

AP # 863 885



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: anne@studiocrowkyhall.com Contact Person: Anne Crowley
Daytime Phone No.: 202.387.3003

Tax Account No.: _____
Name of Property Owner: Jan Goodman Daytime Phone No.: 301.460.4134
Address: 537 Philadelphia Avenue Takoma Park MD 20912
Street Number City State Zip Code
Contractor: Mark Gokczynski Phone No.: 240.401.8410

Contractor Registration No.: _____
Agent for Owner: Anne Crowley Daytime Phone No.: 202.387.3003
Studio Crowley Hall, Plc

LOCATION OF BUILDING/PREMISE
House Number: 507 Street: Philadelphia Avenue
Town/City: Takoma Park Nearest Cross Street: _____
Lot: 37 Block: 72A Subdivision: 0025
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 200,000
1C. If this is a revision of a previously approved active permit, see Permit # no

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 1.17.19 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Dan Goodman & Shadi Houshgar 507 Philadelphia Avenue Takoma Park, MD 20912	Studio Chalkytall, Pk 1402 Mendenhall Place NW Washington, DC 20010
Adjacent and confronting Property Owners mailing addresses	
Randall Clark 505 Philadelphia Avenue Takoma Park, MD 20912	
Carl & Lauren Wilk 589 Philadelphia Avenue Takoma Park, MD 20912	
Marc & Meredith Santora 506 Philadelphia Avenue Takoma Park, MD 20912	

863885

Studio : CrowleyHall, PLLC

1402 Meridian Place, NW

Washington, DC 20010

P: 202.387.3003

17 January 2019

HAWP Application Responses

507 Philadelphia Avenue

Takoma Park, MD 20912

1. WRITTEN DESCRIPTION OF PROJECT

- a. The existing Tudor-style one-story brick house with loft and basement was built in 1933 and has remained largely unaltered since that time. It sits on an 8,125 SF wooded lot.
- b. The goal of this project is to create more useable living space for this family of five, but without significantly altering any of the historic features that are visible to public space. The one-story addition is at the rear of the house and the roof lines will tie into and be at the height of (or below) the existing roof lines. The addition will use finish materials which match or are compatible with the existing finish materials.

The project should have no impact on the environmental setting. It does get close to one large tree, but the contractor will coordinate as necessary to make sure that tree is protected.

2. SITE PLAN (see attached drawings)
3. PLANS & ELEVATIONS (see attached drawings)
4. MATERIALS SPECIFICATIONS (see attached drawings)
5. PHOTOGRAPHS (see attached drawings)
6. TREE SURVEY (see attached drawings)

507 Philadelphia Ave - Renovation and Addition

PROJECT DIRECTORY

ARCHITECT
Studio CrowleyHall, PLLC
1402 Meridian Place, NW
Washington, DC 20010
(202) 387 - 3003
info@studiocrowleyhall.com

OWNERS
Shadi Houshyar and Dan Goodman
507 Philadelphia Ave.
Takoma Park, Maryland 20912

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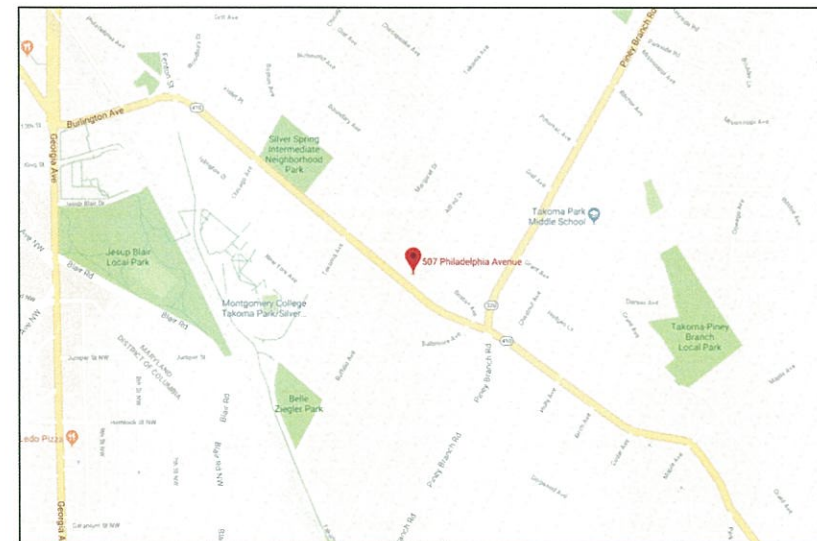
PROJECT INFO.

Existing single family masonry two story house. Work to include rear addition and general interior renovations.

GENERAL NOTES

1. All work and materials shall comply with all local and governing codes.
2. All work and materials shall be provided and installed by qualified personnel in a workmanlike manner.
3. All products shall be new, best of their kind and installed in accordance with manufacturer's instructions.
4. Owner shall be responsible for permits and fees associated with this work; Contractor shall be responsible for inspections.
5. Contractor shall verify existing conditions in field prior to submitting a bid or beginning construction. Should the Contractor find any discrepancies, omissions, ambiguities or conflicts within the Contract Documents, or should he be in doubt as to their meaning or intention, he should notify the Architect in writing for clarification prior to the contract to the beginning of work.
6. Contractor to coordinate work with Owner's subcontractors.
7. Contractor to coordinate all required utility work.
8. Contractor to maintain clean and secure premises at all times.
9. Do not scale drawings. Written dimensions on these drawings shall have precedence over scaled dimensions. Contact the Architect for dimensions and clarifications.
10. Plan dimensions are to finished face of walls, unless otherwise noted.
11. All dimensions shall be checked and verified by the Contractor prior to beginning the work. Notify the Architect of any discrepancies.
12. Contractor to follow strictly all manufacturer's written directions and recommendations when using or installing respective products.

LOCATION MAP



**STUDIO
CROWLEY
HALL**

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Washington, DC 20010
(202) 387-3003

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COVER SHEET

A001

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SITE PLAN

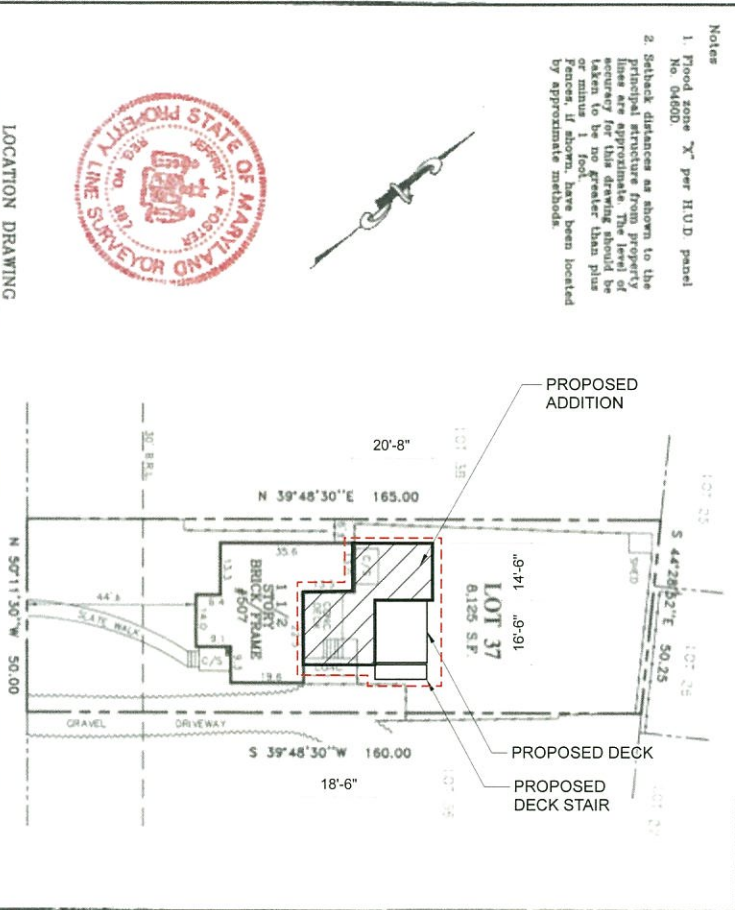
A002

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes

1. Flood zone "X" per HUD parcel No. 04600.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be assumed to be no greater than that shown on the lot floor plan. Fences, if shown, have been located by approximate methods.



