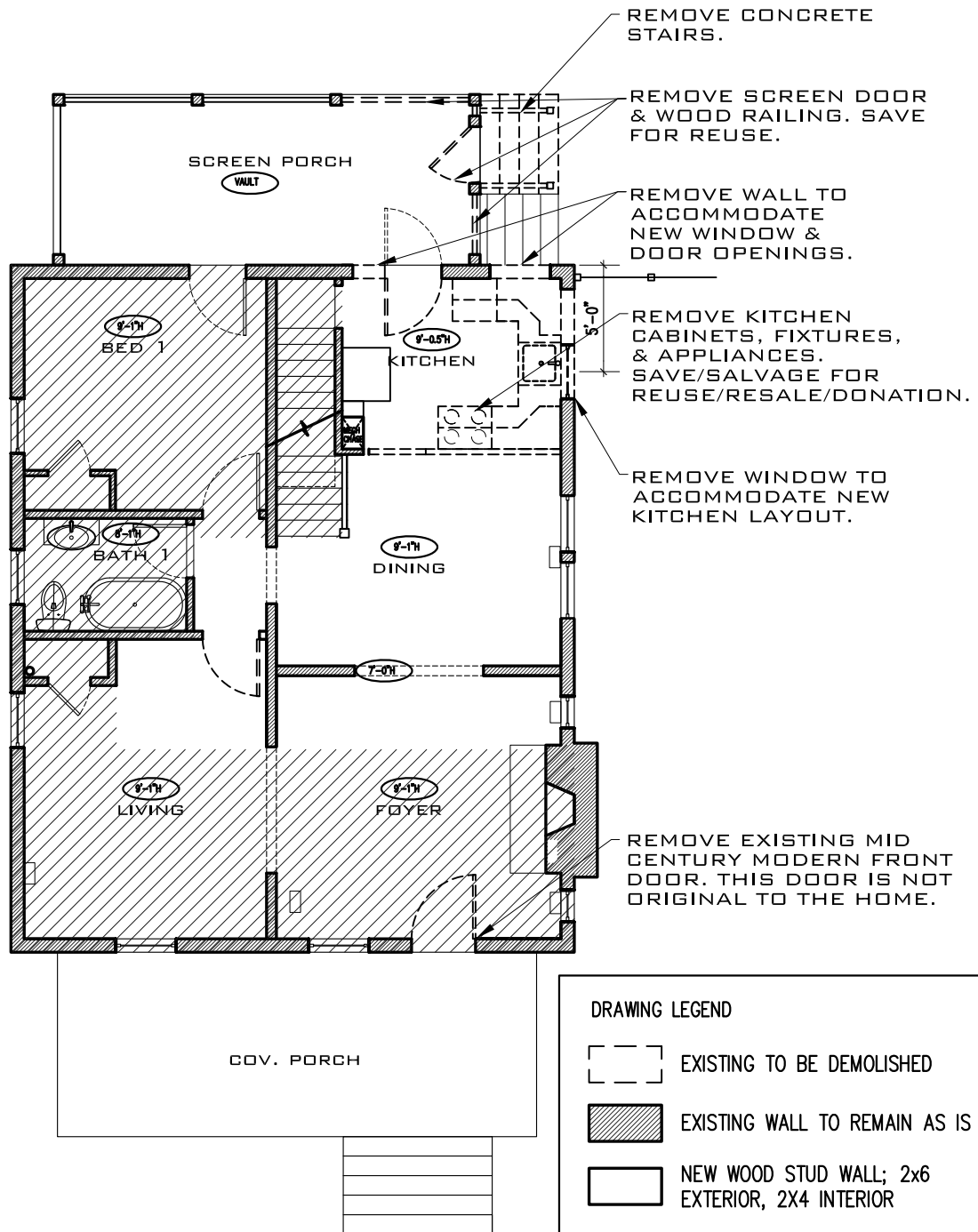
**DRAWING LEGEND**

- [Dashed line] EXISTING TO BE DEMOLISHED
- [Hatched box] EXISTING WALL TO REMAIN AS IS
- [White box] NEW WOOD STUD WALL; 2x6 EXTERIOR, 2X4 INTERIOR
- [Diagonal hatched box] NO NEW WORK - EXISTING TO REMAIN

**BASEMENT PLAN - DEMO**

Scale 1/8" = 1'-0"





## 1 ST FLOOR PLAN - DEMO

Scale 1/8" = 1'-0"



