

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	27 West Kirke St., Chevy Chase	Meeting Date:	2/27/2019
Resource:	Contributing Resource (Chevy Chase Village Historic District)	Report Date:	2/20/2019
Applicant:	Chris Brown (Kathryn Everett, Agent)	Public Notice:	2/13/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-19C	Staff:	Michael Kyne
PROPOSAL:	Hardscape alterations and accessory structure		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Classical Revival
DATE: c. 1916 – 1927

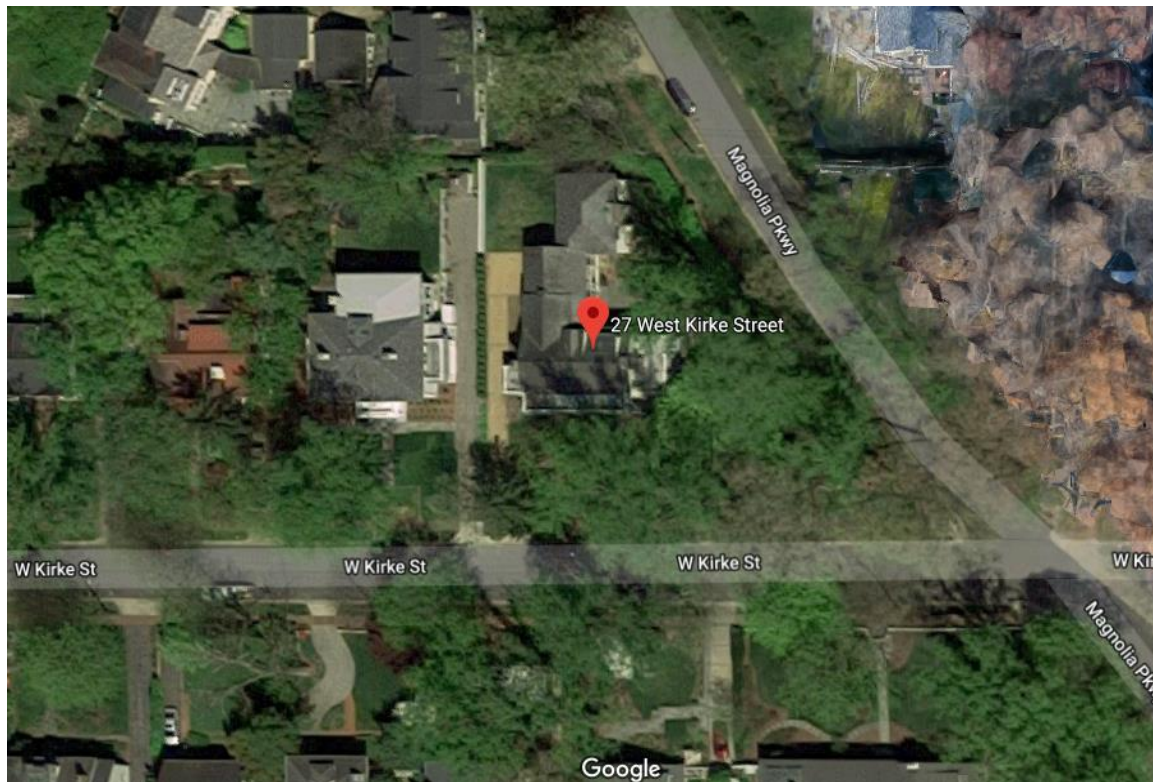


Fig. 1: Subject property.

PROPOSAL

The applicant proposes hardscape alterations and the installation of an accessory structure at the subject property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.

Fences should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Gazebos and other garden structures should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Sheds should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Secretary of the Interior's Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a c. 1916-1927 Classical Revival-style Contributing Resource within the Chevy Chase Village Historic District. The house is on a corner lot, with its front facing West Kirke Street to the south and its right side facing Magnolia Parkway to the east. The house has a moderate front setback and a right-side setback that ranges from deep to moderate as you travel north on Magnolia Parkway.

