

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7309 Piney Branch Rd., Takoma Park	<b>Meeting Date:</b>	2/12/2019
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	2/6/2019
<b>Review:</b>	HAWP	<b>Public Notice:</b>	1/30/2019
<b>Case Number:</b>	37/03-19D	<b>Tax Credit:</b>	Partial
<b>Applicant:</b>	Natalie Hopkins	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Building Addition, Door Replacement, and Porch Modifications		

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**RECOMMENDATION**

Staff recommends that the Historic Preservation Commission **approve with one condition** the HAWP application:

1. The proposed vinyl clad wood windows are not an appropriate material. The approved windows in the addition need to be wood or aluminum clad wood windows. Detailed specifications for the windows need to be submitted to Staff for verification prior to permitting.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource to the Takoma Park Historic District  
**STYLE:** Queen Anne  
**DATE:** c.1890-1905

The subject property is a two-and-a-half stories tall, four bays wide, Queen Anne-style dwelling with cedar shingle siding and a cross gable roof.

At the rear of the house there are two additions. The larger addition was constructed c. 1960, while the other addition was constructed in 2006.



Figure 1: 7309 Piney Branch Rd. is located near Eastern Ave. and the Washington D.C. border.

## **BACKGROUND**

On January 9, 2019 the subject property was reviewed by the HPC as a Preliminary Consultation. The HPC's comments were overall supportive of the proposed changes but identified the form of the proposed roof dormer on the right elevation to be inappropriate and recommended revisions either by removing the dormer on this elevation or by bringing it in from the wall plane and moving toward the rear. The applicant responded that the HPC "recommendation of allowing the new addition gable roof to match the eave height of the existing roof provided design relief, but introduced constructability and cost challenges that were undesirable for this project. The previous iteration of the dormer has been outlined in all views for comparison with the current proposal." Design changes have been undertaken to reduce the impact of a dormer on the right side of the house.<sup>1</sup>

The scope of work presented in the preliminary consultation included the removal of the non-historic shingle siding and restoration of the historic siding. The applicant has removed this work from the scope of work under consideration for this HAWP.

## **PROPOSAL**

The applicant proposes to:

- Remove the Doric columns in the porch and install square columns and install a balustrade in the front porch;
- Construct an addition at the rear that extends the 2<sup>nd</sup> and 3<sup>rd</sup> floor above the existing addition;
- Install gutters and downspouts;
- Fenestration changes on the right elevation; and
- Other changes that are restorative or other repairs that do not require HPC review.

<sup>1</sup> The previous Staff Report can be found here: <https://montgomeryplanning.org/wp-content/uploads/2019/01/IL.B-7309-Piney-Branch-Road-Takoma-Park.pdf>. The audio transcript is located here: <https://montgomeryplanning.org/wp-content/uploads/2019/01/IL.B-7309-Piney-Branch-Road-Takoma-Park.pdf>, with consideration of this item beginning at 35:15.

### **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

#### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

While additions should be compatible, they are not required to be replicative of earlier architectural styles.

Some non-original building materials may be acceptable on a case-by-case basis;

artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

**Secretary of the Interior's Standards for Rehabilitation**

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The applicant proposes to undertake work in several areas of the house. Some of this work is eligible for the County's Historic Preservation Tax Credit Program and will be identified as such in this Staff Report.

**Porch Alterations**

The applicant proposes several modifications to the existing porch. First, the applicant proposes removing the existing shed roof on the porch and installing a hipped roof. Second, the applicant proposes to remove the Doric columns and replace them with square columns. The applicant proposes to install a new wood baluster with a 2" (two inch) square pickets and a new set of front stairs with a handrail matching the balustrade.

The applicant indicates that the current porch was modified or significantly altered c.1960 and while there is no documentary evidence included with the application, Staff finds this to be a reasonable conclusion. The remainder of the house was significantly modified during that time. Staff cannot determine if the existing front porch is historic or a later replacement. Sanborn

maps show a full-width porch dating to at least 1927, but those records do not indicate porch roof type. However, Staff finds that a hipped roof would be period-appropriate. The house to the left has a full-width hipped roof porch and the house to the right has a full-width shed roofed porch. Staff finds that an alteration to this feature would be acceptable. Staff additionally finds that square columns would be a period-appropriate design. Wood columns are the appropriate material for this architectural feature.

The proposed front baluster is simply detailed and will not detract from the historic appearance of the house. Staff supports approval of this element.

The applicant proposes to remove the side loading steps, which do not appear to be historic, and to replace the front-loading steps with a new set that includes a railing. These features do not appear historic and their replacement with the simply detailed wood steps would be appropriate. Staff is uncertain if the rise of the proposed steps will be lower than the existing or if there will be an accompanying grade change as the proposal will add an additional stair. Staff finds the changes to the porch are compatible with the historic character of the house (Standard 5 and 24A-8(b)(1)) and supports approval of the porch alterations.

### **Rear Addition**

The applicant proposes to construct an addition at the rear that will expand to the 2<sup>nd</sup> and 3<sup>rd</sup> floors above the footprint of the existing rear additions. The addition will be clad in Hardi clapboard siding with wood corner trim. The proposed windows are vinyl clad wood, Andersen 200 Series in a two-over-two configuration throughout. The roof pitch of the rear addition will mirror the historic roof, with a ridgeline 4' 6" (four feet, six inches) lower than the historic gable ridge. To create more occupiable space, the applicant proposes to construct dormers to either side.

The proposed addition will be constructed above the footprint of the c.1960 and 2006 additions at the rear. These additions are inset by 13" (thirteen inches) from the right historic wall plane and are inset by several feet from the left wall. The view of the addition from the left is further obscured by the bay window on the left elevation. The gable roof of the addition will be 4' 6" (four feet, six inches) lower than the historic gable roof. The proposed addition will provide access to all three floors of living space. This will be accomplished in the 3<sup>rd</sup> floor by adding a large shed dormer to both sides of the dormer. At the preliminary consultation the HPC determined that the dormer on the left side of the house would not detract from the historic appearance of the house and would support approval of this element at the HAWP stage. In revising the proposal for the right side of the addition the applicant encountered feasibility and cost challenges with matching the eave height, so in order to reduce the visual impact of the dormer, the applicant took the following steps:

- Inset south wall of dormer 21" from the exterior walls below
- Reduced dormer width from 16'-0" to 14'-6"
- Reduced wall plate height and increased slope of south roof
- Shifted entire dormer to rear. Previous design was ±4'-9" from existing roof, current proposal is ±6'-9" from existing roof.

The changes to the design are best detailed in drawings 13 and 16 submitted with the application materials.

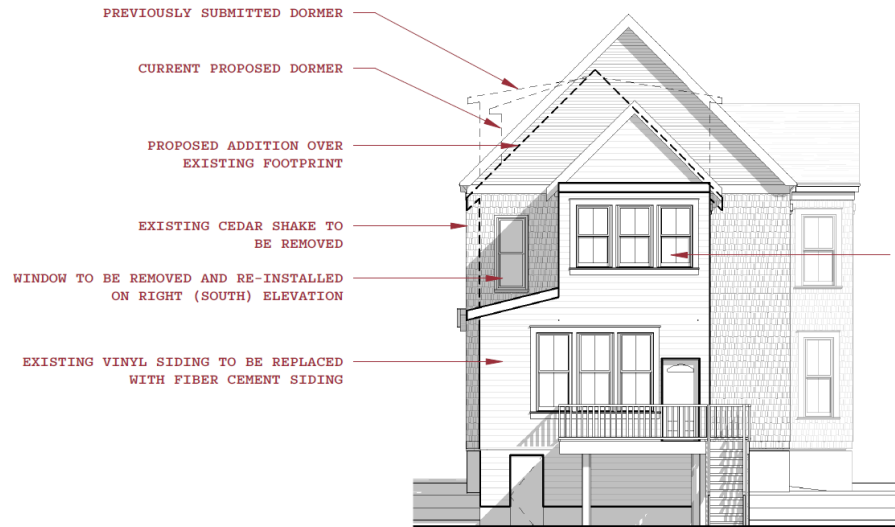


Figure 2: Rear elevation showing the outline of the previous and revision for the dormer.

The HPC's initial recommendation was to raise the eave line and increase the pitch of the roof. This would have provided significantly more clearance in the third floor. The other alternative recommended was to inset the dormer from the wall plane and to move it further to the rear. The applicant indicated that raising the eave was not feasible and instead raised the dormer roof pitch, brought the dormer in by 21" (twenty-one inches), and shifted the dormer to the rear by an additional 2' (two feet). Staff finds that this change significantly reduces the visual impact of the dormer from the previous proposal. The submission reviewed by the HPC at the prelim not only proposed a taller dormer that was closer to the right of way, but also created a four-story vertical wall plane which had the effect of increasing the massing of the rear addition. By reducing the size of the dormer and pulling it away from the wall plane, the impact the dormer has on the historic building and surrounding district is significantly reduced. Staff finds that dormer is compatible with the historic house in size, scale, and massing supports approval under 24A-8(b)(2).