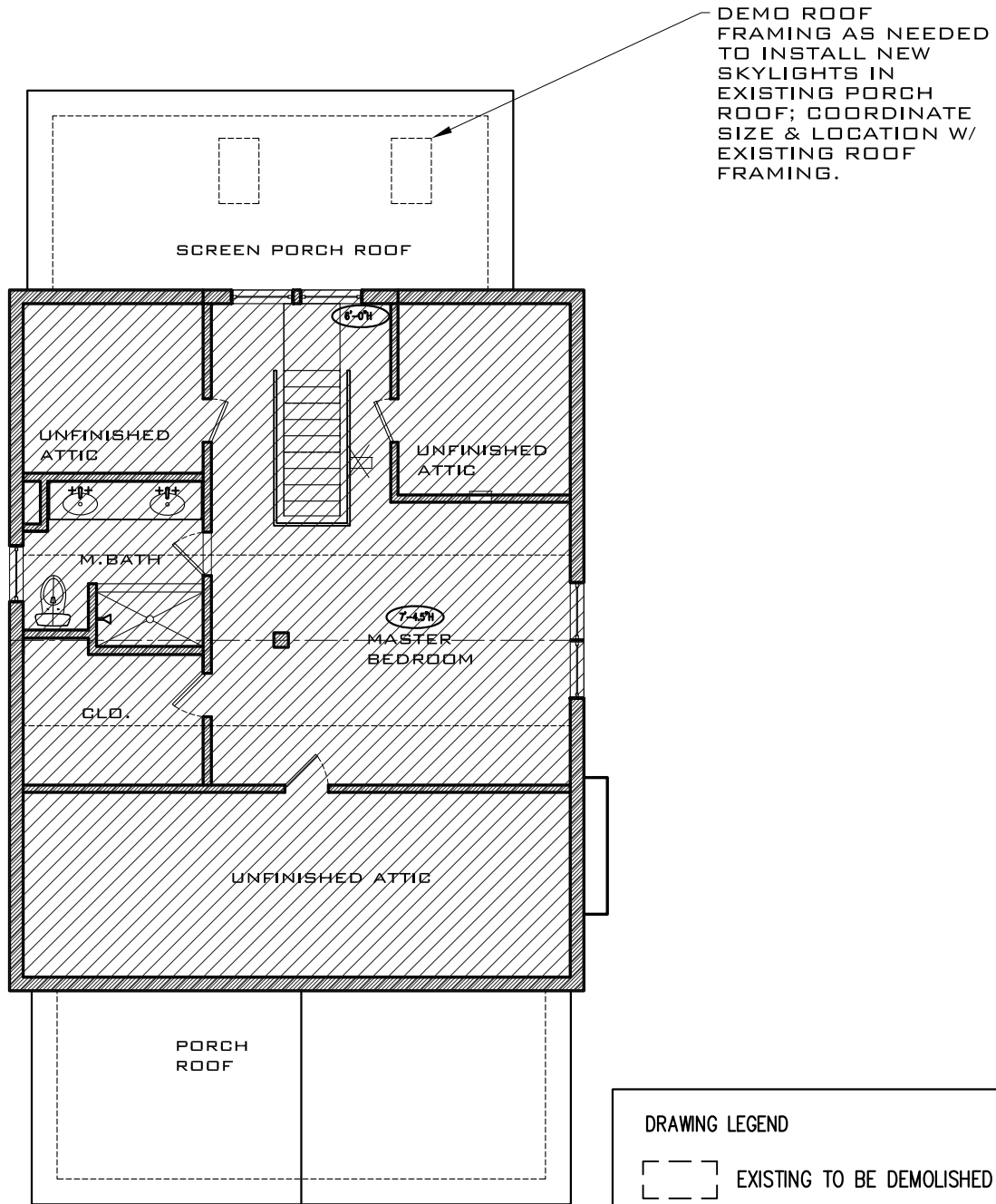
MJW DESIGNS, LLC  
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443.994.8777

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#### DRAWING LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING WALL TO REMAIN AS IS
- NEW WOOD STUD WALL; 2x6 EXTERIOR, 2x4 INTERIOR
- NO NEW WORK - EXISTING TO REMAIN

## 2ND FLOOR PLAN - DEMO

Scale 1/8" = 1'-0"



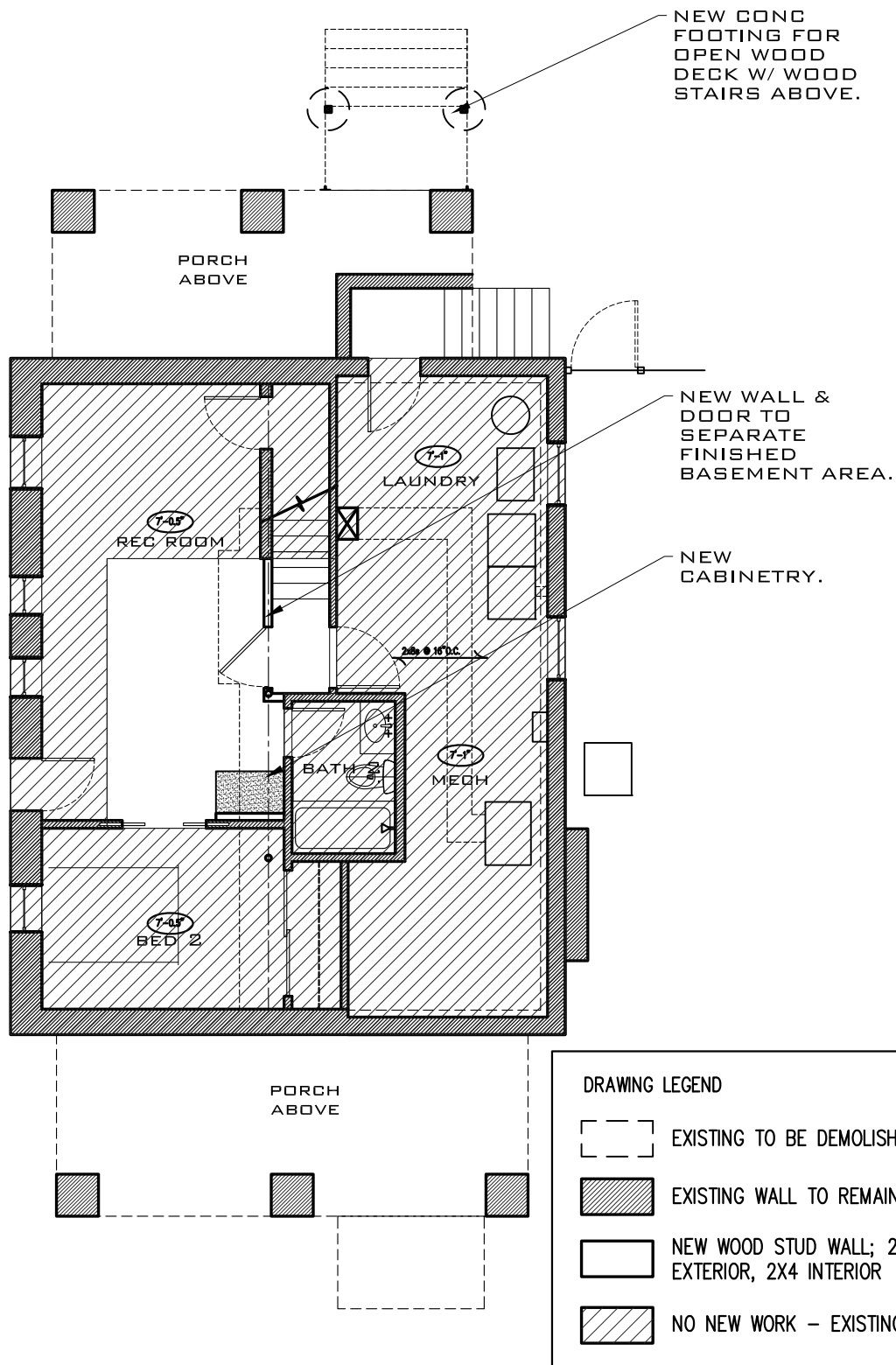
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## BASEMENT PLAN - NEW WORK