The applicant proposes the following work items at the subject property:

- Replace the existing gravel driveway with an aggregate driveway edged in brick in the same approximate footprint.
- Install a brick paver landing at the right (east) side of the driveway adjacent to the house.
- Construct a 4' high x 7' wide x 3' deep wooden trash corral on the proposed new brick landing.
- Replace the existing brick paver patio at the rear/right (east) side of the house with a flagstone paver patio.
- Install a new 15'-8" high x 14'-1" wide x 8'-10.5" deep shed at the rear of the subject property. The proposed height includes an approximately 3.5' high cupola on top of the hip roof. The proposed materials include wooden siding, cedar shingles, wooden SDL casement windows, and wooden SDL French doors.
- Install a 4' high wooden (cedar) picket fence and gate at the end of the driveway on the rear/left (west) side of the house.
- Install 2' x 2' lawn pavers from the driveway to the proposed shed.
- Install a 4' high wooden (cedar) picket fence with 4' wide x 7'-5.5" high wooden (cedar) arbor/gate at the right (east) side of the house. The proposed fence will connect to the front/right corner of the house.
- Replace the existing flagstone paver walkway at the front of the house with a brick paver walkway in the same approximate footprint.

Staff finds that the proposed work items – including the proposed fence/gate installation at the end of the driveway and the shed installation at the rear – will be visible from the public right-of-way. In accordance with the *Guidelines*, staff finds that the proposed work items should be reviewed with moderate scrutiny. As noted above, the *Guidelines* state:

Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

Staff finds that the proposed features and materials are compatible with the subject property and surrounding streetscape. The proposed alterations are designed so that the property will still contribute to the historic district, in accordance with the *Guidelines*. Additionally, the proposal will not remove or alter character-defining features of the subject property, in accordance with the *Standards*.

After full and fair consideration of the applicant’s submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior’s Standards for Rehabilitation #2, 9, and 10*, and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior’s Standards for *Rehabilitation #2, 9, and 10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff’s discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - 68

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Kathryn@Everettgarden Contact Person: Kathryn Everett
designs.com Daytime Phone No.: 202 465 5740
Fax Account No.: 263348568
Name of Property Owner: Christ Ulahy Brown Daytime Phone No.: 440 465-5474
Address: 74106 Brookeville Road Chevy Chase MD 20815
Street Number City State Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PROJECT

House Number: 27 Street: West Kirk Street
Town/City: Chevy Chase Nearest Cross Street: Maryland Parkway
Lot: Pk 1+2 Block: 39 Subdivision: Chevy Chase, section 2
Liber: D114504 Folio: 106 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

☒ Construct ☐ Extend ☒ Alter/Renovate
☐ Move ☒ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Reversible

CHECK ALL APPLICABLE:

☐ A/C ☐ Stair ☐ Room Addition ☐ Porch ☐ Deck ☒ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family

☒ Fence/Wall (complete Section 4) ☒ Other: Ashlar, trash enclosure

1B. Construction cost estimate: \$ 55K

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE-RETAINING WALL

3A. Height 3 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/ easement

16' in public space

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Ulahy Brown
Signature of owner or authorized agent

1/28/19
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edn 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- Home is a classical revival style, and HPAC has approved renovation plans from Thompson Coe Architects. For the exterior landscaping, Everett Garden Designs proposes installing a new shed in the rear of the property, a picket fence and arbor off the right hand side of the porch that will extend into public space by 16', and resurfacing the existing driveway, patio and front walk.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- Replace gravel drive with aggregate edged in brick
- Install brick apron off driveway with trash curral - 4' x 7'
- Replace existing back patio with new flagstone.
- Construct a new 8' x 14' shed in rear yard
- Add a 4' gate, fence and arbor on side of home by halpole wood workers

