

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4117 Jones Bridge Rd., Chevy Chase	Meeting Date:	2/12/2019
Resource:	Contributing Resource Hawkins Lane Historic District	Report Date:	2/6/2019
Applicant:	Adowa Mensah & Ronald Chatman	Public Notice:	1/30/2019
Review:	HAWP	Tax Credit:	n/a
Case Number:	35/54-18B	Staff:	Dan Bruechert
Proposal:	Fence Installation		

STAFF RECOMMENDATION:

- ☒ **Approve**
☐ **Approve with conditions**

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Hawkins Lane Historic District
STYLE: Colonial Revival
DATE: 1932

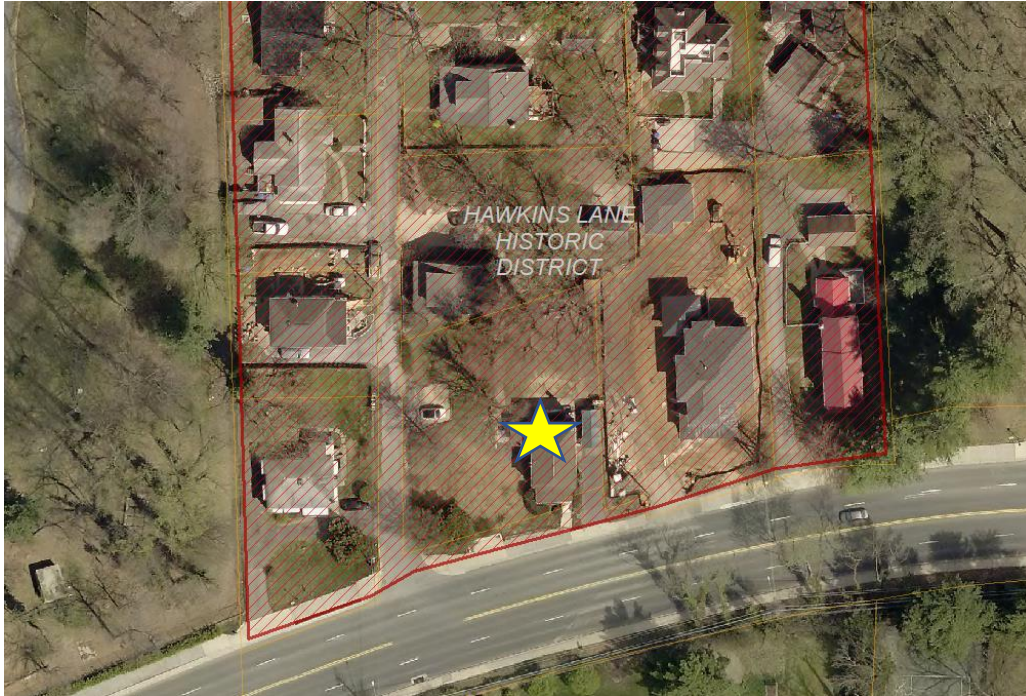


Figure 1: 4117 Jones Bridge Rd. is located at the northeast corner of Jones Bridge Rd. and Hawkins Lane.



Figure 2: 4117 Jones Bridge Rd. is adjacent to a c.2014 infill house.

PROPOSAL

The applicant proposes construct a 4' (four foot) tall, flat-top, picket fence around the entirety of the property, matching the boundary shown in the submitted site plan. A gate is proposed at the front of the parking pad along Hawkins Lane. The gate will match the appearance of the gate shown in the application.

APPLICABLE GUIDELINES

Hawkins Lane Historic District Development Guidelines

Hawkins Lane residences are generally separated from one another and from the road by bushes and other vegetation rather than fences or walls. In a few instances, property lines are marked by low fences in a variety of materials and styles, the most prevalent being wood picket.

Where fences are erected, they should be low and inconspicuous, and preferably wood picket or rail.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.

The Expedited Staff Report format may be used on the following type of cases:

10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) having found that the proposal is consistent with the Hawkins Lane Historic District Development Design Guidelines and the Secretary of the Interior's Standards for Rehabilitation (specifically, Standard 2), and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - 68

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contract Email: ronald.chatman@va.gov Contact Person: Ronald Chatman
 Tax Account No.: N/A daris.roder@yaho.com Daytime Phone No.: 770 688-7351
 Name of Property Owner: Adowa O. Mensah & Ronald Chatman Phone No.: 678-768-8858
 Address: 4117 Jones Bridge Rd. Chevy Chase Md 20815
 Street Number City State Zip

Contractor: N/A Phone No.: N/A
 Contractor Registration No.: N/A
 Agent for Owner: N/A Daytime Phone No.: N/A

PROPERTY INFORMATION

House Number: 4117 Street: Jones Bridge Rd.
 Town/City: Chevy Chase Md Nearest Cross Street: Hawkins Lane
 Lot: _____ Block: _____ Subd. / Lot: 502
 Lot: 47493 Folio: 144 Parcel: 07 0042 4440