Scale 1/8" = 1'-0"



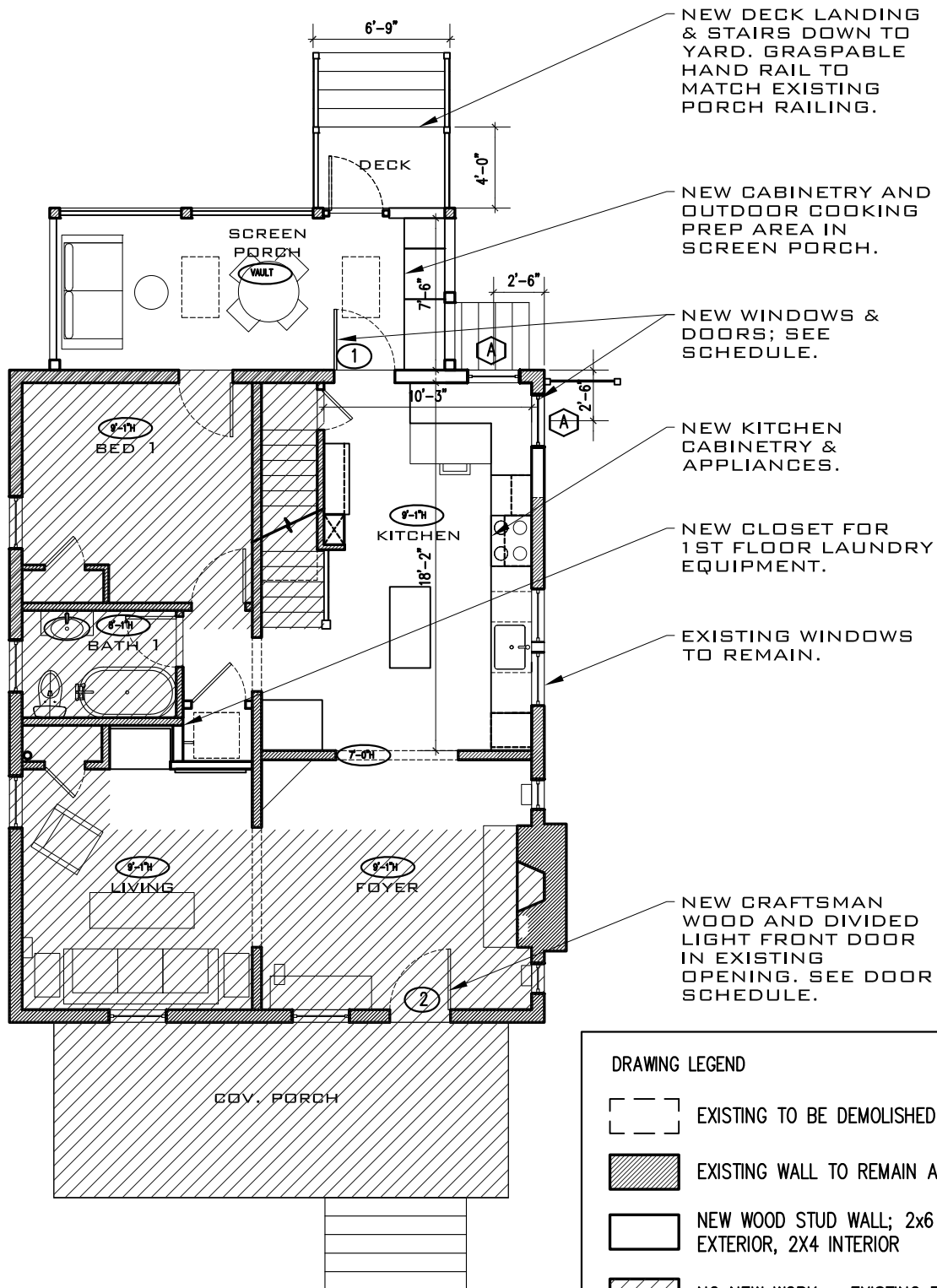
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## 1 ST FLOOR PLAN - NEW WORK

Scale 1/8" = 1'-0"