LOCATION DRAWING
LOT 37, BLOCK 72A
T.P.L. & T. CO.'S SUBDIVISION OF
TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES	
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PERFORMED BY THE SURVEYOR ON PLACE OF RECORDING AND THE RECORDING OF THE SAME AND THE SURVEYOR HAS FOUND NO EVIDENCE OF LINES OR APPARENT OCCUPATION OR FROM EVIDENCE OF LINES OR APPARENT OCCUPATION.		PLAT REC.	4
DATE OF LOCATIONS		PLAT NO.	315
WALL CHECK		LIBERS	FOLD
HEB. LOC. 05-03-10		SCALE	1" = 30'
JOB NO. 08-02077		DRAWN BY	D.M.L.

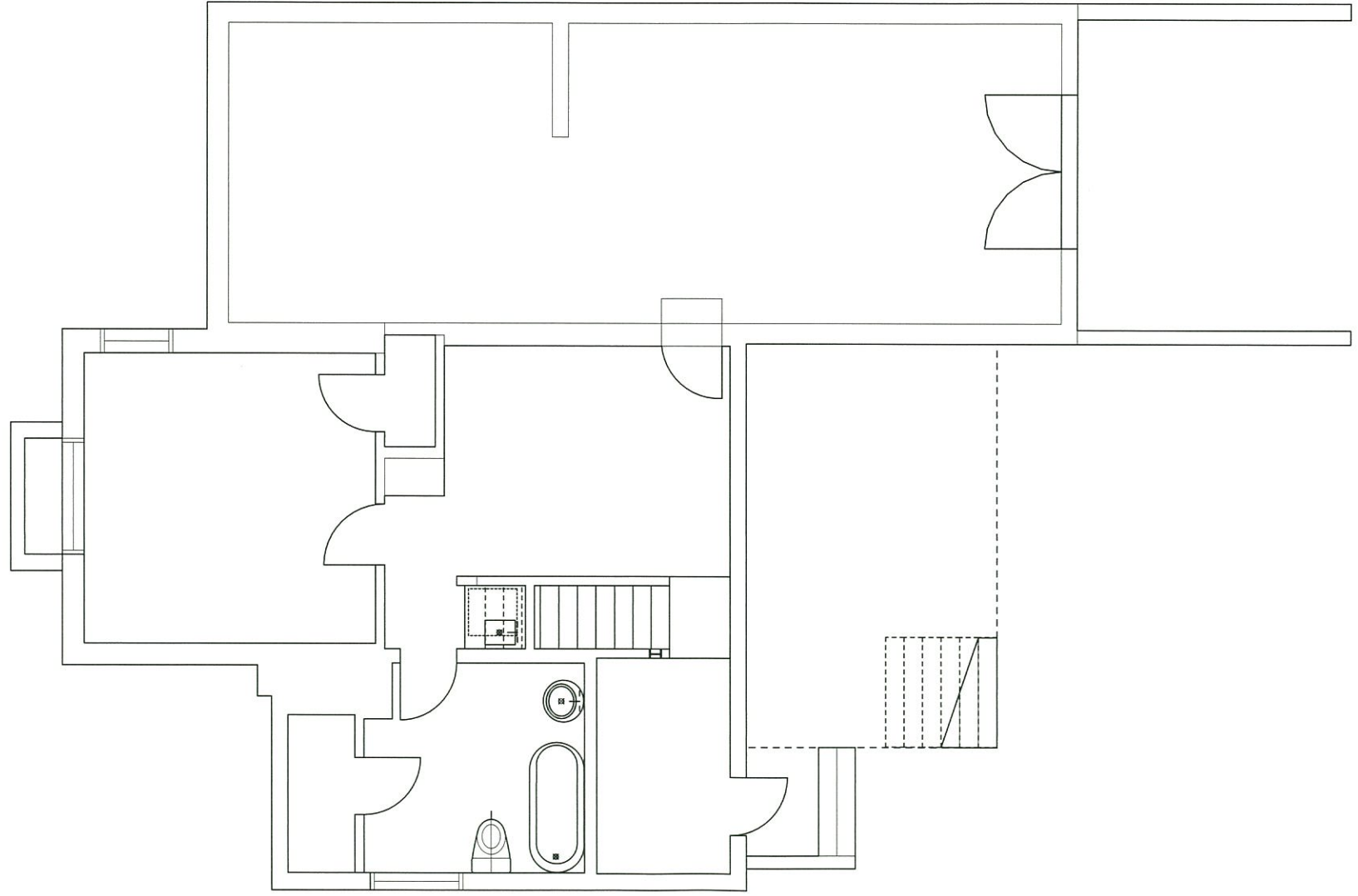
Signature of Surveyor
MONTGOMERY COUNTY, MARYLAND

SNIDER & ASSOCIATES
LAND SURVEYORS
20270 Goldenrod Lane, Suite 110
Cermansville, Maryland 20878
301/948-5100 Fax 301/948-1286

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1 BASEMENT EXISTING
A003 SCALE: 1/4" = 1'-0"

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**BASEMENT
EXISTING**

A003

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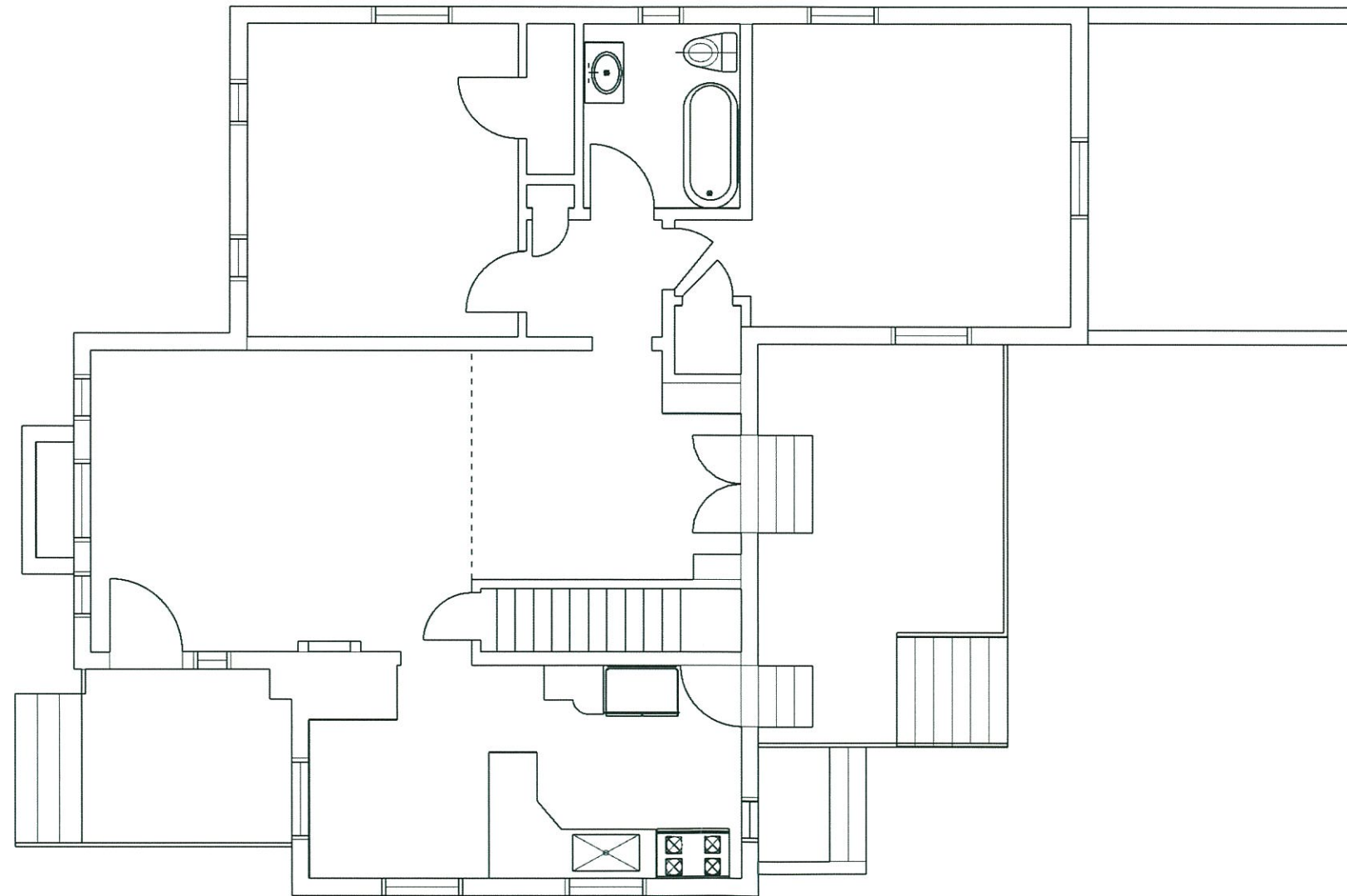
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**FIRST FLOOR
EXISTING**