PROPERTY INFORMATION (CONTINUED)

1A. CHECK ALL APPLICABLE

- ☐ Construct ☐ Extend ☐ Alter/Flag walls
☐ Move ☒ Dig ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Renovate

CHECK ALL APPLICABLE

- ☐ AC ☐ Stab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ W/ft up ring Stove ☐ Single Family
☒ Fence/Wall (complete Section 4) ☐ Other: _____

1B. General estimate cost estimate: \$ 5,000.00

1C. If this is a revision of a previously approved scope permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
 2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: FENCE OR RETAINING WALL

3A. Height: _____ feet 48 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the owner will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ronald Chatman
Signature of owner or authorized agent

11/17/2019
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Applicant: _____ Permit No.: _____ Date Filed: _____ Date Issued: _____

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Install fence and gate for the
entire property, front, side and
rear, (48" wooden structure)

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

install wooden fence similar to
existing fence in the area.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

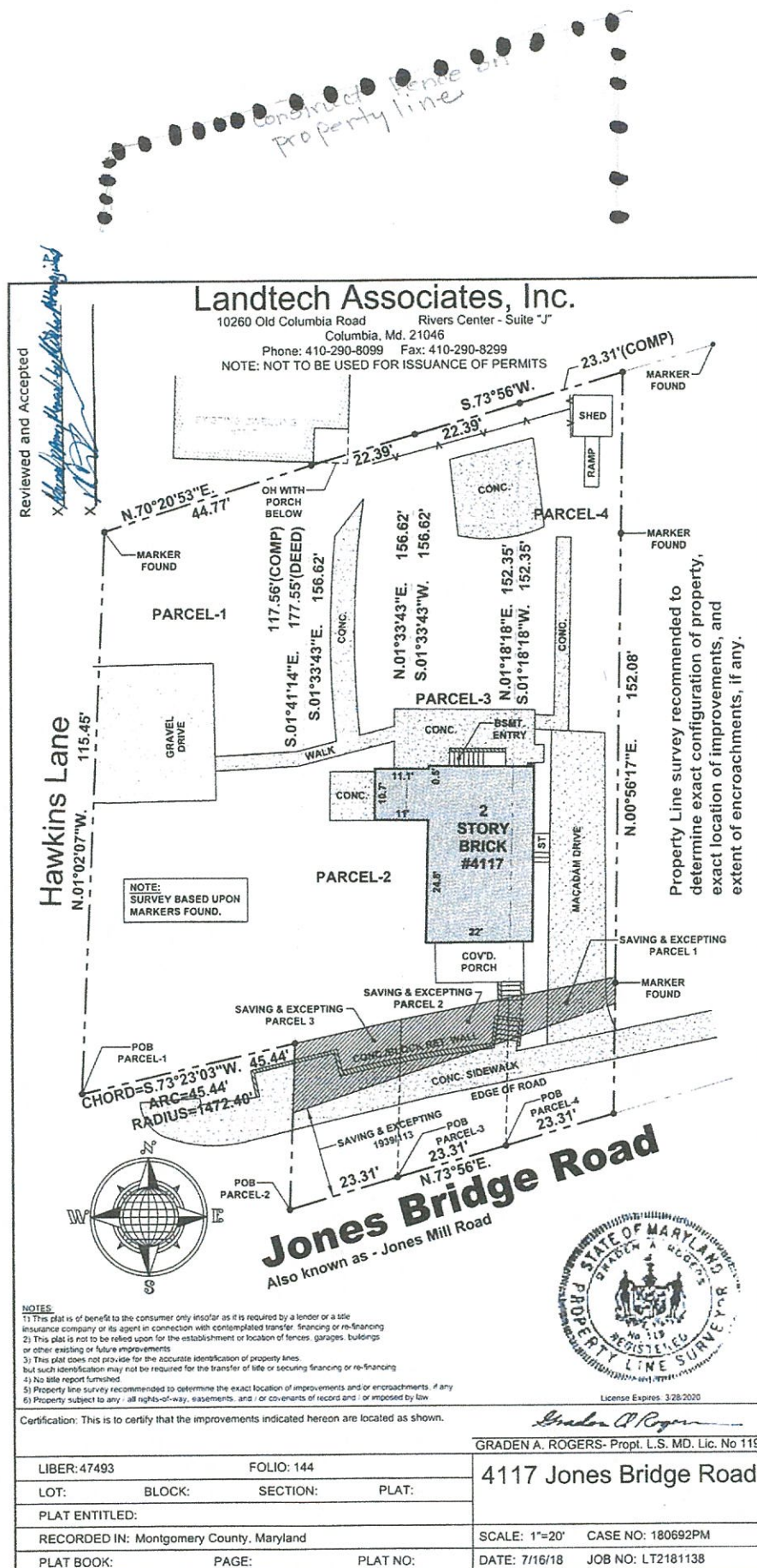
4117 Jones Bridge Rd
 Chery Chase, Md.
 20815