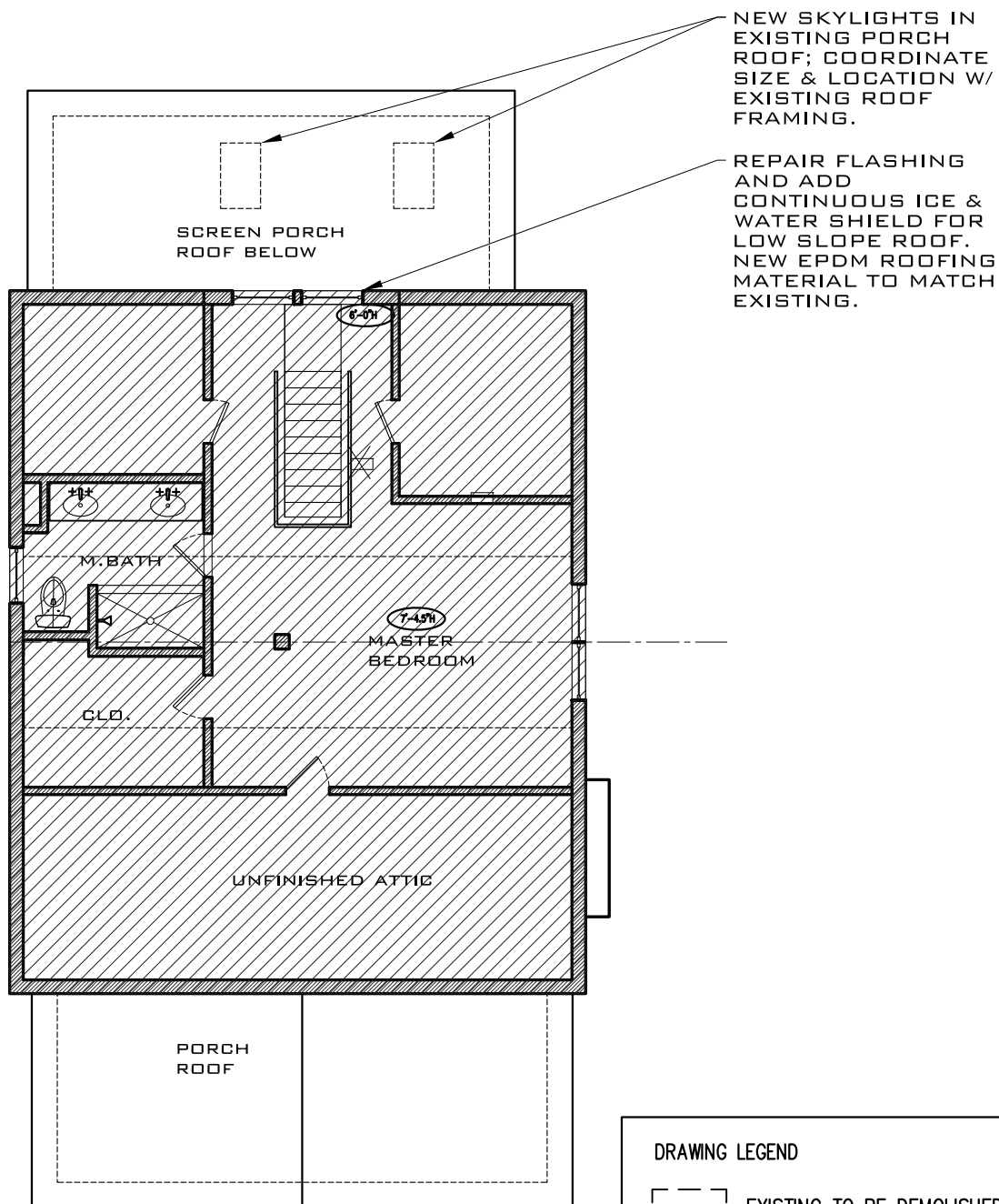
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## 2ND FLOOR PLAN - NEW WORK

Scale 1/8" = 1'-0"






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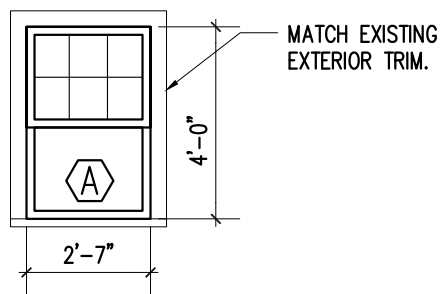
7

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EXTERIOR WINDOW & DOOR SCHEDULE		QUANTITY		
	JELDWEN SITELINE CLAD WOOD WINDOWS AND PATIO DOORS. WHITE CLAD EXTERIOR. PRIMED AND PAINTED INTERIOR WOOD. LOW E DOUBLE GLAZING WITH ARGON GAS FOR U-FACTOR OF .31 OR BETTER ON WINDOWS. SCREENS ON ALL OPERABLE UNITS. SIMULATED DIVIDED LITE (SDL) MUNTIN BARS AS SHOWN. HARDWARE FINISH TO BE SELECTED BY OWNER.	UP	LT.	RT.
	SCD3148 - 6/1 SIMULATED DIVIDED LITE PATTERN. (SAME SIZE AND STYLE AS EXISTING KITCHEN WINDOW.)	2		
	PRCOSW30611 - SITELINE CLAD WOOD OUTSWING PATIO DOOR W/ TRANSOM PRCOSTW3014, TEMPERED GLAZING.			1
	SIMPSON DOOR, MODEL 36802 CRAFTSMAN TWO PANEL - TWO LITE (SDL), TEMPERED GLAZING.			1

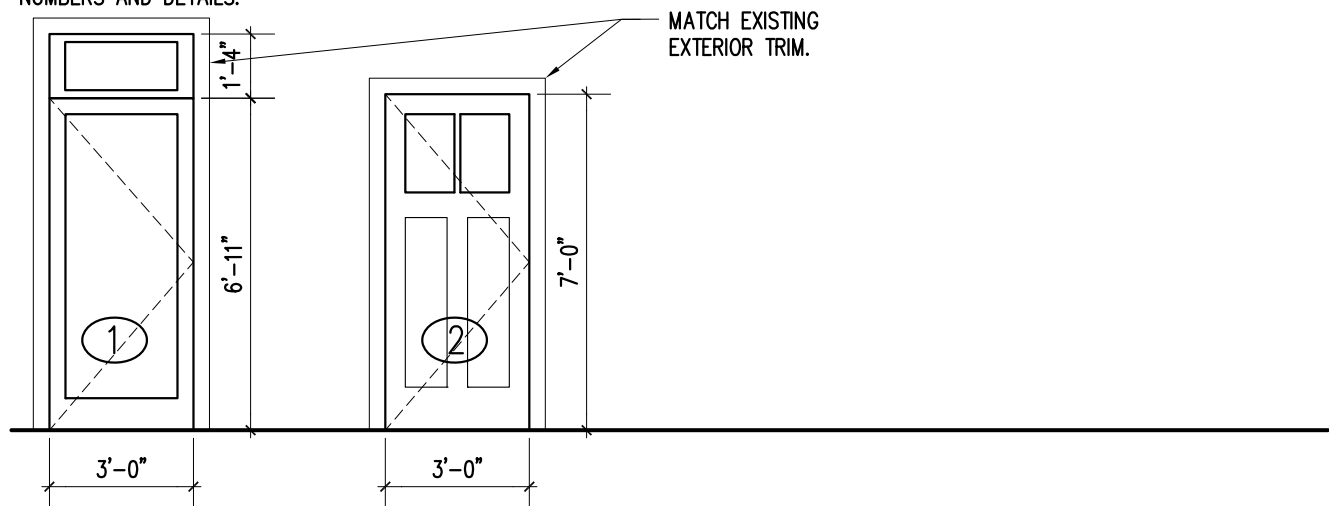
## NEW WINDOWS

DIMENSIONS NOTED ARE GENERAL UNIT DIMENSIONS. SEE MANUFACTURER FOR ROUGH OPENING SIZE. SEE SCHEDULE FOR MODEL NUMBERS AND DETAILS.