A004



1 **FIRST FLOOR EXISTING**
A004 SCALE: 1/4" = 1'-0"

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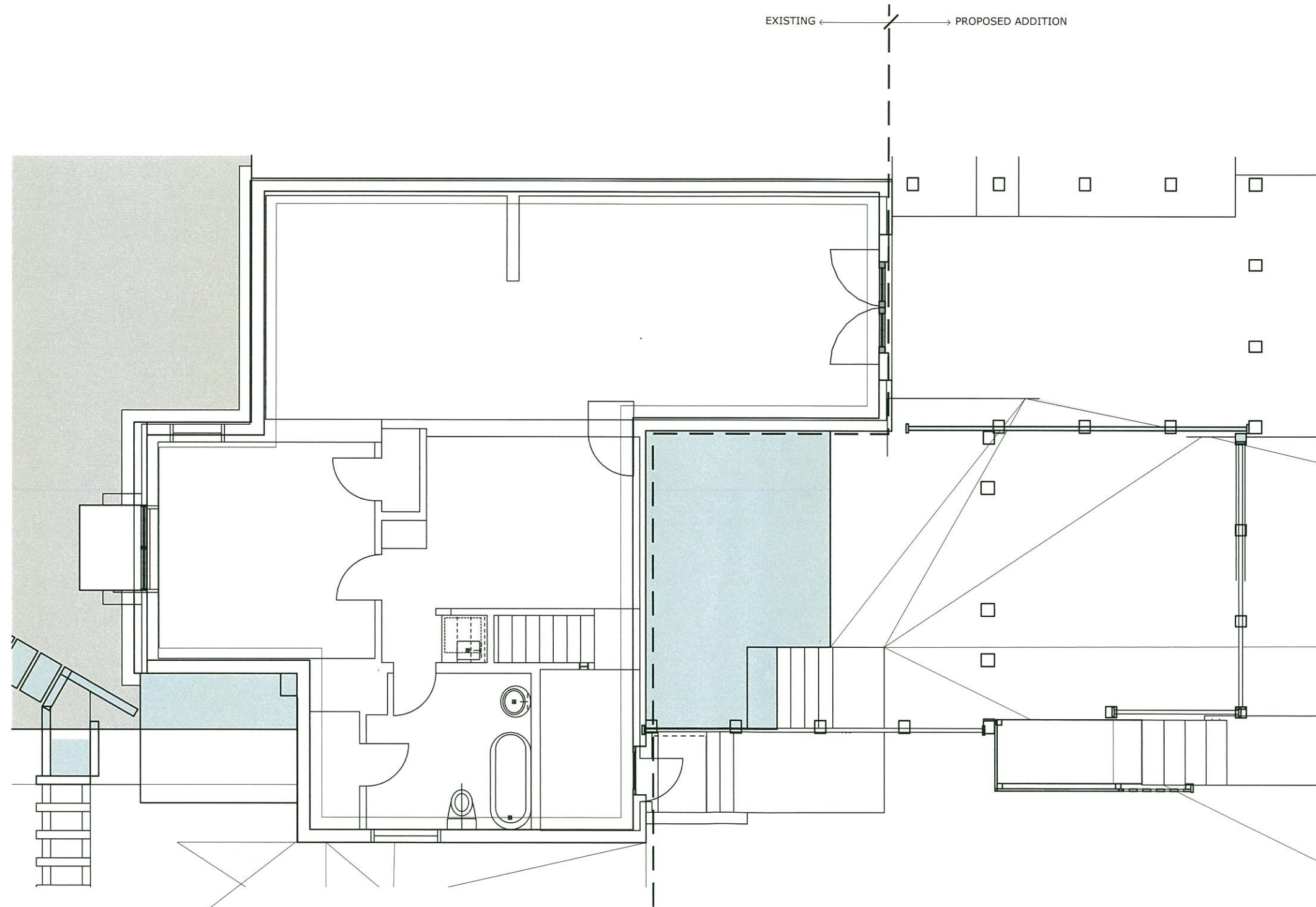
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**BASEMENT PLAN
PROPOSED**