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

4115 Jones Bridge Rd
 Chery Chase, Md 20815

8807 Hawkins Lane
 Chery Chase, Md
 20815



Site Plan

Proposed 48" fence and gate

From: Doris Roden dorisroden@yahoo.com
Subject: Re: Historic Area Work Permit - 4117 Jones Bridge Rd.
Date: January 17, 2019 at 11:34 AM
To: Dan.Bruechert@montgomeryplanning.org
Cc: doris.roden@hawks.shorter.edu

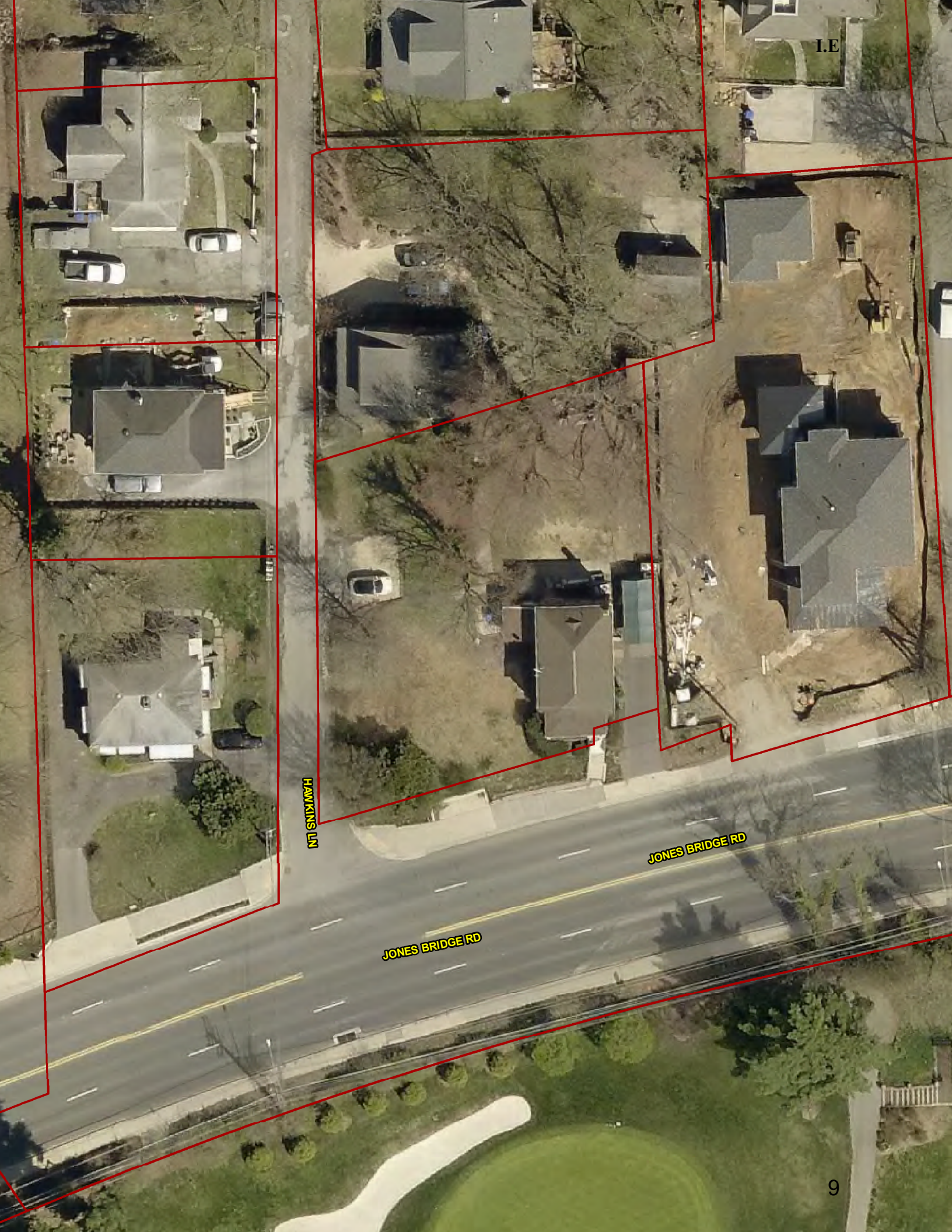
Good Morning Dan, We have decided to propose the fencing pictured below for the entire property front and rear of the house.. The fence and gate will be 48 inches around the house. We will utilize your map and fully enclose the rear. We will go across the front drive and use the same gate and fencing using your diagram.

Doris



Applicant: Chatman - Mensah

Page: __



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HAWKINS LN

JONES BRIDGE RD

JONES BRIDGE RD