## NEW EXTERIOR DOORS

DIMENSIONS NOTED ARE GENERAL UNIT DIMENSIONS. SEE MANUFACTURER FOR ROUGH OPENING SIZE. SEE SCHEDULE FOR MODEL NUMBERS AND DETAILS.



## EXTERIOR DOORS & WINDOWS



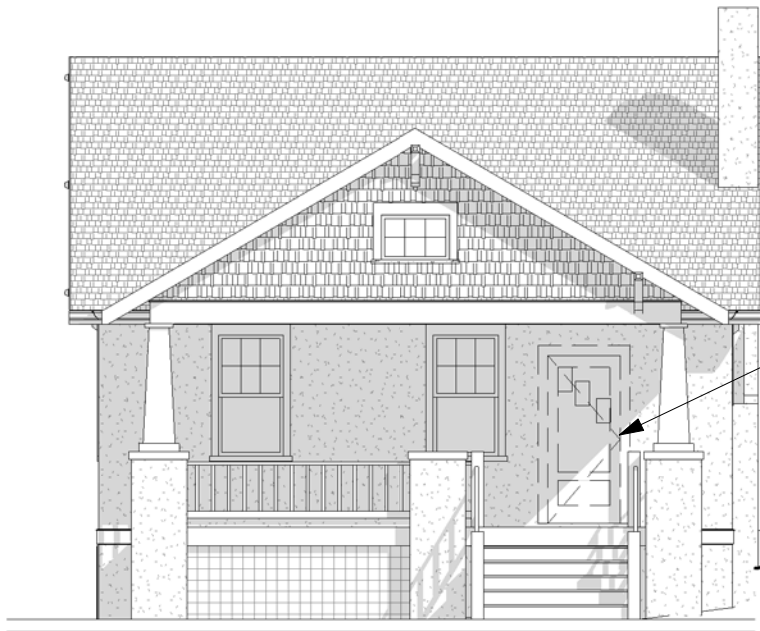
MJW DESIGNS, LLC  
30 Hayward Ct., Takoma Park, MD 20912  
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111 Elm Avenue, Takoma Park, MD 20912

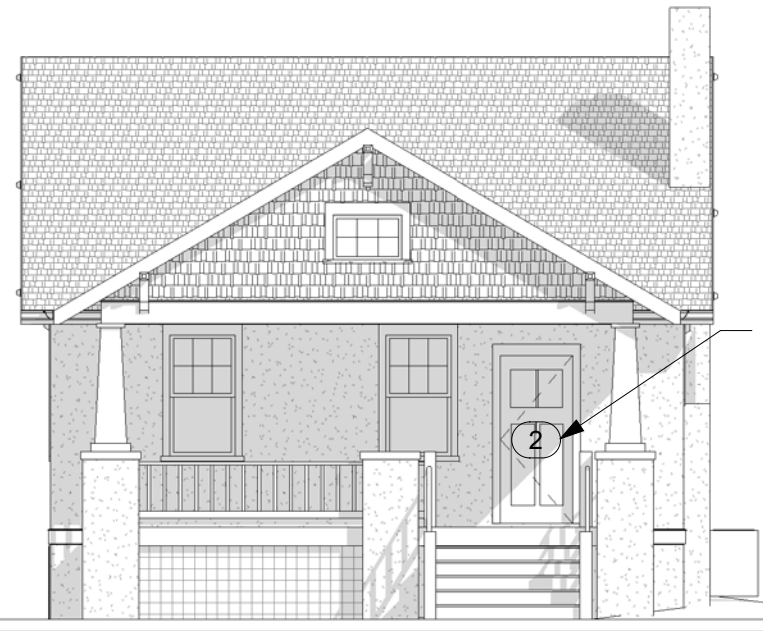
Historic Area Work Permit  
2018.07.05

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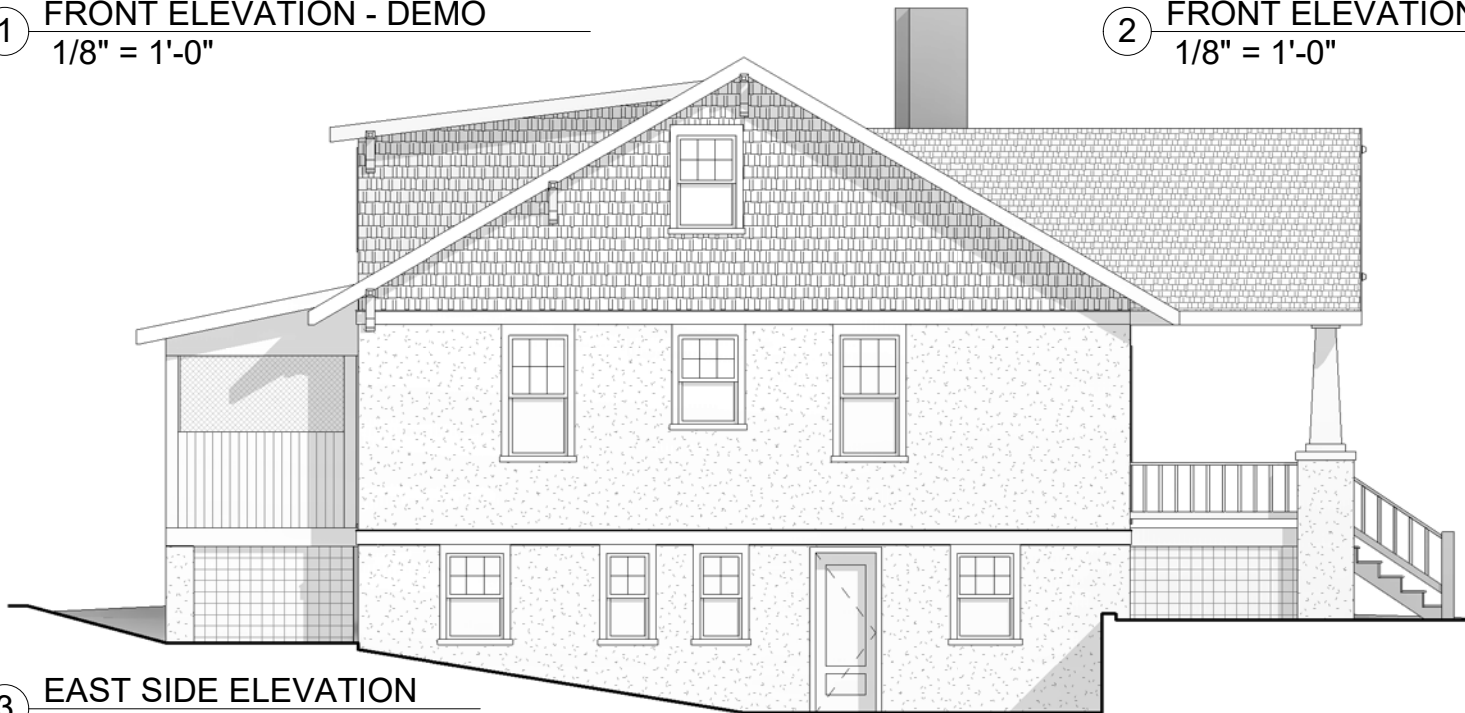
REMOVE MID  
CENTURY  
MODERN  
DOOR - NOT  
ORIGINAL TO  
HOUSE.