A005



EXISTING ← | → PROPOSED ADDITION

1
A005 **BASEMENT PLAN PROPOSED**
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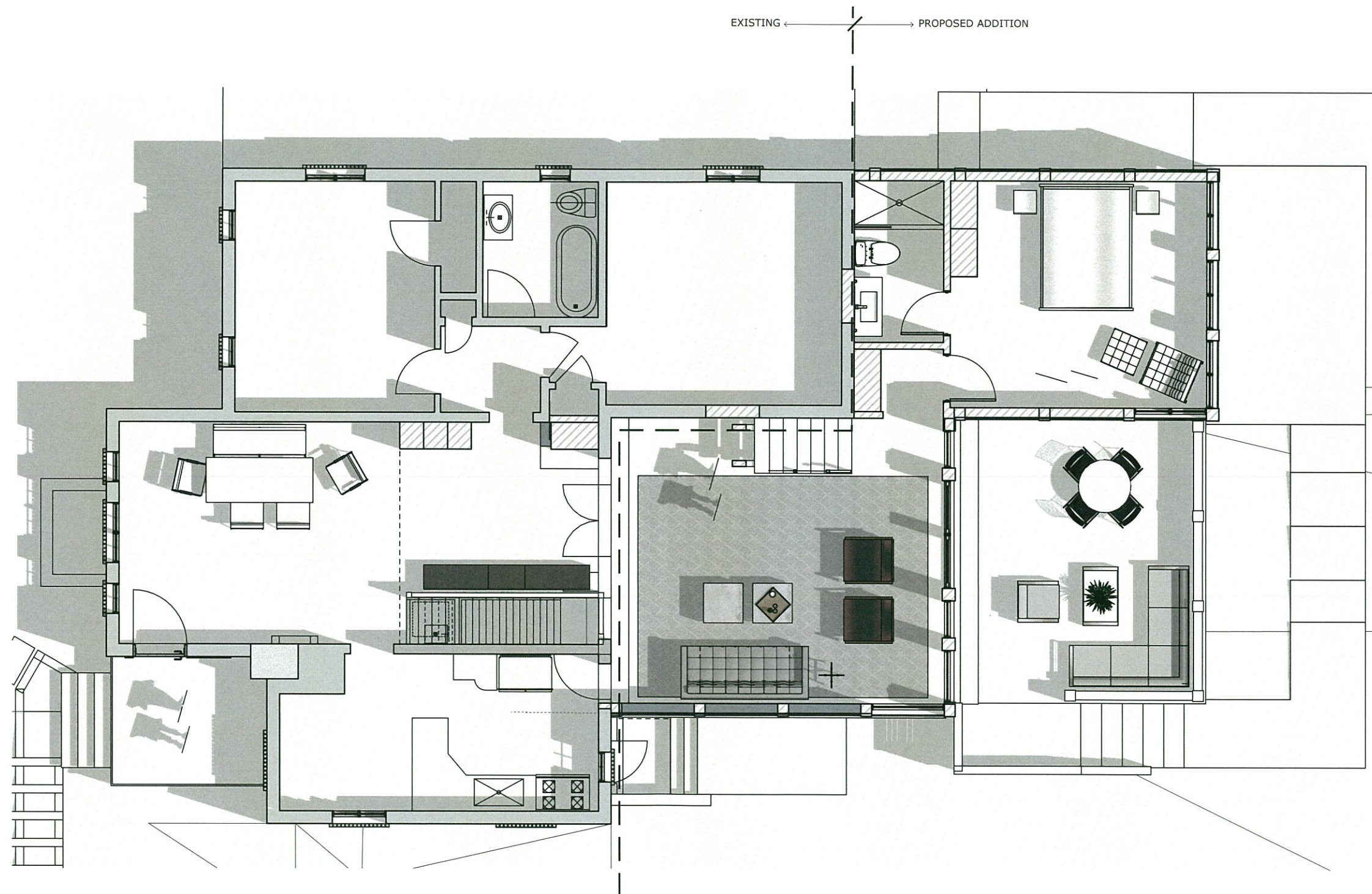
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**FIRST FLOOR
PROPOSED**