The windows proposed for the new addition are all two-over-two Andersen 200 series vinyl-clad wood windows. This configuration is found throughout the historic house and Staff finds the lite pattern to be compatible. Staff, however, does not find the material to be appropriate for the Takoma Park Historic District, as the HPC has not approve vinyl clad wood windows on additions to contributing buildings. Staff recommends the HPC approve the proposed window locations and configuration, but include the condition for approval that the windows be wood or aluminum clad wood windows. The exterior of vinyl windows is too flat to be compatible and - especially when coupled with Hardi siding - does not provide adequate shadow lines or depth on new construction to be compatible with the historic. Staff and the HPC have consistently determined that wood or aluminum clad wood windows have sufficient depth to be compatible on additions to contributing buildings in the Takoma Park Historic District.

Staff recommends the HPC approve the addition with the added condition for approval that the windows be either wood or aluminum clad wood windows. Detailed specifications need to be submitted to Staff for verification prior to permitting.

### **Gutters and Downspouts**

The applicant proposes to install aluminum gutters and downspouts. The applicant proposes to install an aluminum, K-style gutter. Staff finds that this design is appropriate for the house and will not detract from the historic character of the house or surrounding district. Staff supports approval of this element under 24A-8(b)(1) and (2).

### **Fenestration Alterations to the Right Elevation**

The window placement on the right elevation has been significantly altered. There are two non-historic fixed windows on the first floor on the right elevation. The applicant proposes removing these two windows and installing a window on this elevation. This window introduced on this elevation will be a historic wood window, removed from the rear of the house, and installed directly under a second-floor window. Staff finds that this change will enhance the historic character of the house by removing the non-historic windows and stacking the windows on this elevation. Staff recommends approval of the window removal and relocation.

### **Other Changes Not Subject to HPC Review**

The applicant proposes to replace the existing non-historic front door with the original front door, which has been stored in the basement. There is a historical basis for this and it is an original feature which should not be subject to HPC review and approval. This work is eligible for the County historic preservation tax credit. Additionally, the applicant proposes to repair the window in the north-facing gable. As this is an exterior repair it does not require review and approval from the HPC and is also eligible for the County historic preservation tax credit. The applicant proposes to undertake several other changes to the basement; however, these changes are on the interior and will not have a visual impact on the exterior of the house or on the right-of-way and are not subject to review.

### **STAFF RECOMMENDATIONS**

Staff recommends that the Commission **approve with one condition** the HAWP application;

1. The proposed vinyl clad wood windows are not an appropriate material. The approved windows in the addition need to be wood or aluminum clad wood windows. Detailed specifications for the windows need to be submitted to Staff for verification prior to permitting.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400****APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Email: BEN@BENNORKINARCHITECTURE.COM Contact Person: BEN NORKIN  
Daytime Phone No.: 202-578-7094  
Tax Account No.: 01071423  
Name of Property Owner: NATALIE HOPKINS Daytime Phone No.: 202-997-1489  
Address: 7309 PINEY BRANCH RD TAKOMA PARK, MD 20912  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 7309 Street: PINEY BRANCH RD  
Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVE  
Lot: 19 Block: 12 Subdivision: 0025  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF WORK/ ACTION AND USE****1A. CHECK ALL APPLICABLE:**

☒ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☒ Repair ☐ Revocable

**CHECK ALL APPLICABLE:**

☐ A/C ☐ Slab ☒ Room Addition ☒ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \$160,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Benjamin J. Norkin*  
Signature of owner or authorized agent

12/17/2018

Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

# **1. WRITTEN DESCRIPTION OF THE PROJECT**

## **a. Description of existing structure and environmental setting, including historical features and significance**

This three story, gable-roofed, cedar wood shingled Victorian house with original details in the interior was constructed in 1896. It features 30 original double hung two-over-two sash windows, including 8 double hung two-over-two windows in the two story bay window on the northern side of the house. It also has wood fish scale shingles at the dormer/third floor level. The front of the house faces west. There is a wooden porch with Doric columns in the front of the house and a modern kitchen addition with vinyl siding and deck in the rear of the house. It is located in the Takoma Park historic district and sits between similar houses on the odd side of the street. The house to the south (7307) was constructed in 1884 and the house to the north (7311) was constructed in 1902.

## **b. General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.**

Restore original Fish Scale shingles on the third floor front exterior.

Project will also replace rotting porch boards and replace existing Doric style columns with style appropriate columns and add a row of balusters to provide a more classic Victorian porch appearance. New wooden steps with railings will be added. Porch footprint to remain the same.

Restore original third floor dormer bay window facing west. Replace front door with original front door currently in storage.

Extend 2nd floor and 3rd floor at rear to occupy space above existing 1st floor. No new footprint will be added to the site.

Install gutters and downspouts at inside corners to improve drainage.

### **UPDATE:**

Removal of non-original cedar shake siding and repair of original clapboards has been removed from the current scope of work. Finishing of existing cellar has been added, with no requirement for exterior work.

Per guidance from Staff and the Board, the south-facing shed dormer has been changed to provide a less obtrusive physical form. The following changes have been made:

- Inset south wall of dormer 21" from the exterior walls below
- Reduced dormer width from 16'-0" to 14'-6"
- Reduced wall plate height and increased slope of south roof
- Shifted entire dormer to rear. Previous design was  $\pm 4'-9"$  from existing roof, current proposal is  $\pm 6'-9"$  from existing roof.

Board recommendation of allowing the new addition gable roof to match the eave height of the existing roof provided design relief, but introduced constructability and cost challenges that were undesirable for this project. The previous iteration of the dormer has been outlined in all views for comparison with the current proposal.

## **MAILING ADDRESSES FOR HAWP APPLICATION NOTIFICATION**

### **OWNER'S MAILING ADDRESS**

Natalie Hopkins  
7309 Piney Branch Rd  
Takoma Park, MD 20912

### **OWNER'S AGENT'S MAILING ADDRESS**

Ben Norkin  
Ben Norkin Architecture  
7204 Trescott Ave  
Takoma Park, MD 20912

### **ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES**

Chris and Shivani Sutton  
7307 Piney Branch Rd  
Takoma Park, MD 20912

John and Lindsey Simpson  
7310 Piney Branch Rd  
Takoma Park, MD 20912

Constance Mayer  
7311 Piney Branch Rd  
Takoma Park, MD 20912

Jodie Steiner and Federico Mini  
7312 Piney Branch Rd  
Takoma Park, MD 20912

Paula Kowalczyk and Peter Kovar  
7112 Holly Ave  
Takoma Park, MD 20912



FRONT ELEVATION (WEST) FACING PINEY BRANCH RD



FRONT ELEVATION (WEST) FACING PINEY BRANCH RD



REAR ELEVATION (EAST)



REAR ELEVATION (EAST)

**BEN NORKIN**

**- ARCHITECTURE -**

7204 Trescott Ave  
Takoma Park, MD 20912

202 - 578 - 7094

bennorkinarchitecture.com  
ben@bennorkinarchitecture.com

# HOPKINS RENOVATION

**NATALIE HOPKINS AND JOHN BOHN**  
7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY BJN

SHEET NO:

**3**

SHEET NAME:

**EXISTING  
ELEVATIONS**

SCALE:  $\frac{3}{32}'' = 1'-0''$



**1**

**EXISTING LEFT ELEVATION**

$\frac{3}{32}'' = 1'-0''$

**BEN NORKIN**

**- ARCHITECTURE -**

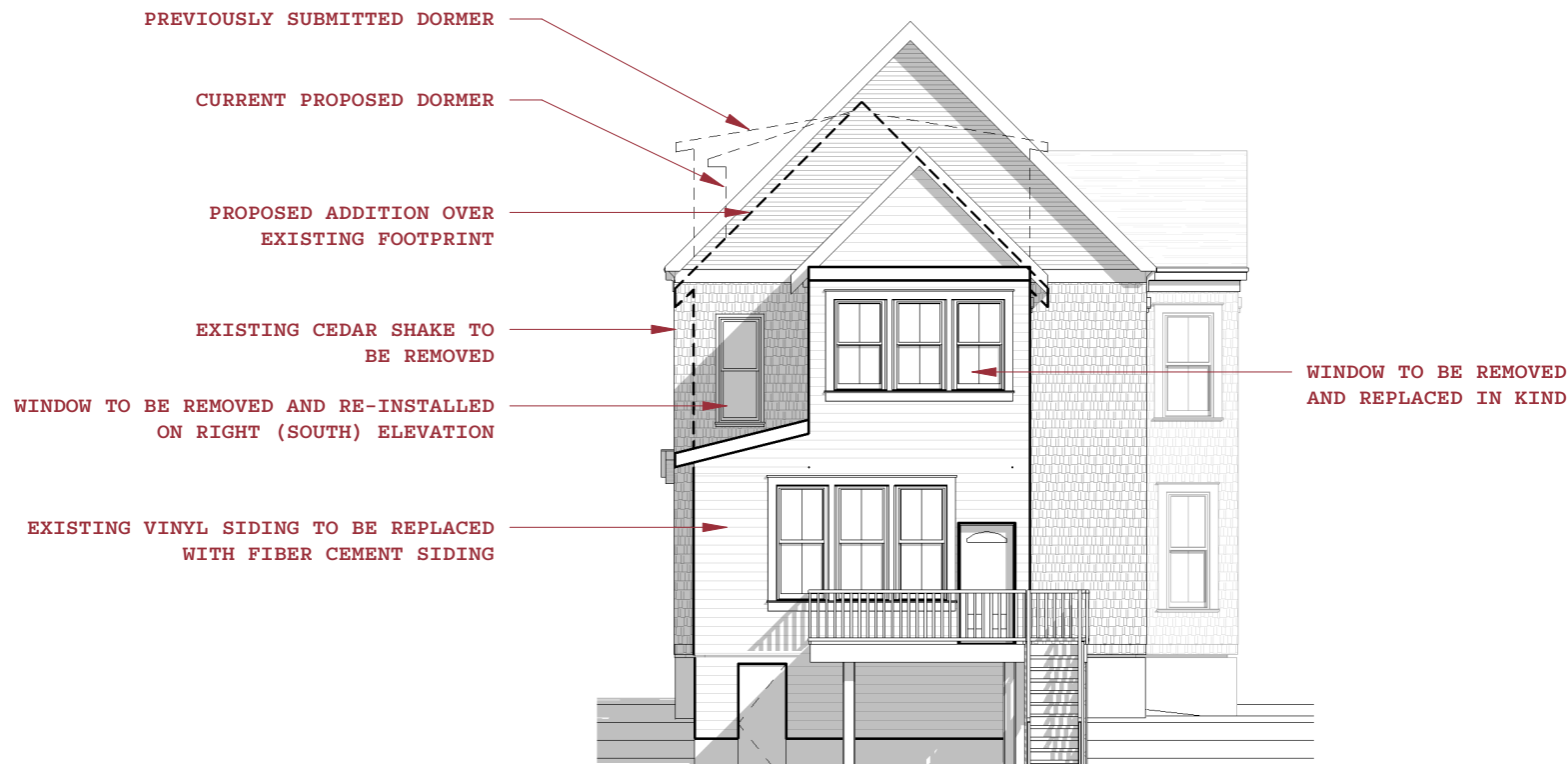
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**NATALIE HOPKINS AND JOHN BOHN**  
7309 Piney Branch Rd Takoma Park, MD 20912



1 EXISTING REAR ELEVATION  
3/32" = 1'-0"

PROJECT: 18004

DRAWN BY BJN

SHEET NO:  
4

SHEET NAME:  
**EXISTING  
ELEVATIONS**

SCALE:  
3/32" = 1'-0"

1/25/2019 11:12:59 AM

**BEN NORKIN**

**- ARCHITECTURE -**

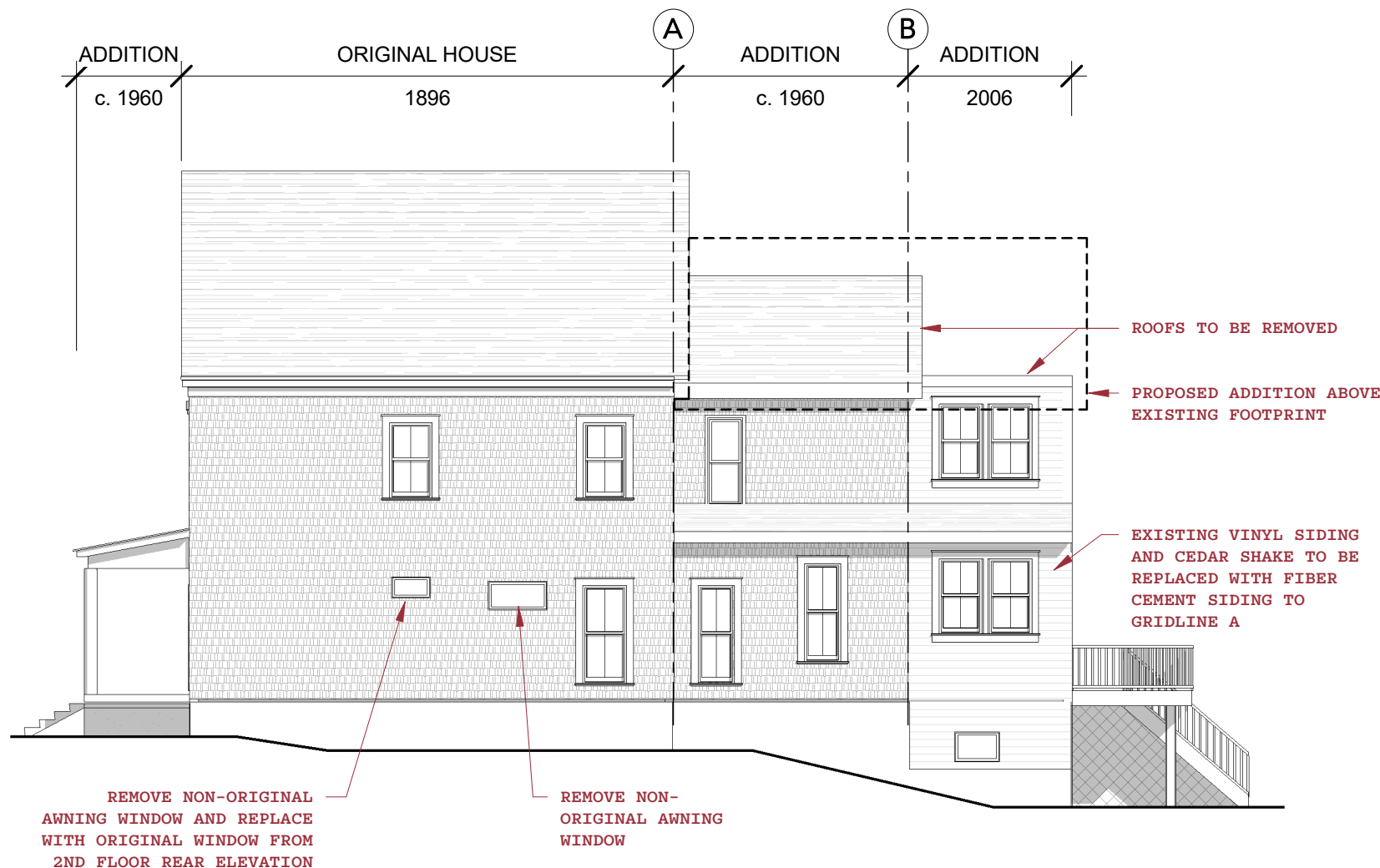
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1 EXISTING RIGHT ELEVATION  
3/32" = 1'-0"

PROJECT: 18004

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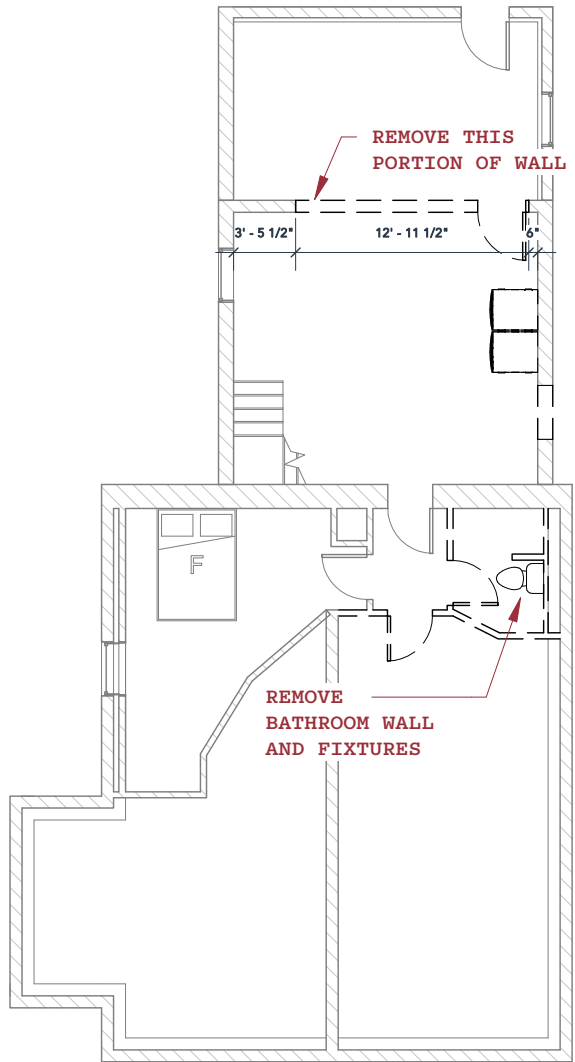
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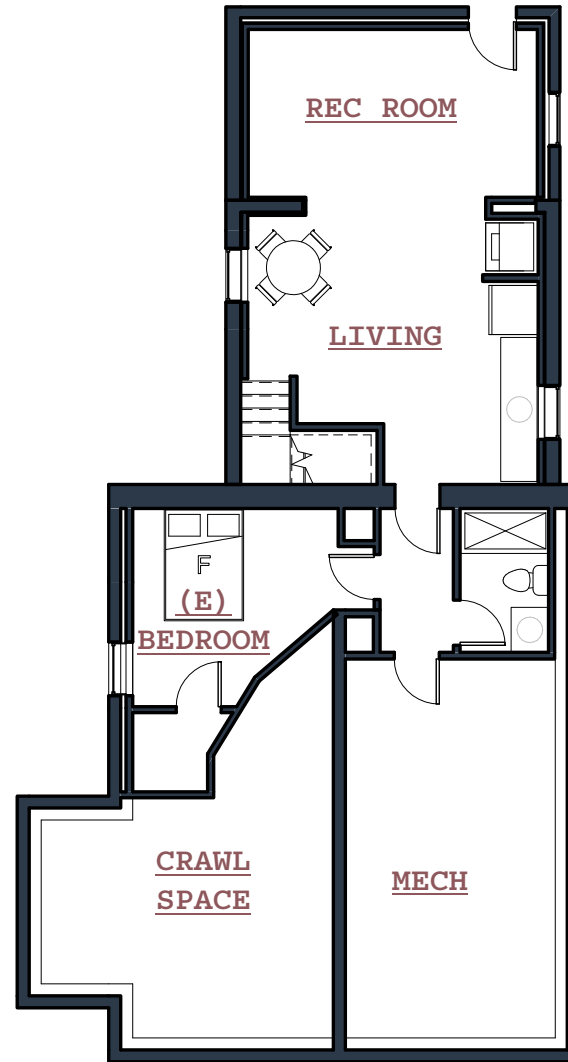
**EXISTING  
ELEVATIONS**