2. SITE PLAN

- Replace flagstone walk with brick,

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

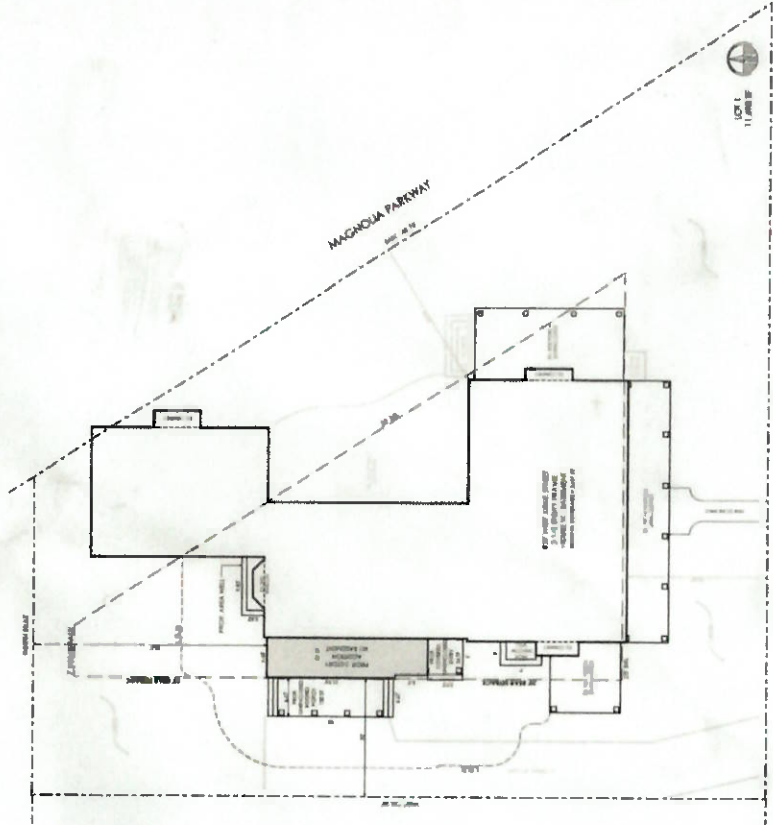
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

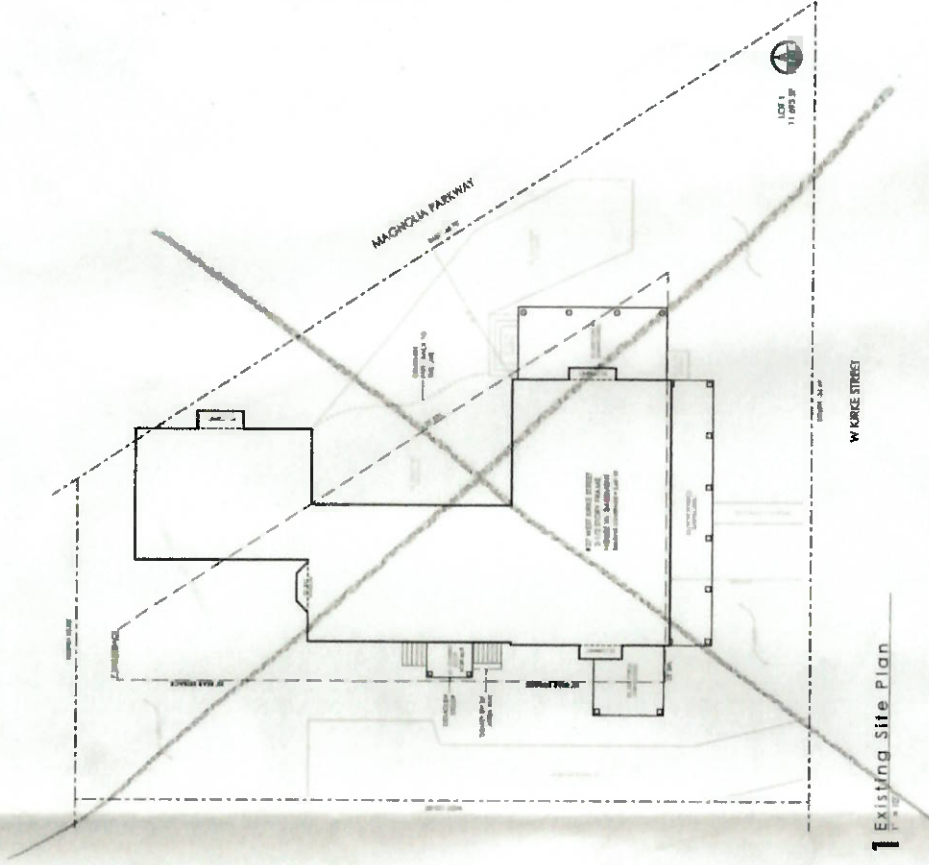
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDELINES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Existing Site Plan



U.S. DEPARTMENT OF THE INTERIOR
BUREAU OF LAND MANAGEMENT

[illegible]