A006



1
A006 **FIRST FLOOR PROPOSED**
SCALE: 1/4" = 1'-0"

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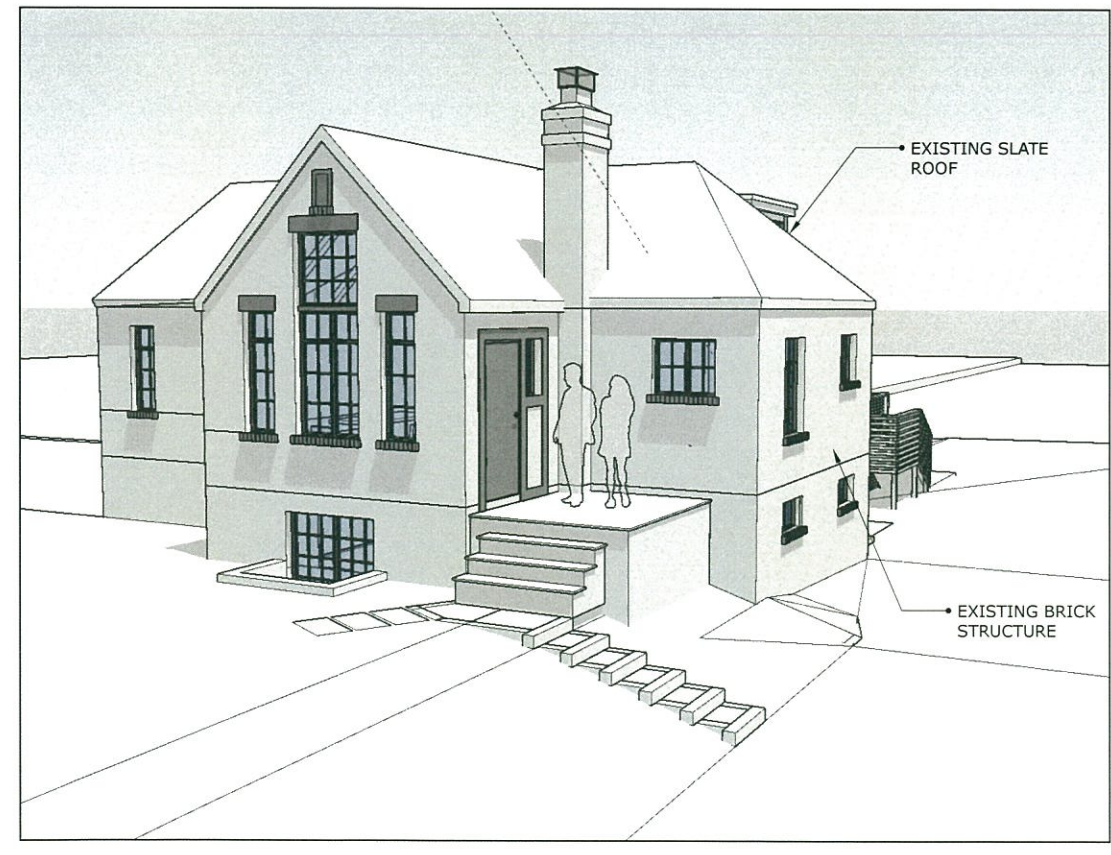
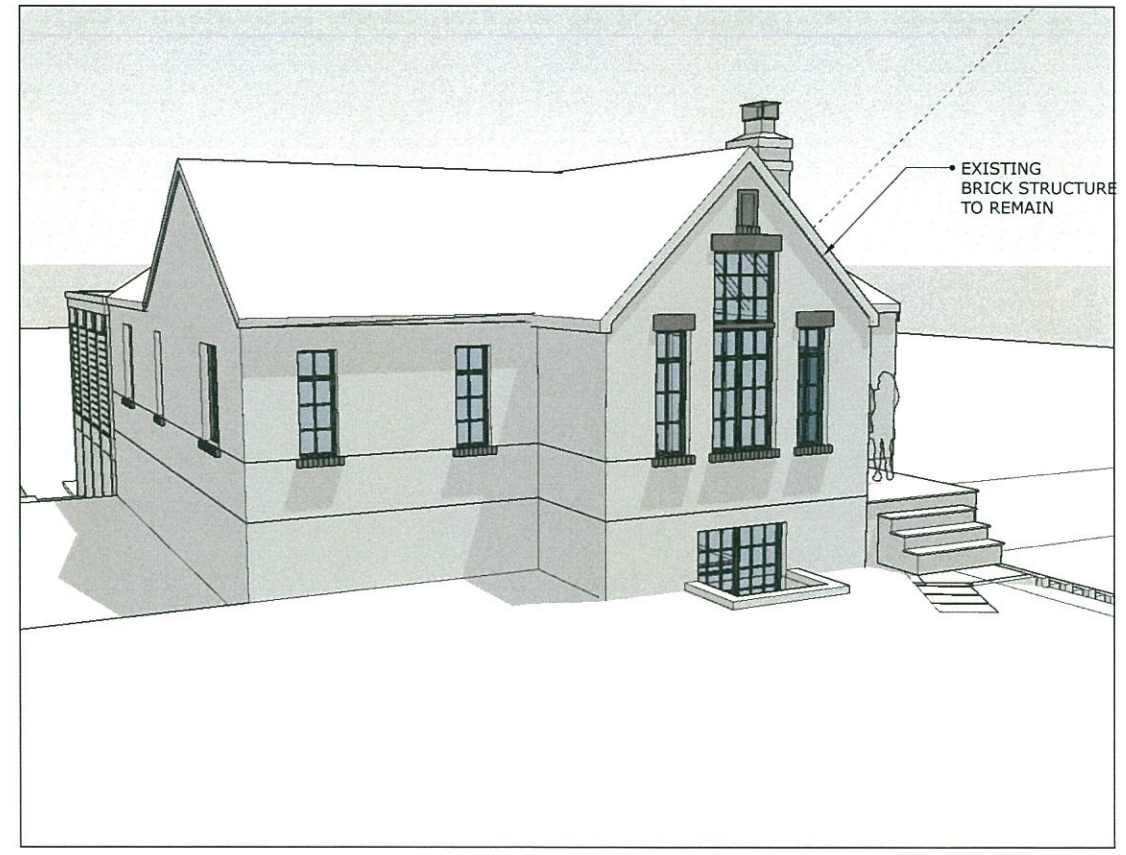
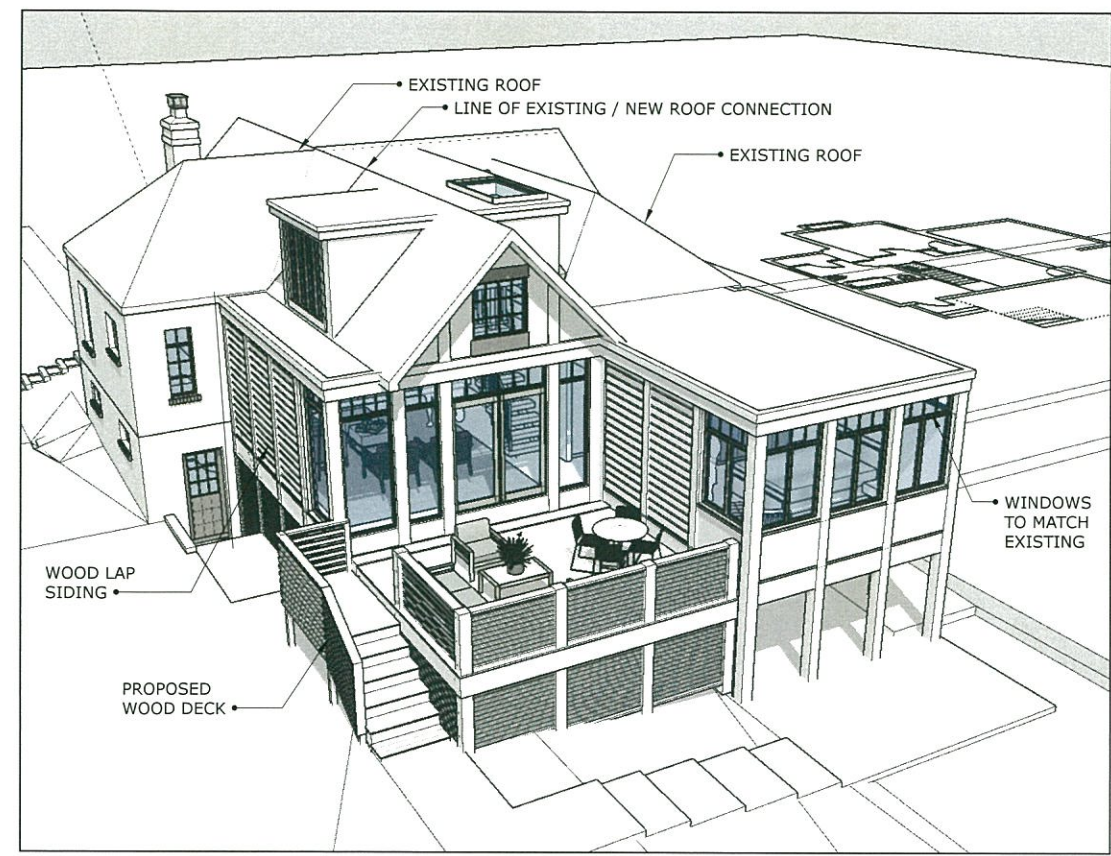
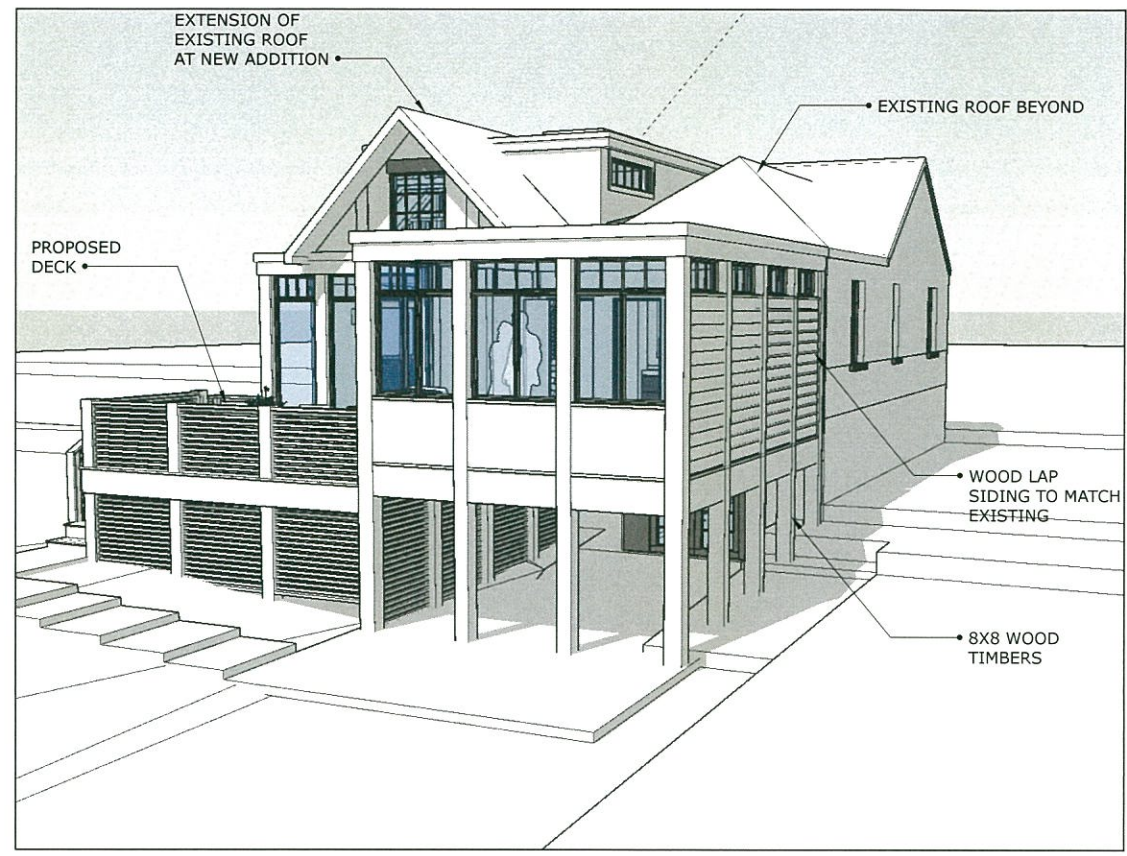
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ELEVATIONS