SCALE: 3/32" = 1'-0"

1/25/2019 11:13:00 AM



2 CELLAR PLAN  
EXISTING/DEMO  
3/32" = 1'-0"



1 CELLAR PLAN  
PROPOSED  
3/32" = 1'-0"

**BEN NORKIN**  
- ARCHITECTURE -

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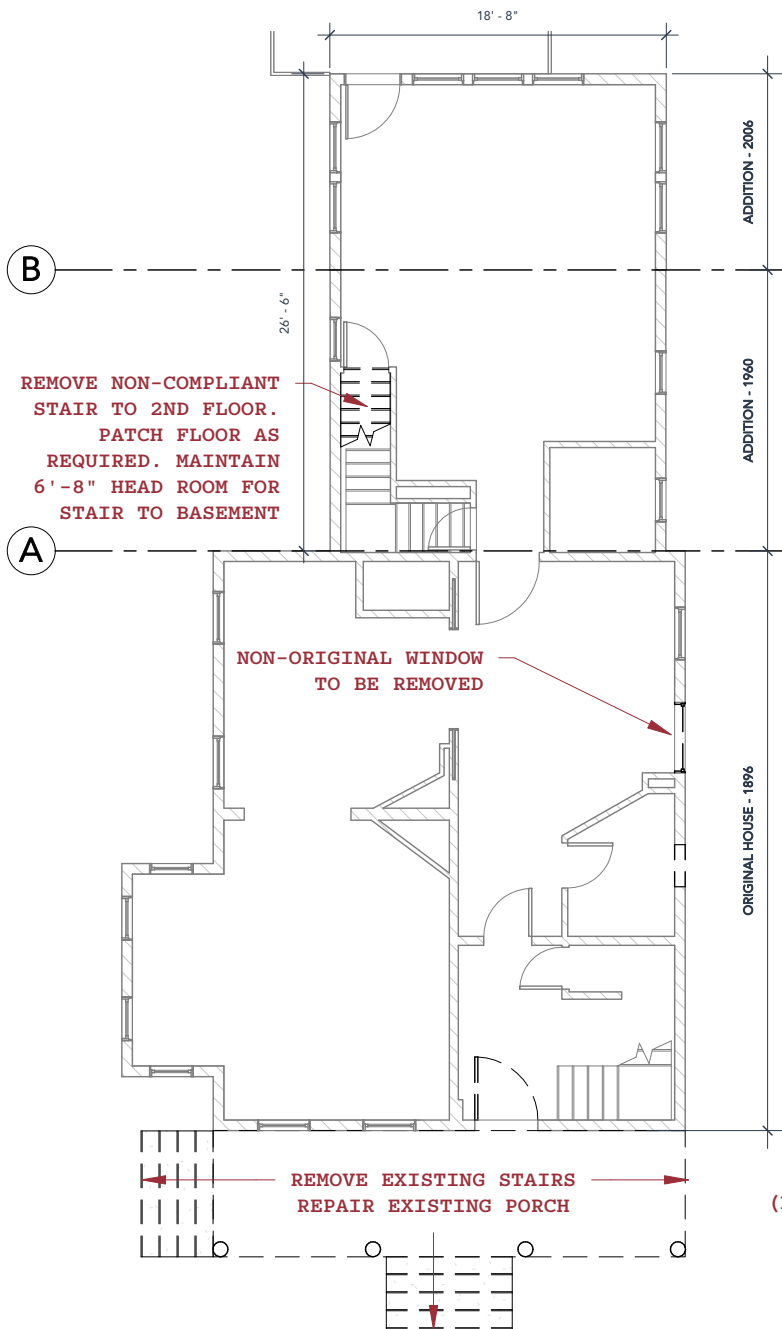
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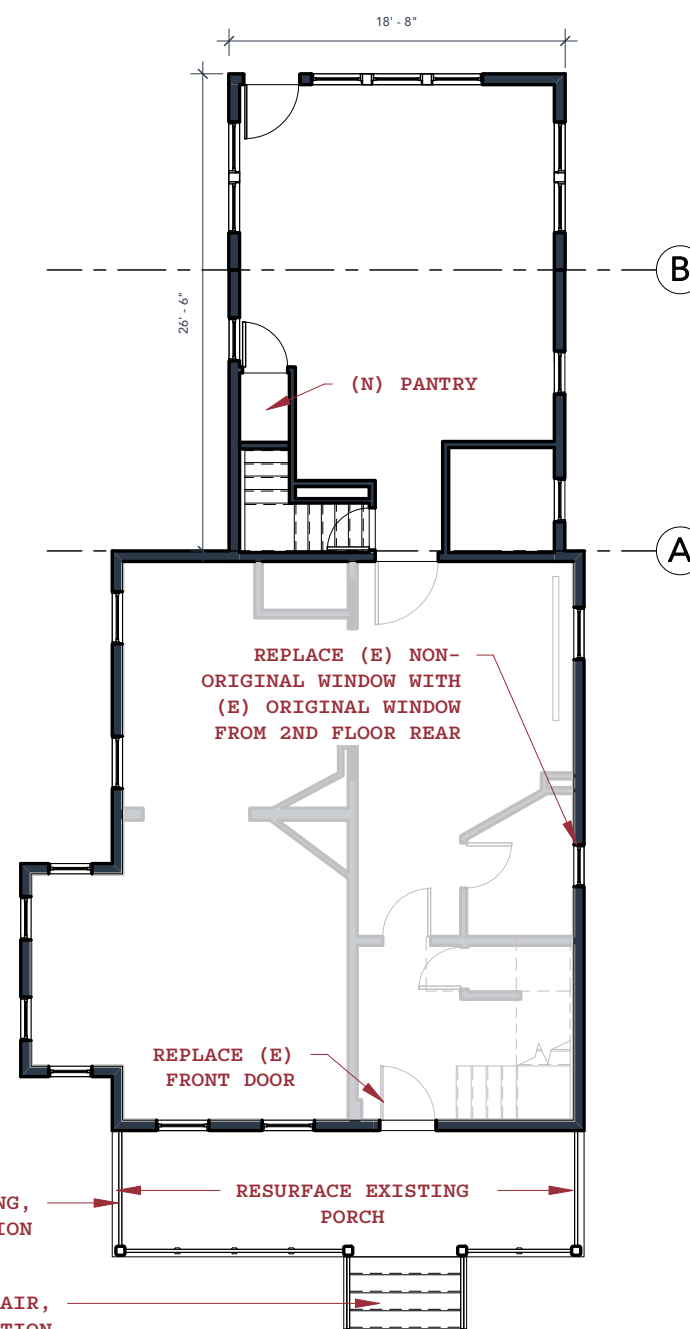
SHEET NO:  
**6**

SHEET NAME:  
**CELLAR FLOOR  
PLAN**

SCALE:  
3/32" = 1'-0"



2 1ST FLOOR PLAN  
EXISTING/DEMO  
3/32" = 1'-0"



1 1ST FLOOR PLAN  
PROPOSED  
3/32" = 1'-0"