NEW WOOD  
CRAFTSMAN  
DOOR W/  
GLASS; SEE  
DOOR  
SCHEDULE.

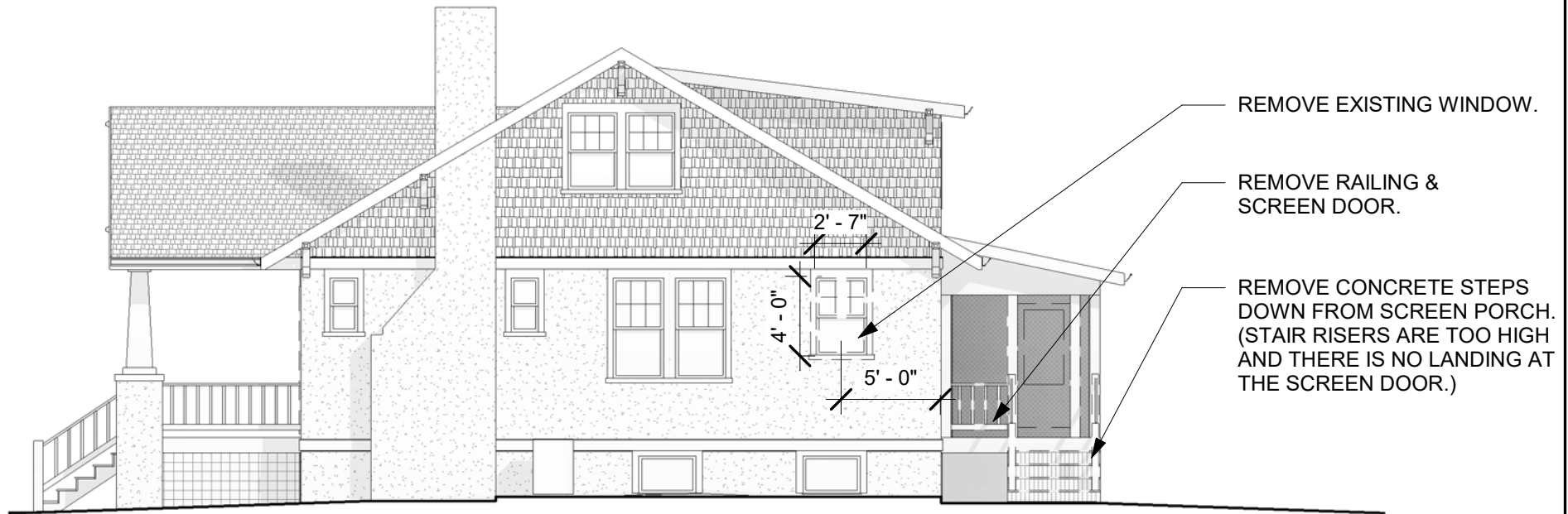
① FRONT ELEVATION - DEMO  
1/8" = 1'-0"

② FRONT ELEVATION - PROPOSED  
1/8" = 1'-0"