A007



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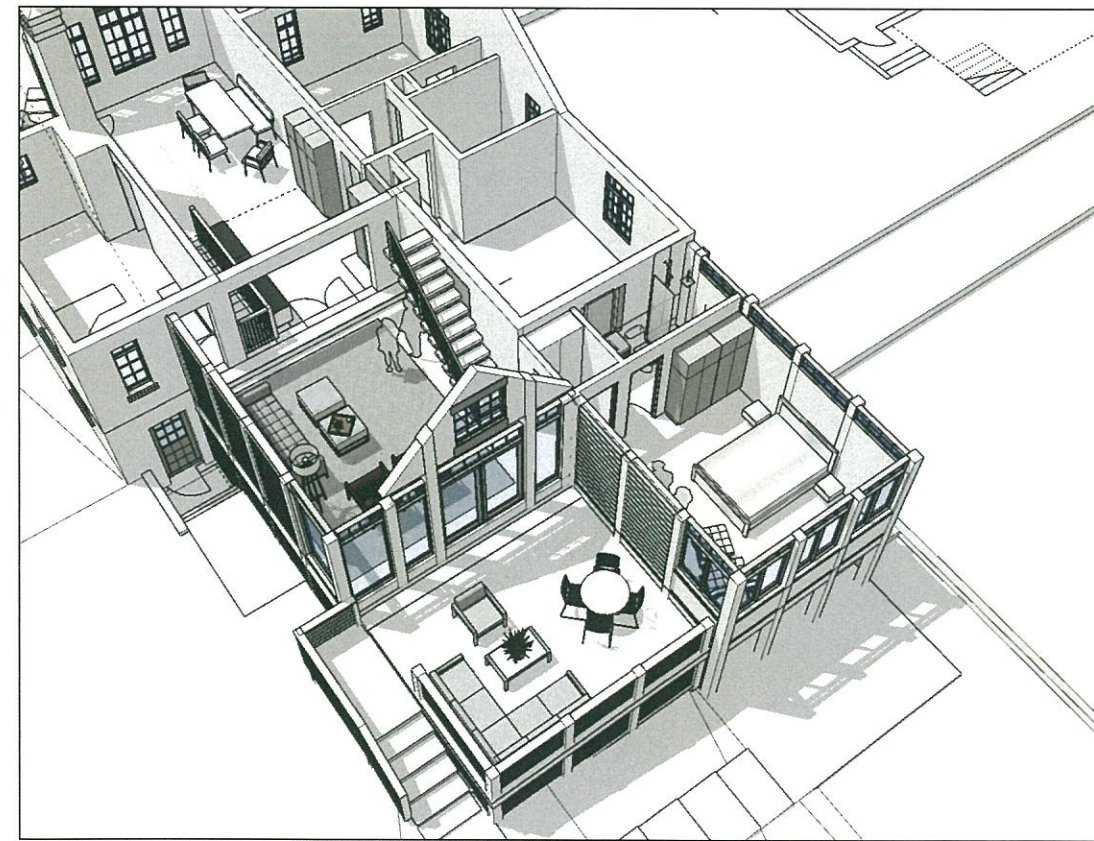
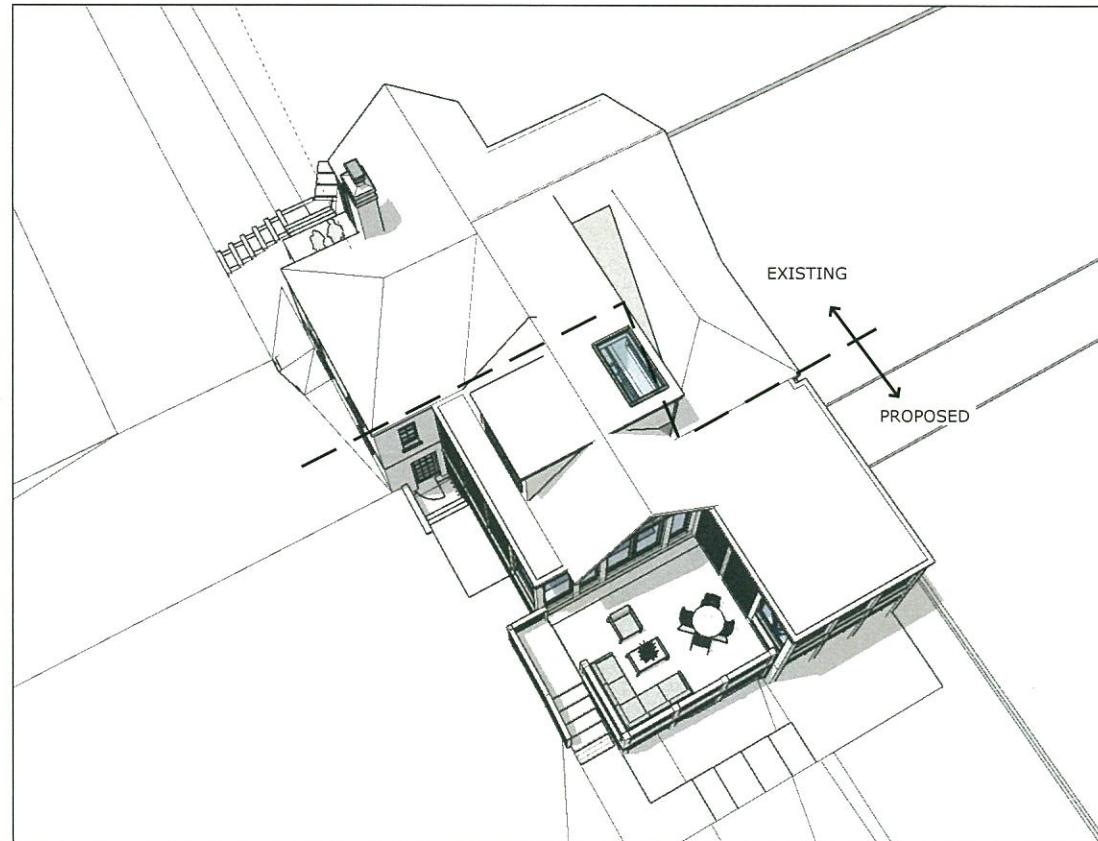
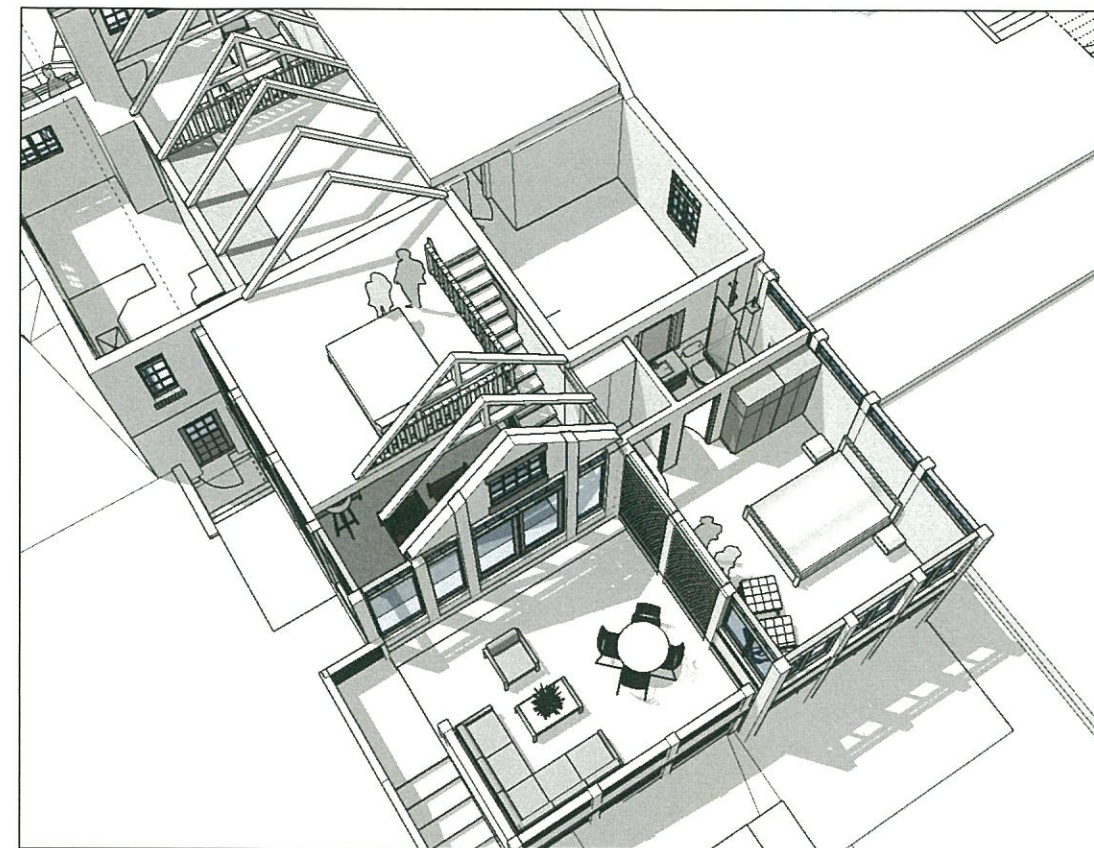
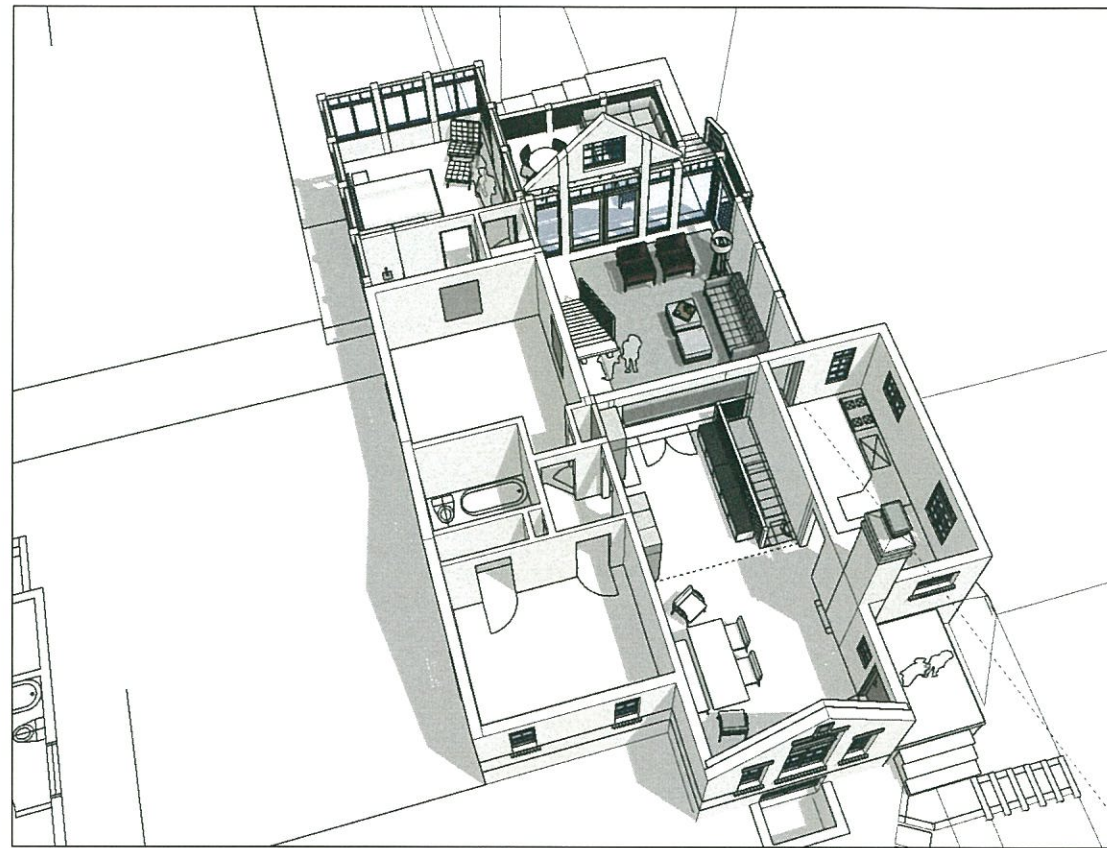
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ELEVATIONS