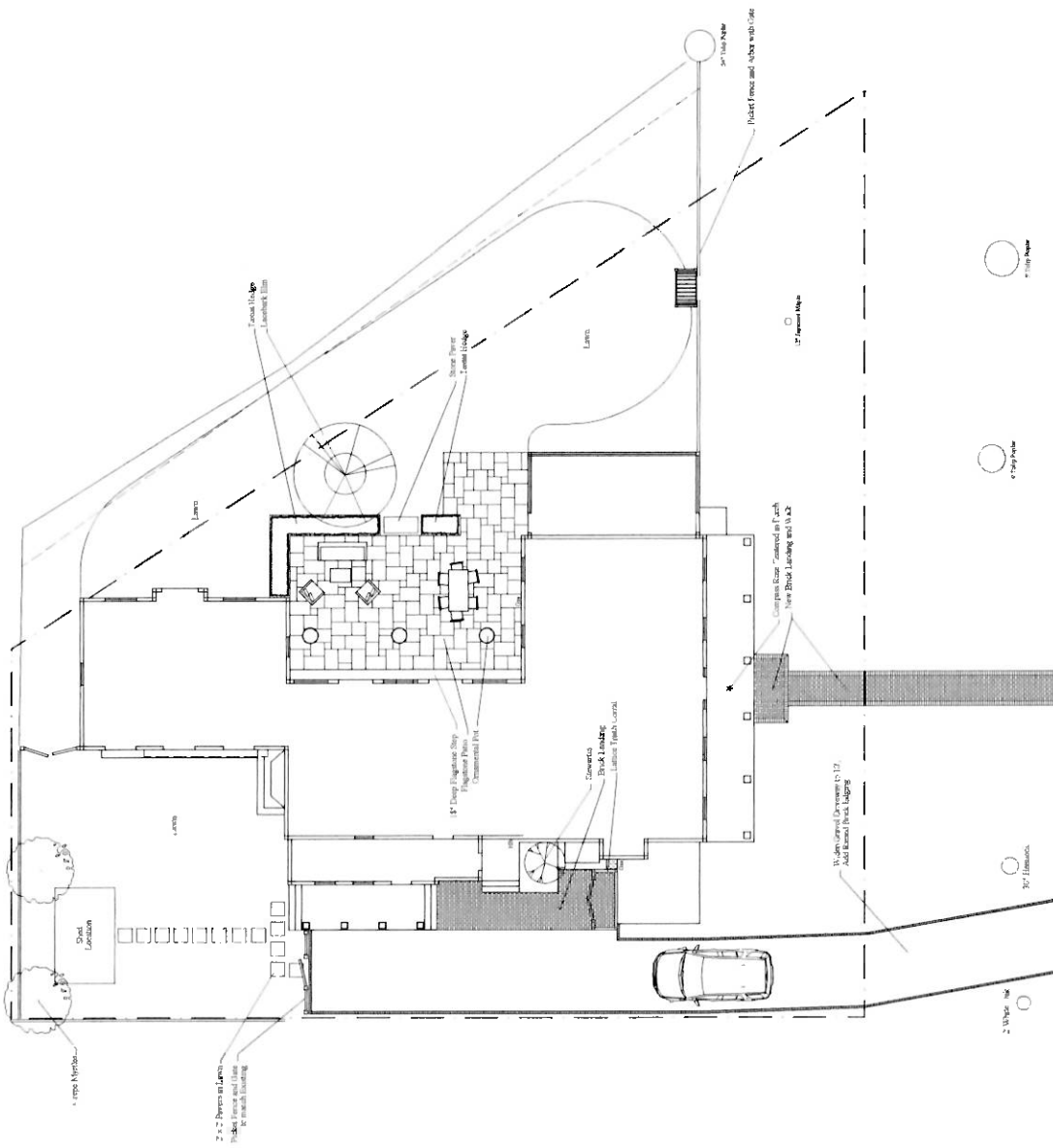
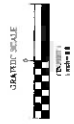
BUILDING COVERAGE