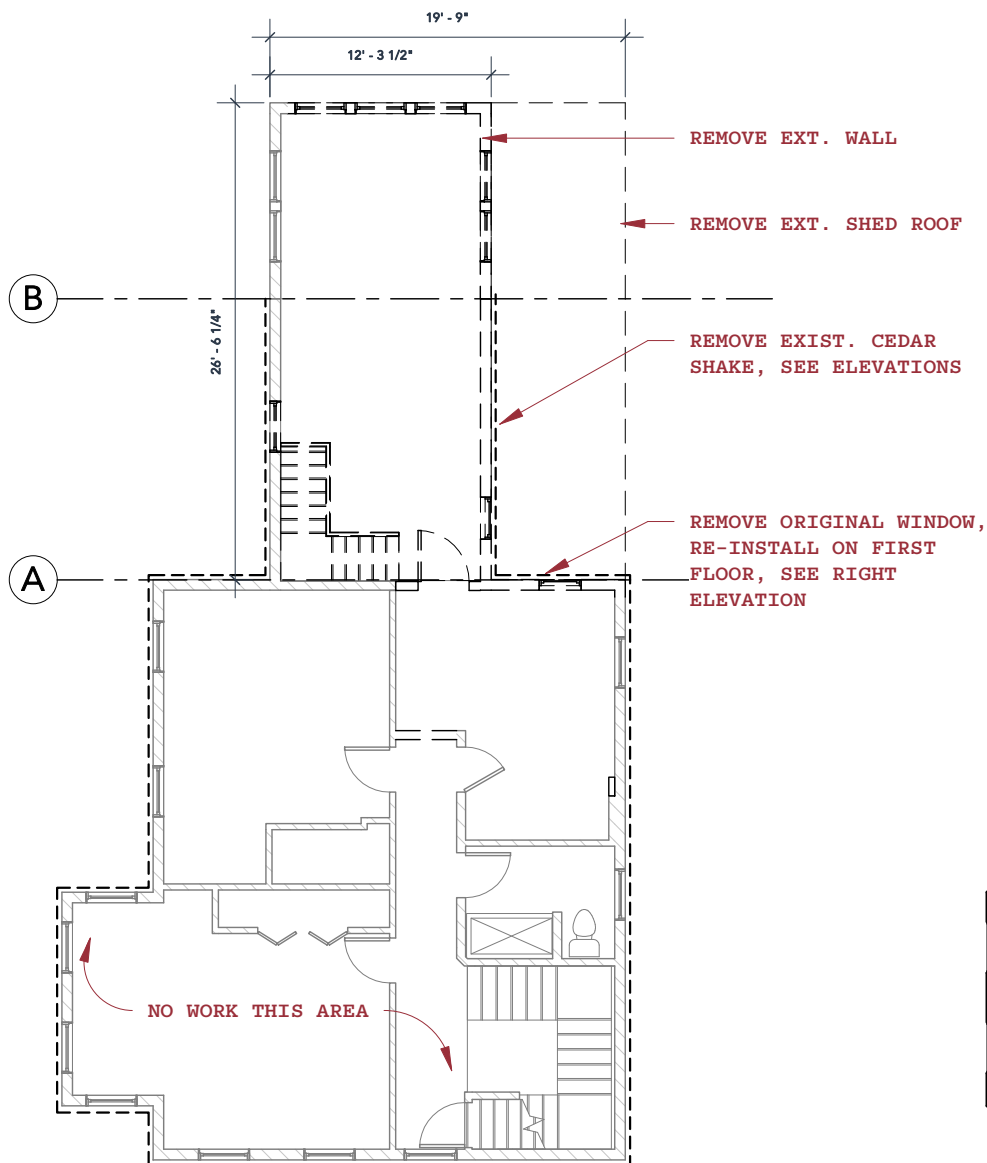
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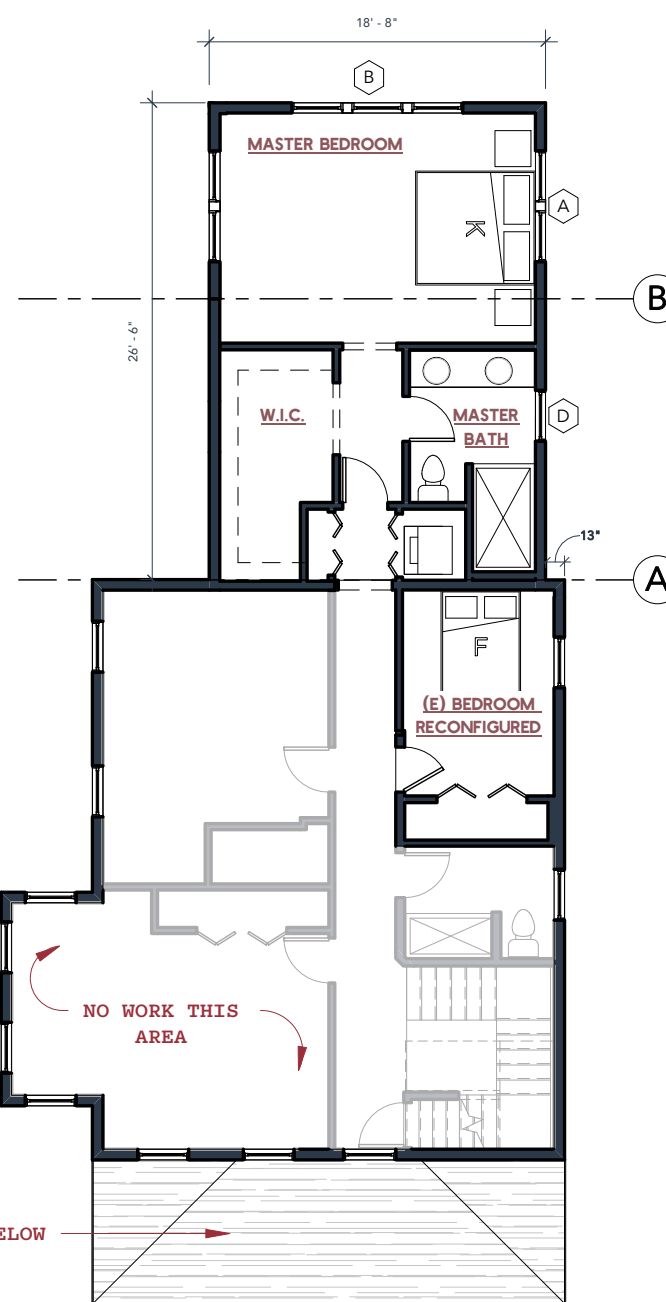
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PROJECT:	18004
DRAWN BY	BJN
SHEET NO:	7
SHEET NAME:	1ST FLOOR PLAN
SCALE:	3/32" = 1'-0"



1 2ND FLOOR PLAN  
EXISTING/DEMO  
3/32" = 1'-0"



2 2ND FLOOR PLAN  
PROPOSED  
3/32" = 1'-0"

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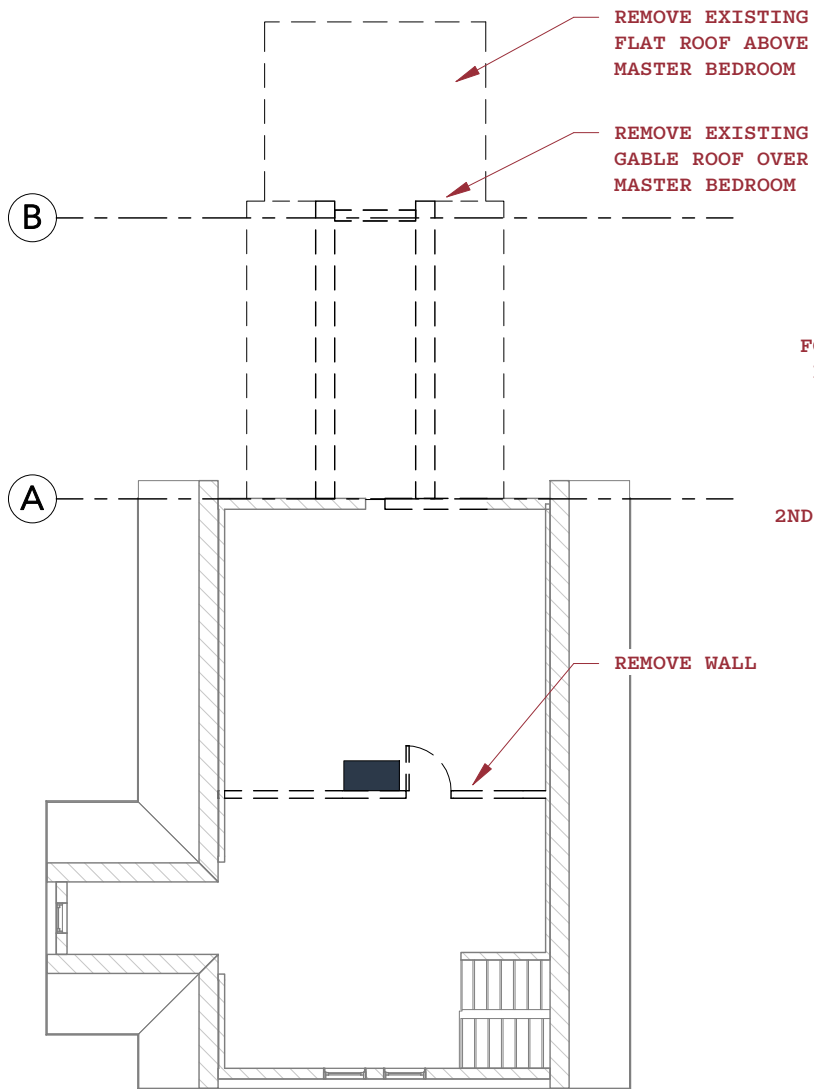
PROJECT: 18004