A008



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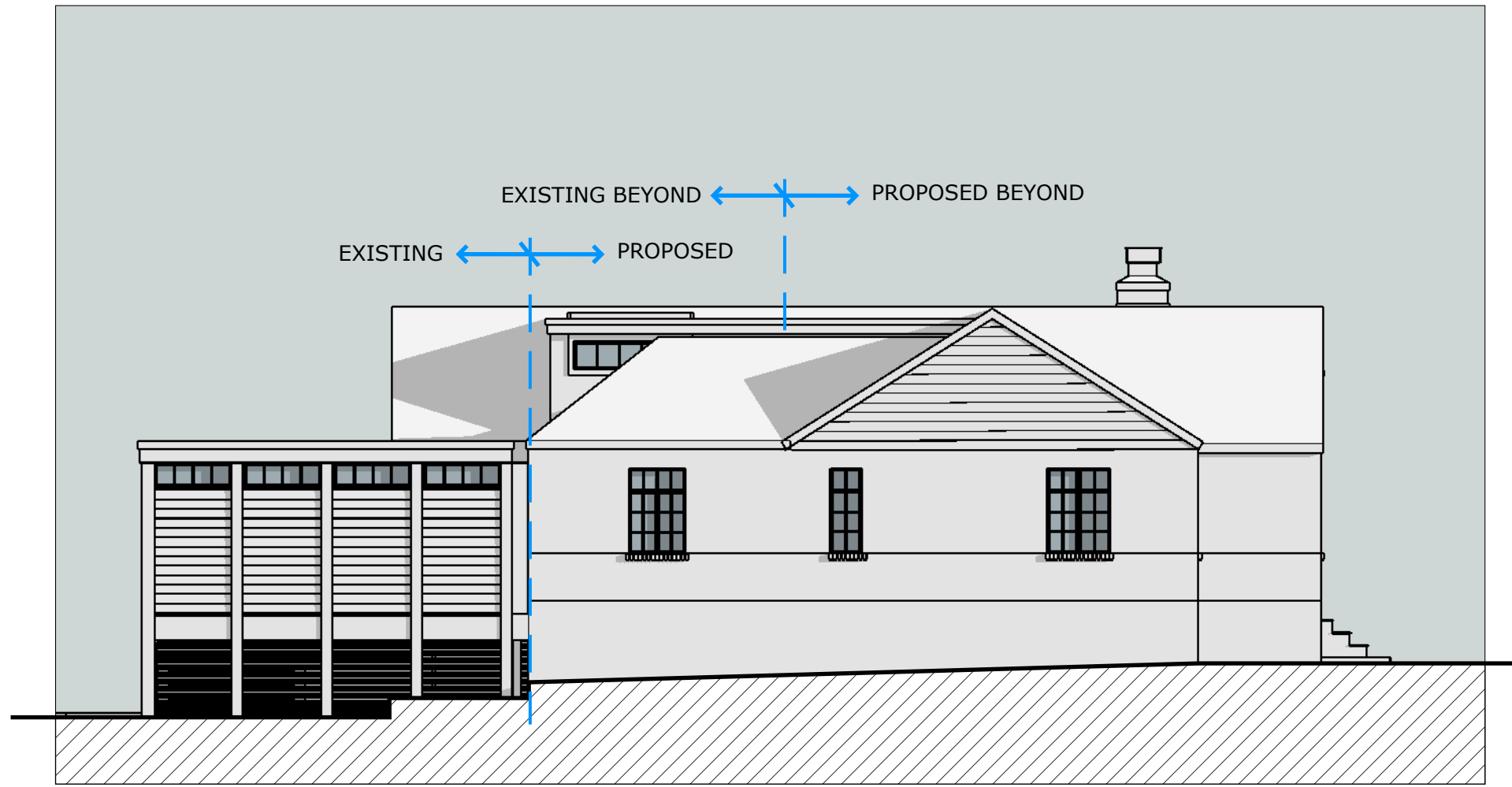
James B. Crowley