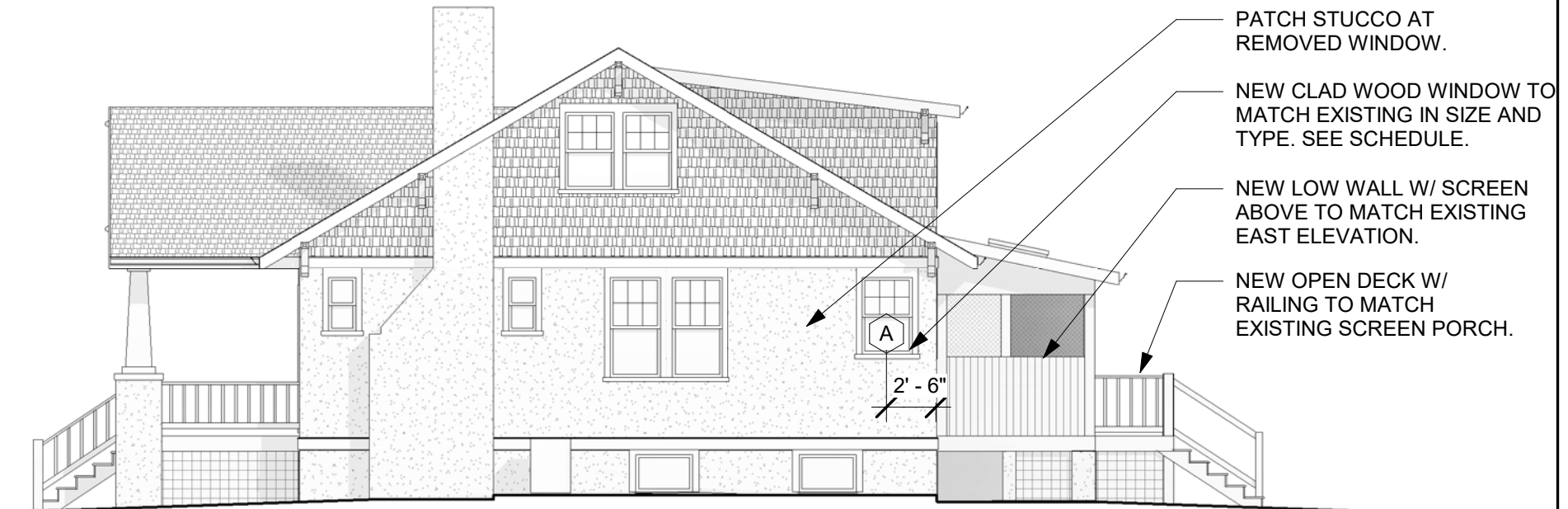


③ EAST SIDE ELEVATION  
1/8" = 1'-0"

NO EXTERIOR CHANGES PROPOSED TO THIS ELEVATION.



① WEST SIDE ELEVATION - DEMO  
1/8" = 1'-0"



② WEST SIDE ELEVATION - PROPOSED  
1/8" = 1'-0"

REMOVE EXISTING DOOR  
TO SCREEN PORCH.

REMOVE RAILING & STEPS.

① REAR ELEVATION - DEMO  
1/8" = 1'-0"

NEW SKYLIGHTS IN EXISTING  
SCREEN PORCH ROOF.

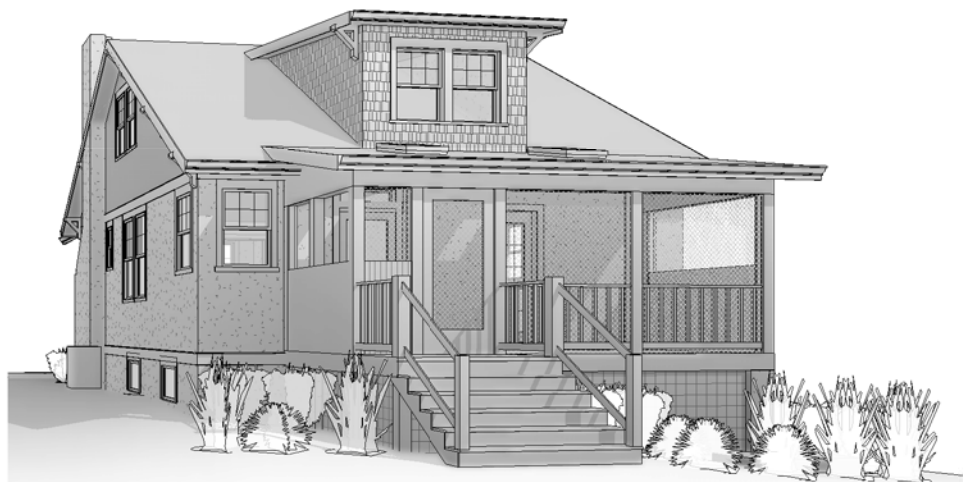
NEW CLAD WOOD WINDOW  
& DOOR, SEE SCHEDULE.

NEW WOOD LANDING,  
STEPS, & RAILING TO  
MATCH EXISTING SCREEN  
PORCH.

② REAR ELEVATION - PROPOSED  
1/8" = 1'-0"



**PROPOSED BACKYARD VIEWS**



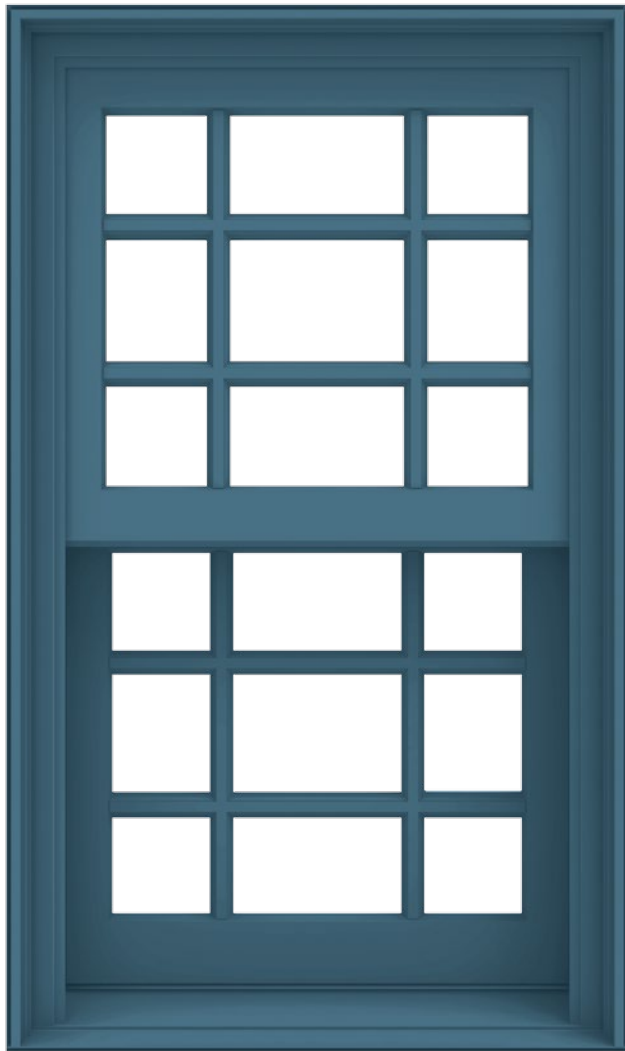
**EXISTING BACKYARD VIEWS**



## DOUBLE-HUNG WINDOWS

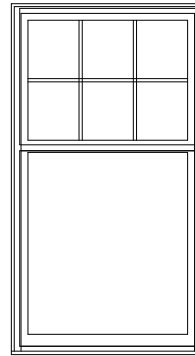
JELD-WEN double-hung windows offer a traditional style. They feature an upper and lower sash that can slide vertically past each other in a single frame and have a concealed jamb liner, providing a clean and architecturally focused look. Both sash tilt in for convenient cleaning.