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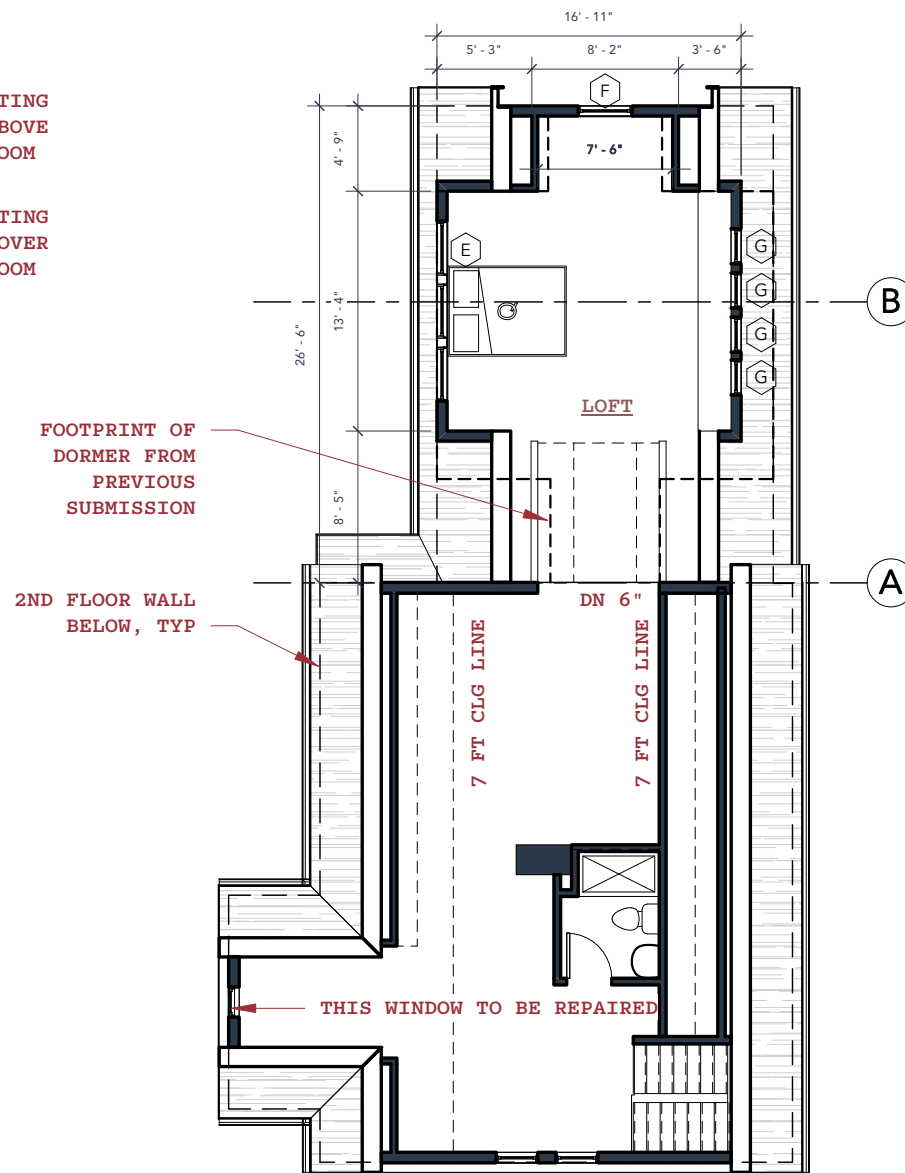
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**8**

SHEET NAME:  
**2ND FLOOR  
PLANS**

SCALE:  
3/32" = 1'-0"



2 3RD FLOOR PLAN  
EXISTING/DEMO  
3/32" = 1'-0"



1 3RD FLOOR PLAN  
PROPOSED  
3/32" = 1'-0"

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NATALIE HOPKINS AND JOHN BOHN  
7309 Piney Branch Rd Takoma Park, MD 20912



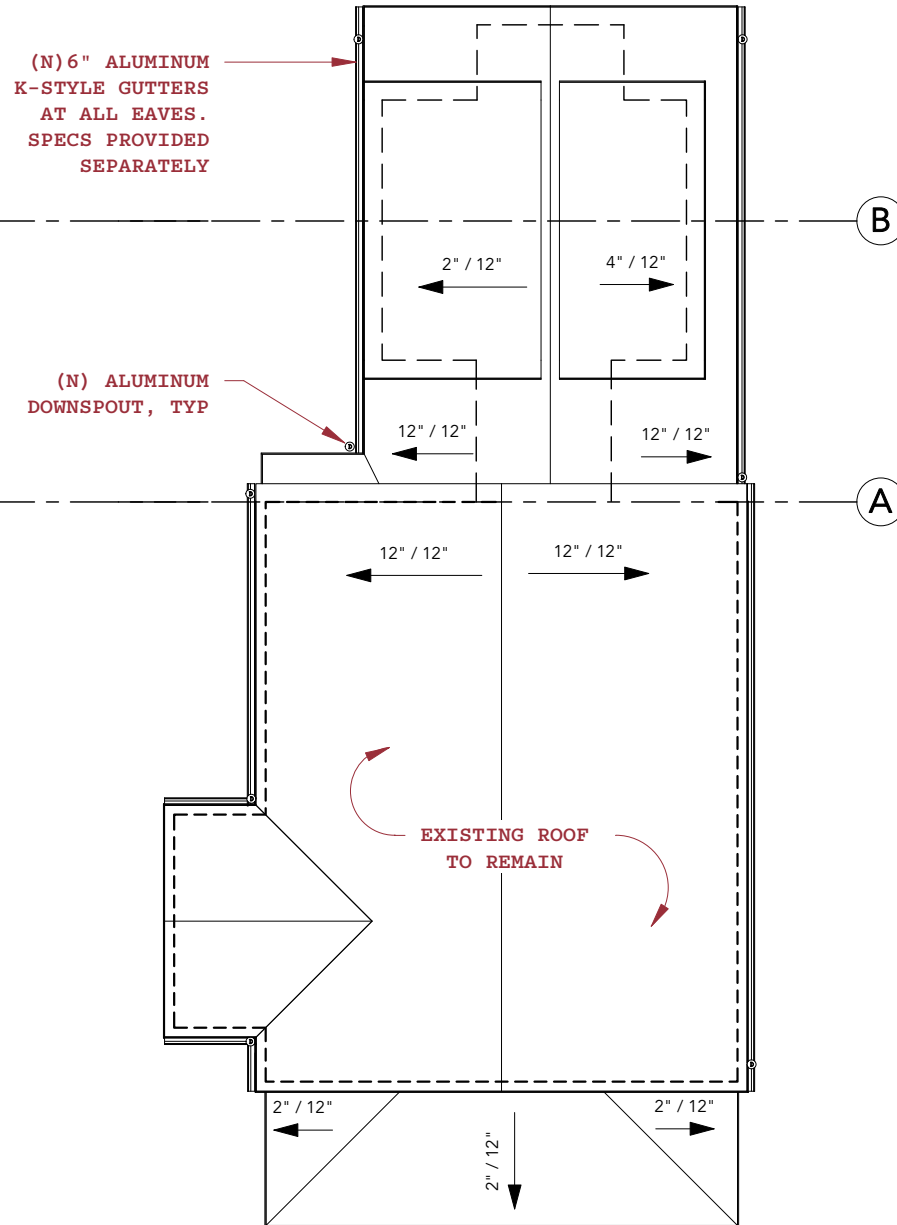
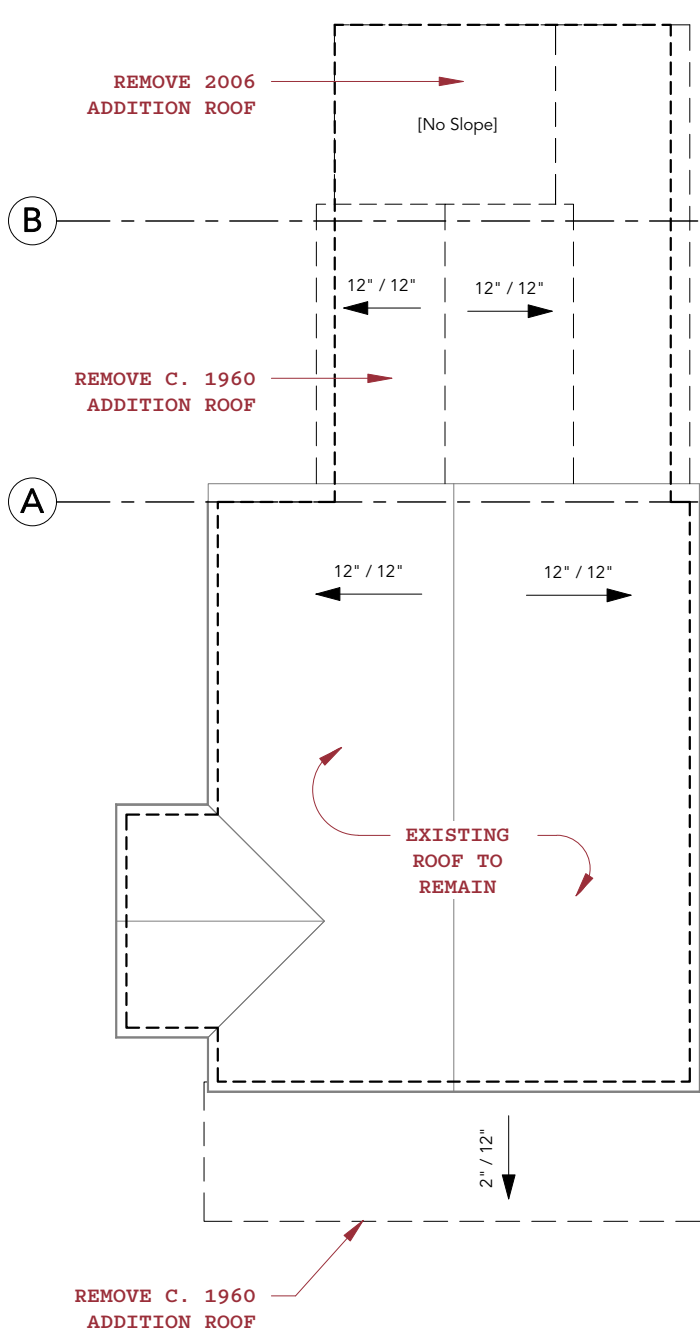
PROJECT: 18004