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ELEVATIONS

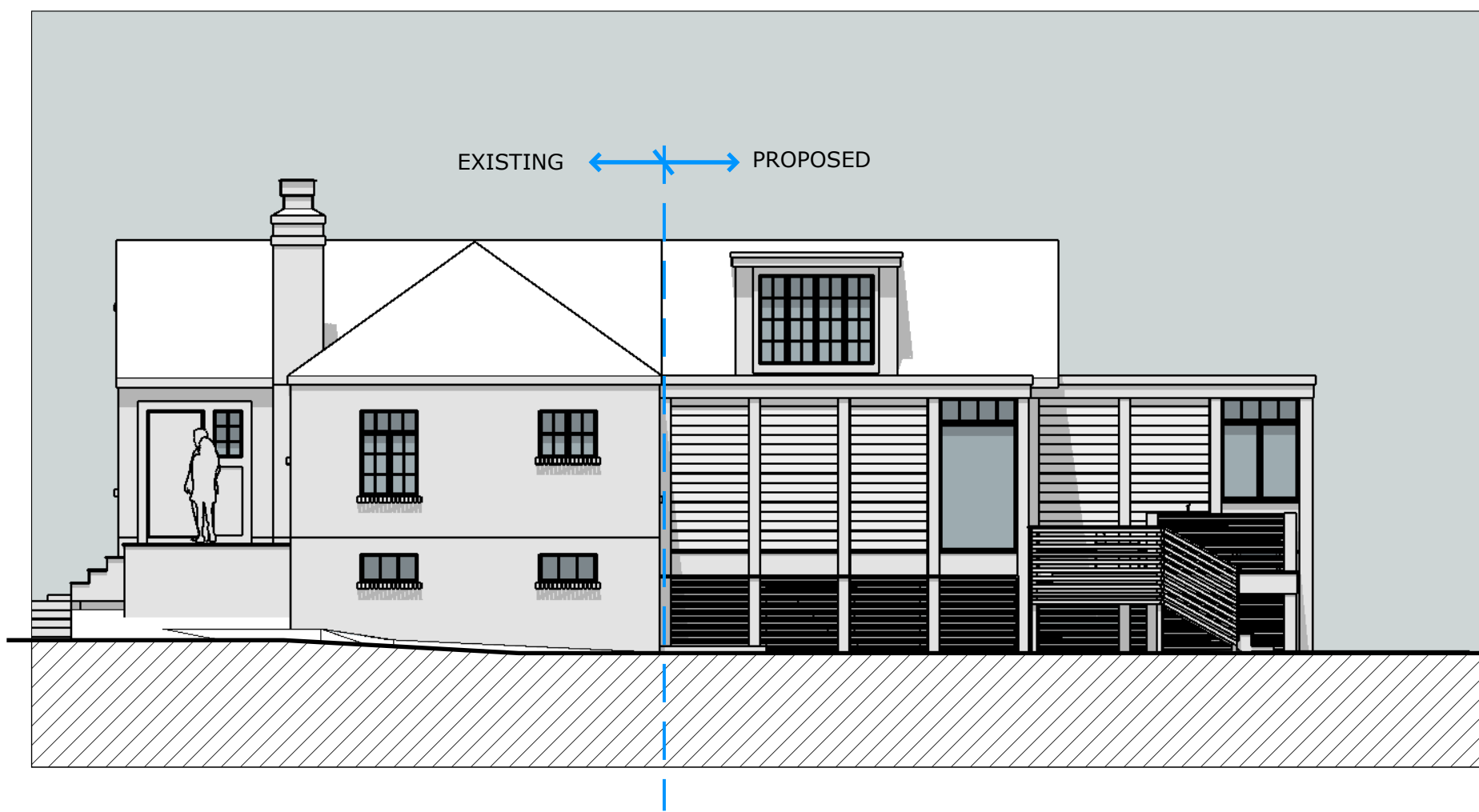
A009



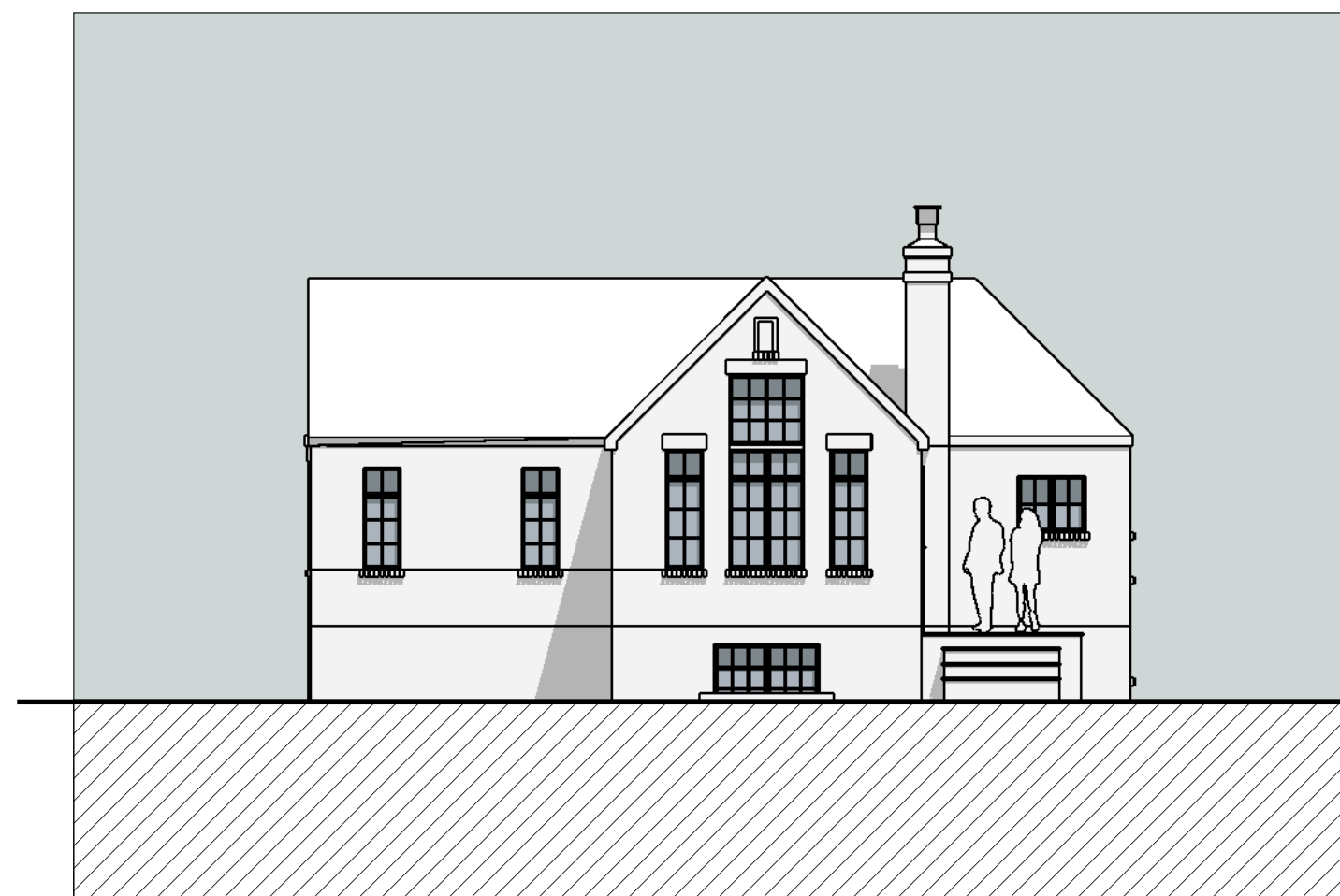
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION / PHILADELPHIA AVE.
SCALE: 1/8" = 1'-0"

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**EXISTING
PHOTOGRAPHS**

A009



1 EXISTING PHOTOGRAPHS
A009 SCALE: 1/4" = 1'-0"