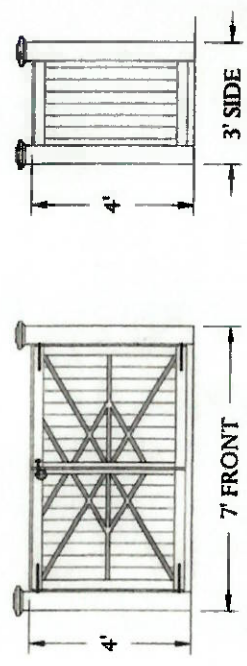
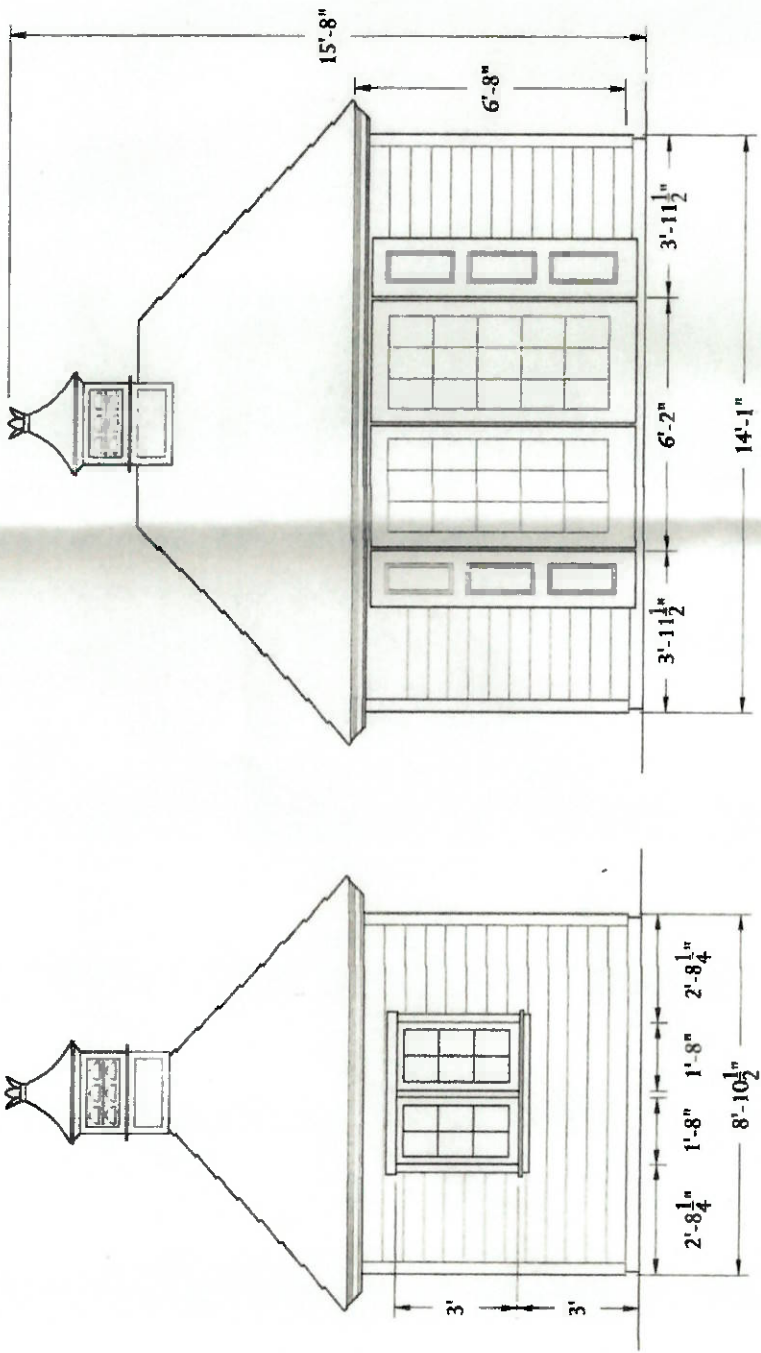
total building coverage =
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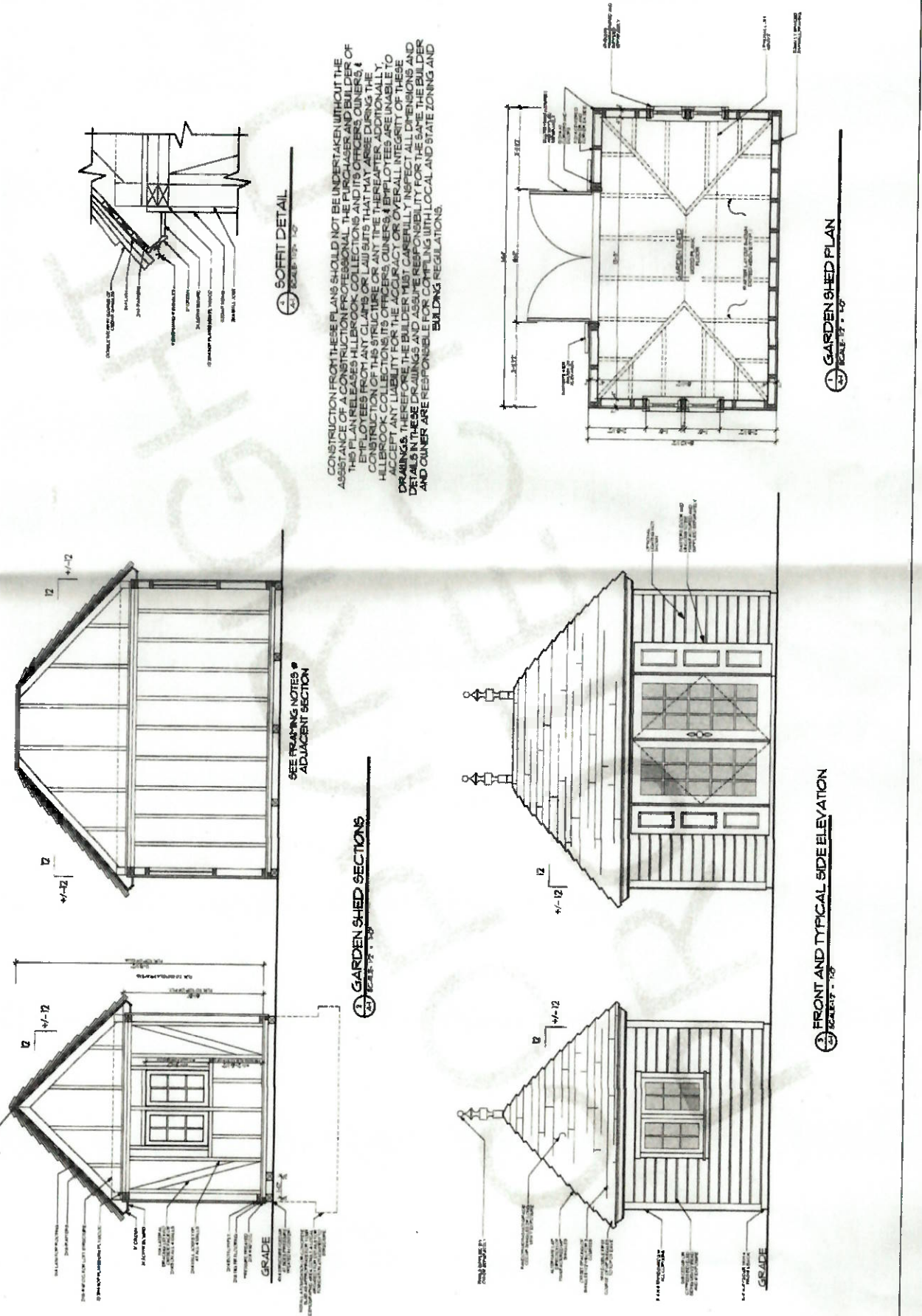
07-12-2017	Building Conditions
10-21-2017	Performance Auditing Set
11-13-2017	Performance Planning Update
12-19-2017	VE Change
09-13-2018	Project Mile
05-23-2018	Historic Assessment
05-29-2018	Project Review
07-09-2018	Construction Set
09-17-2018	Construction Set Rev 1
12-08-2018	Electrical Revise/Change
01-08-2019	Basement Revision
01-14-2019	Construction Set Rev 2