DRAWN BY BJN

SHEET NO:  
9

SHEET NAME:  
3RD FLOOR  
PLANS

SCALE:  
3/32" = 1'-0"  
21



2 PROPOSED ROOF PLAN  
3/32" = 1'-0"

1 PROPOSED ROOF PLAN  
3/32" = 1'-0"

**BEN NORKIN**

- ARCHITECTURE -

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Takoma Park, MD 20912 202 - 578 - 7094

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# HOPKINS RENOVATION

**NATALIE HOPKINS AND JOHN BOHN**  
7309 Piney Branch Rd Takoma Park, MD 20912



PROJECT: 18004

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SHEET NO:  
**10**

SHEET NAME:  
**ROOF PLAN**

SCALE:  
3/32" = 1'-0"



## 2 EXISTING FRONT ELEVATION

1/16" = 1'-0"

EXIST. FISH SCALE SHINGLES  
TO REMAIN. PATTERN NOT SHOWN  
FOR CLARITY, SEE PHOTOS

ALL WINDOWS TO REMAIN

6x6 P.T. WOOD POST, PAINTED

2X2 P.T. WOOD BALLUSTER,  
PAINTED W. 1X4 CAP AND 1X3  
BOTTOM RAIL, EA. SIDE

8X8 P.T. WOOD POST, PAINTED

LATTICE

(N) ALUMINUM GUTTERS,  
TYP ALL EAVES

(N) ALUMINUM  
DOWNSPOUT

ASPHALT  
SHINGLE ROOF

1X8 FASCIA

WRAP STRUCTURAL  
BEAM W. P.T.  
1X, PAINTED

(N) WOOD STAIR TO  
REPLACE EXISTING

EX 3RD FL

EX 2ND FL

EX 1ST FL

GRADE

EX CELLAR

± 30' - 10" EXISTING ROOF MIDPOINT  
± 37' - 7" EXISTING ROOF RIDGE

## 1 PROPOSED FRONT ELEVATION

1/8" = 1'-0"

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# HOPKINS RENOVATION

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PROJECT: 18004

DRAWN BY BJN

SHEET NO:

11

SHEET NAME:

**ELEVATIONS**

SCALE: As indicated  
23



2 PROPOSED LEFT ELEVATION  
1/8" = 1'-0"

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## HOPKINS RENOVATION

**NATALIE HOPKINS AND JOHN BOHN**

7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

DRAWN BY: BJN

SHEET NO:

**12**

SHEET NAME:

**ELEVATIONS**

SCALE: 1/8" = 1'-0"

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# HOPKINS RENOVATION

**NATALIE HOPKINS AND JOHN BOHN**

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PROJECT: 18004

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SHEET NO:

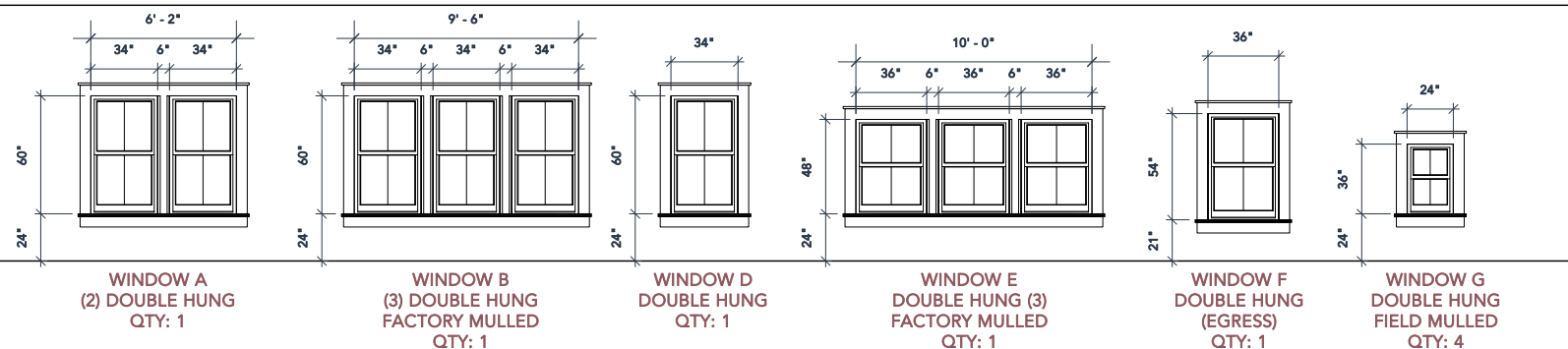
**13**

SHEET NAME:

**ELEVATIONS**

SCALE:

$\frac{1}{8"} = 1' - 0"$



ALL WINDOWS TO BE ANDERSEN 200 SERIES WOOD CLAD DOUBLE-HUNG WINDOWS. MUNTIN PATTERN AS SHOWN ABOVE. TRIM TO BE PAINTED 1X6 P.T. WOOD FOR ALL WINDOWS EXCEPT G. WINDOW G TRIM TO BE PAINTED 1X4 P.T. WOOD