These windows feature an optional 3-1/2" bottom rail with optional finger plow and a top rail with optional finger routes.

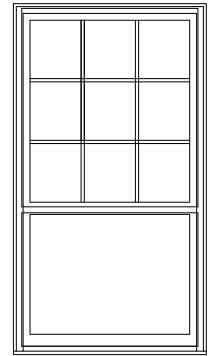


Beneath the low-profile exterior are several engineering and design cues that will keep these windows operating smoothly for years to come. See dealer for additional product details and ordering information.

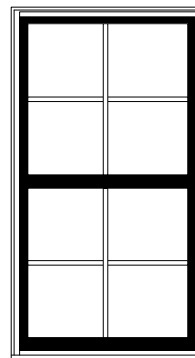
### OPTIONAL DESIGNS



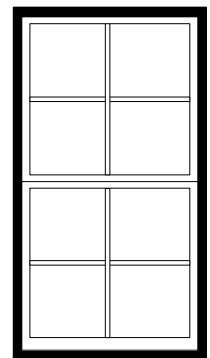
COTTAGE



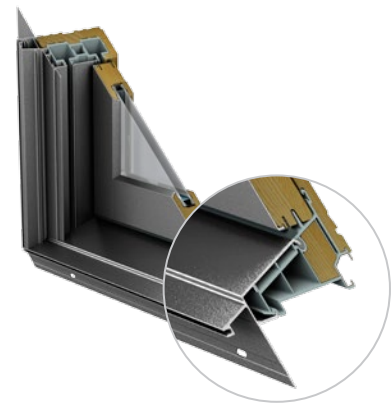
REVERSE  
COTTAGE



HYBRID  
WOOD FRAME/  
CLAD SASH



HYBRID  
CLAD FRAME/  
WOOD SASH

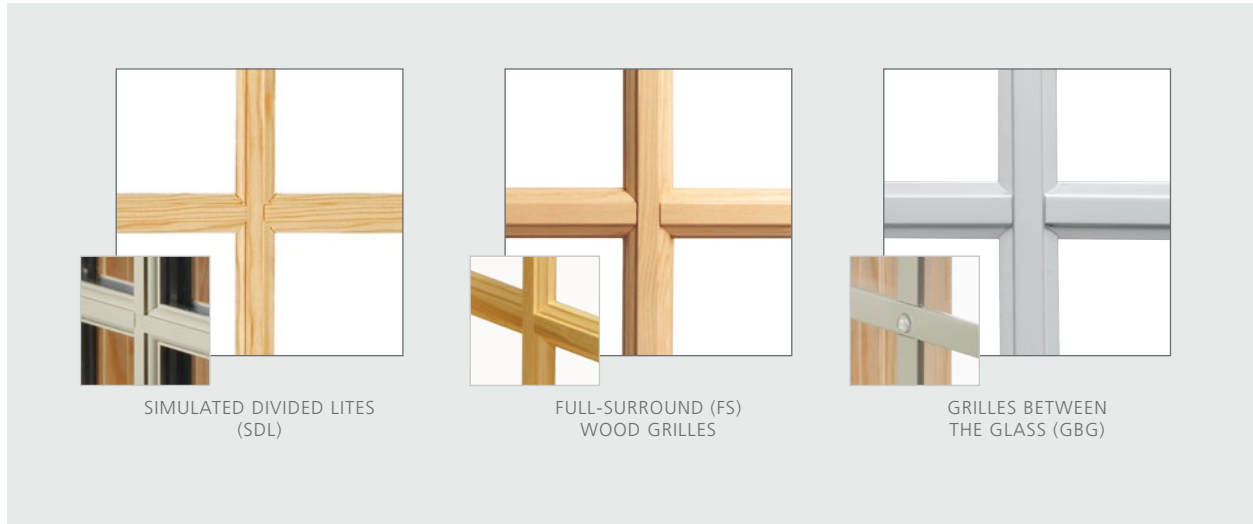


### CHAMBERED COMPOSITE INTERIOR SILL

- Added strength
- Space in chambers acts as thermal break

## DIVIDED LITES

Add architectural interest to your JELD-WEN® Sitrine® wood and clad-wood windows with one of our decorative grille options. These options include Simulated Divided Lites (SDL) for an authentic look, Full-Surround (FS) wood grilles that can be removed for easy cleaning, and maintenance-free Grilles Between the Glass (GBG).



### SIMULATED DIVIDED LITES (SDL)

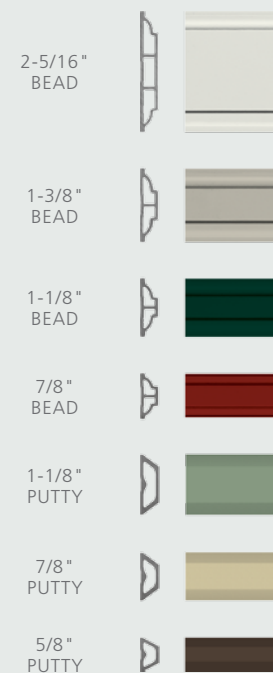
Our permanently attached wood grilles create a truly authentic look. Grilles are adhered to the interior glass while exterior grille options include aluminum for clad wood or wood for primed wood. The optional light brown or silver shadow bars are placed between the two panes of insulating glass to complete the effect. Interior and exterior SDLs are available in decorative beaded or subtle putty profiles (shown to the right).

### FULL-SURROUND (FS) WOOD GRILLES

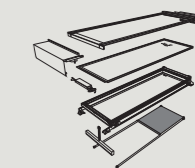
Enjoy low-maintenance beauty with our full-surround wood grilles that can be removed for easy cleaning. Choose from 7/8", 1-1/8" or 1-3/8" grilles that are positioned on the interior glass surface.

### GRILLES BETWEEN THE GLASS (GBG)

This option provides style without the upkeep. Select 5/8" flat or 23/32" or 1" contour metal grilles in many of our clad colors.



Decorative grilles are also available in woodgrain finishes.



## How to measure the modules

Width and height of the modules are determined by the exterior **W** and **H** dimensions of the frame – not the measurements of the cladding, flashing or brackets.