0002

Thomson & Cooke
 1000 Massachusetts Boulevard NW
 Washington, DC 20001-4242
 202 396-6000
 www.thomsoncooke.com

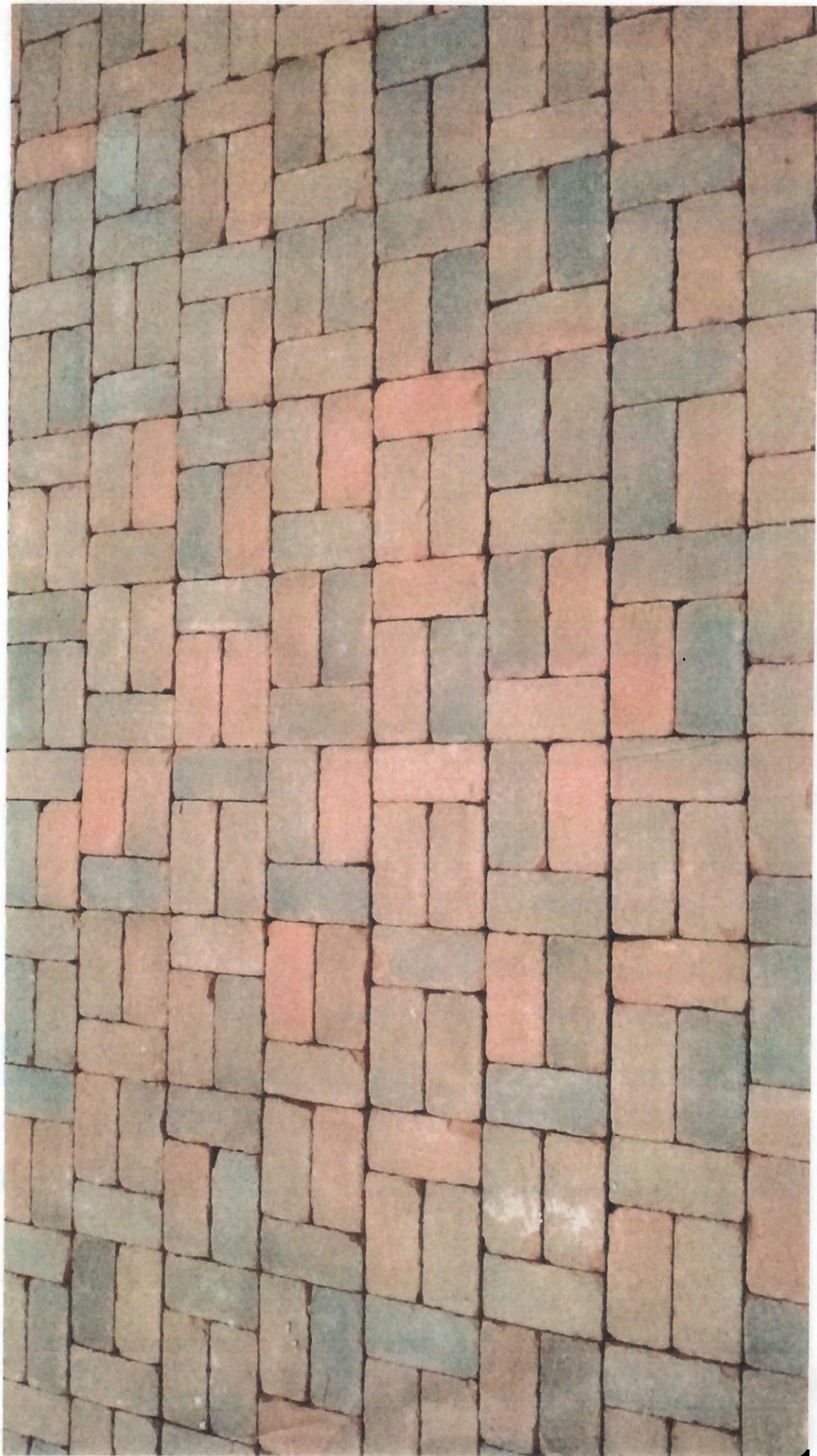








Exposed Aggregate driveway with Brick Edging



Fire Hall. Rubbed brick for front walkway (Autumn Range)

Existing gravel driveway edged with cobblestone, SW view



Existing front walk of flagstone on concrete. S view



Existing patio and side of house, SE and E view



Location in yard where shed will be located:
W view, N view and S view





Hillbrook shed - Front and side profile