## Window Schedule

$\frac{1}{8"} = 1' - 0"$

ORIGINAL SIDING TO REMAIN

PROPOSED DORMER FROM PRIOR SUBMISSION

FIBER CEMENT SIDING AT 2ND FLOOR  
ADDITION AND ATTIC DORMER

EXISTING 2ND FLOOR ADDITION

(N) ALUMINUM GUTTERS, TYP  
ALL EAVES

(N) WINDOW TO MATCH EXISTING

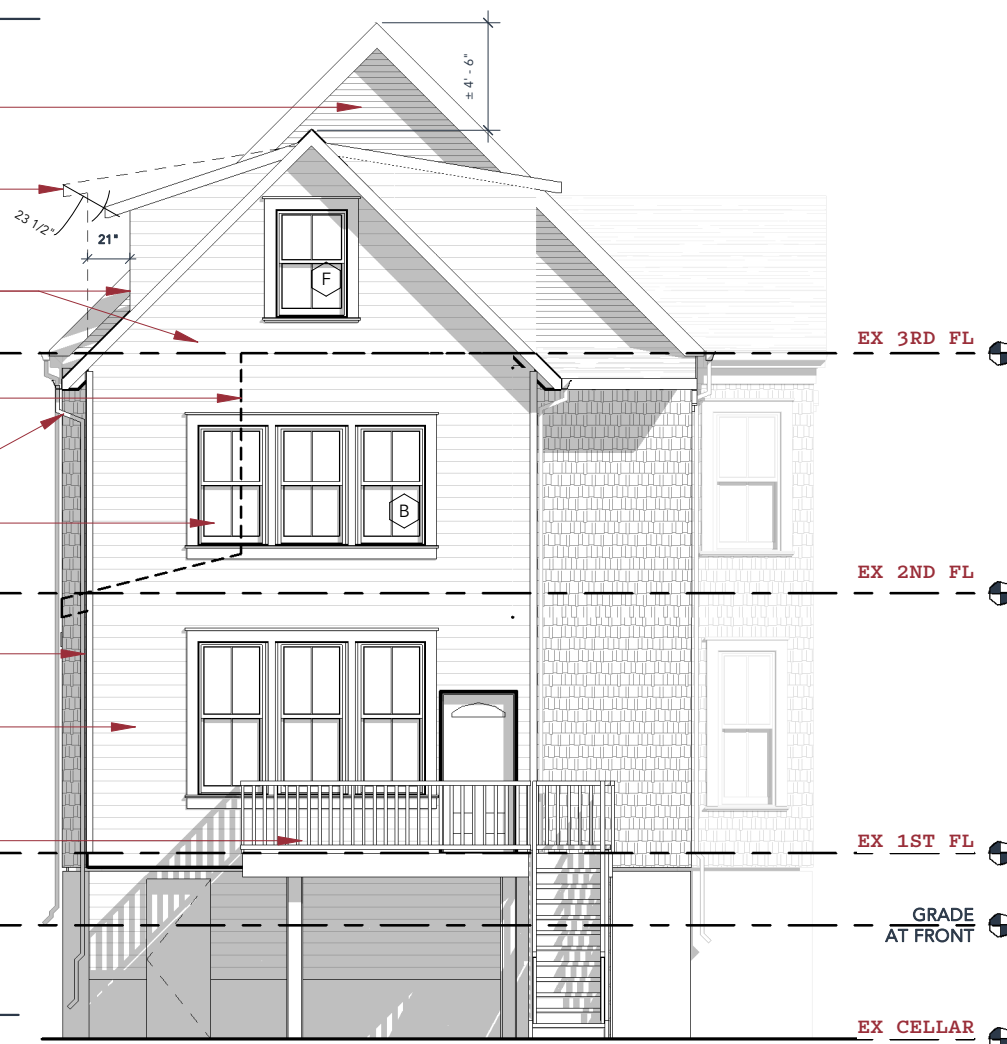
WOOD CORNER TRIM

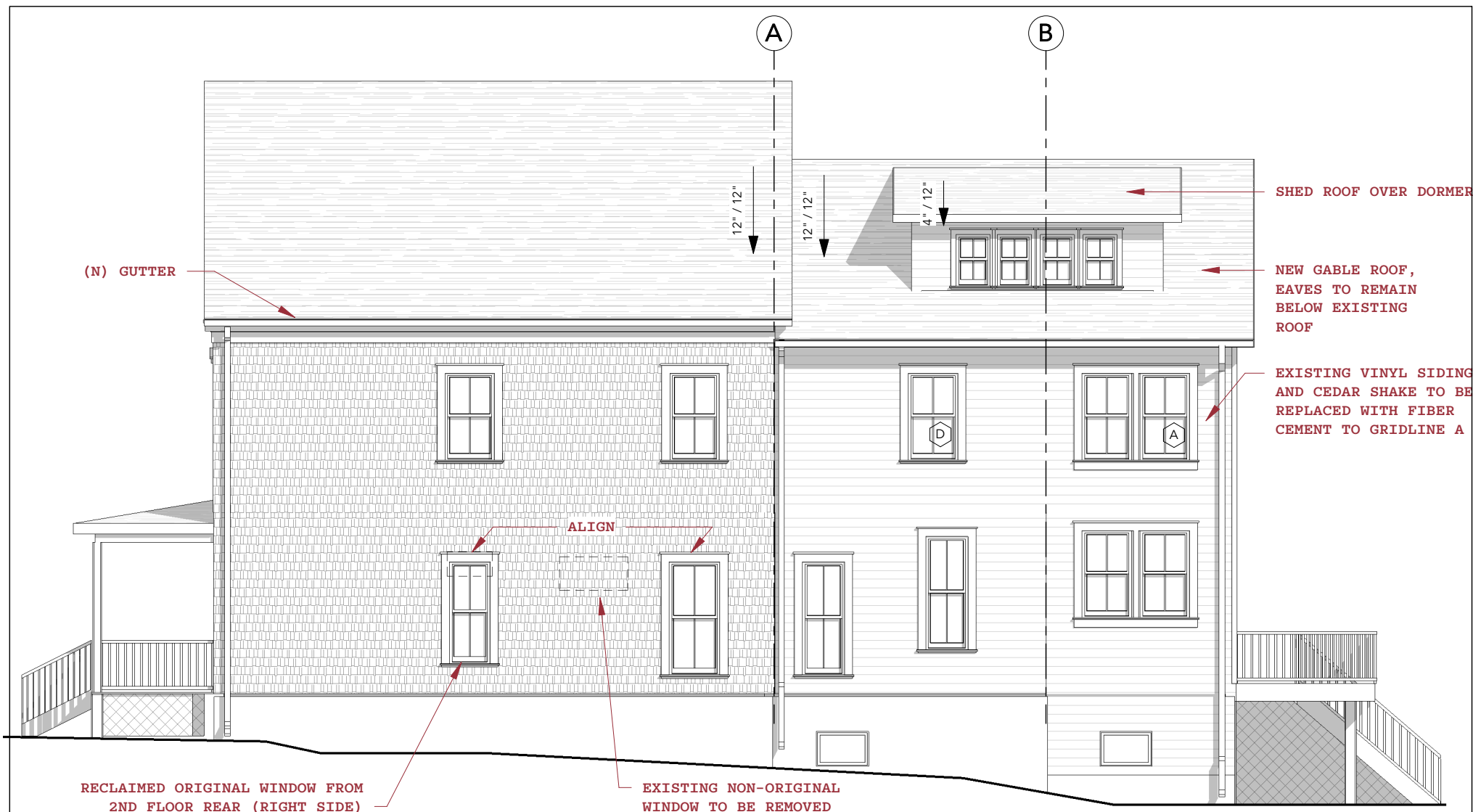
REPLACE EXISTING VINYL  
SIDING WITH FIBER CEMENT

EXIST. WOOD DECK  
TO REMAIN

## PROPOSED REAR ELEVATION

$\frac{1}{8"} = 1' - 0"$





1 PROPOSED RIGHT ELEVATION  
1/8" = 1'-0"

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## HOPKINS RENOVATION

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PROJECT: 18004

DRAWN BY: BJN

SHEET NO:

**14**

SHEET NAME:

**ELEVATIONS**

SCALE: 1/8" = 1'-0"

1/25/2019 11:13:06 AM



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## HOPKINS RENOVATION

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PROJECT: 18004

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SHEET NO:  
**15**

SHEET NAME:  
**3D PERSPECTIVE**

SCALE:  
**27**



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## HOPKINS RENOVATION

**NATALIE HOPKINS AND JOHN BOHN**  
7309 Piney Branch Rd Takoma Park, MD 20912

PROJECT: 18004

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SHEET NO:  
**16**

SHEET NAME:  
**3D PERSPECTIVE**

SCALE:  
**28**



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## HOPKINS RENOVATION

**NATALIE HOPKINS AND JOHN BOHN**  
7309 Piney Branch Rd Takoma Park, MD 20912



PROJECT: 18004

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SHEET NO:  
**17**

SHEET NAME:

**3D PERSPECTIVE**

SCALE:  
**29**



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PROJECT: 18004

DRAWN BY BJN






SHEET NO:  
**18**

SHEET NAME:  
**3D PERSPECTIVE**

SCALE:  
**30**

Similar Options to Consider

See All

				
<b>Amerimax Home Products</b> 6 in. White Aluminum (0)	<b>Amerimax Home Products</b> 6 in. Aluminum Right (0)	<b>Amerimax Home Products</b> 6 in. x 10 ft. White (8)	<b>Amerimax Home Products</b> 6 in. End with 3 in. x 4 in. (1)	<b>Amerimax Home Products</b> 6 in. Aluminum (0)
<b>\$3<sup>28</sup></b> /each	<b>\$3<sup>28</sup></b> /each	<b>\$15<sup>34</sup></b> /each	<b>\$8<sup>08</sup></b> /each	<b>\$3<sup>55</sup></b> /each
Model # 4600200192	Internet #205481981	Store SKU #1000710174		



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**Amerimax Home Products**  
6 in. x 16 ft. White Aluminum K-Style Gutter

★★★★★ (10) [Write a Review](#)

**\$24<sup>56</sup>**

Quantity

-

1

+

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Product Overview



Model #: 4600200192

**Sku #:** 1000710174**Internet #:** 205481981

The Amerimax 6 in. x 16 ft. White Aluminum Gutter has extra-long, heavy-weight aluminum construction. Featuring a baked-on white factory finish and a traditional K-style design, this durable gutter can be used to control run-off and help protect the walls and landscaping of your home or other structures. The 6 in. size is ideal for wide-roof areas, commercial buildings or in areas of heavy rainfall.

- Heavy-weight, rust-free aluminum construction for durability
- Baked-on white finish for low maintenance that can be spray painted if desired to match any decor
- Extra-long 16 ft. design requires fewer splices and connections
- K-style design to complement your home, business or other structure
- 6 in. Gutter is ideal for wide-roof drainage or in areas of heavy rainfall
- Use with 3 in. x 4 in. for maximum run-off drainage

## Info & Guides

- [Instructions / Assembly](#)