

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	20 W. Kirke St., Chevy Chase	Meeting Date:	11/14/2018
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/7/2018
Applicant:	Betsy Williams & Tom Moore	Public Notice:	10/31/2018
Review:	HAWP	Tax Credit:	n/a
Case Number:	35/13-18II	Staff:	Dan Bruechert
PROPOSAL:	Window Well Installation and Other Alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application:

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Chevy Chase Village Historic District

STYLE: Craftsman w/ traditional additions

DATE: c.1916-27

20 W. Kirke St. started as a clapboard sided, side-gable Craftsman bungalow orientated toward Magnolia Parkway. A later addition, constructed in a Federal Revival vocabulary, to the west reoriented the house with a new entrance along Kirke St. Finally, a 2012 addition to the south of the historic bungalow employs many of the craftsman elements found on the historic house.

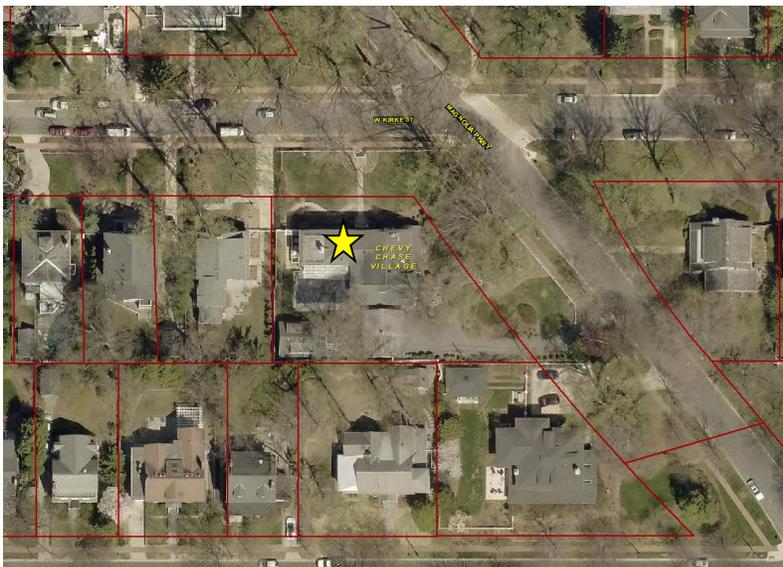


Figure 1: 20 W. Kirke St. is at the corner of W. Kirke and Magnolia Pkwy.

PROPOSAL

The applicant proposes to:

- re-open three basement openings on the front elevation and install window wells;
- Construct a 2nd story addition at the rear; and
- Alter the fenestration at the side and rear of the house.

APPLICABLE GUIDELINES

When reviewing alterations and additions or new construction within the Chevy Chase Village Historic District, decisions are guided by the Chevy Chase Village Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A).

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

HAWP applications for exterior alterations, changes, and/or additions to non-contributing/out-of-period resources should receive the most lenient level of review. Most alterations and additions should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

- *Balconies* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- *Doors* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- *Garages and accessory buildings* which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an

- existing garage or accessory building has any common walls with, or attachment to, the main residence, then any addition to the garage or accessory building should be subject to review in accordance with the Guidelines applicable to “major additions.” Any proposed garage or accessory building which is to have a common wall with or major attachment to the main residence should also be reviewed in accordance with the Guidelines applicable to “major additions.”
- Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated
 - Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
 - Skylights should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
 - Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8(b)

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

STAFF DISCUSSION

The applicant proposes work in three general areas:

- The installation of three basement egress windows and associated window wells;
- Constructing a 2nd story bump-out to accommodate an interior stair at the rear; and
- The alteration to the fenestration at the side and rear of the house.

Staff finds that the proposed work is in keeping with the historic character of the house and surrounding district and recommends approval.

Window Wells

On the front elevation, there were three basement-level windows that were filled in as part of a 2012 remodeling project. The applicant now proposes to install code-compliant egress windows and associated window wells in these openings.

The proposed windows will be single-lite, wood casement windows with brick window wells. The window wells will be covered by a metal grate. The window wells will be constructed so that they project above grade by only a few inches and Staff finds that these will not have a significant visual impact on the historic character of the house or the surrounding district (24A-8(b)(1) & (2)). As these will be placed in the location of the original openings, no historic fabric will be lost from this portion of the project. Staff supports approval of the window wells.

2nd Floor Bump Out

The applicant proposes to construct a 2nd floor addition on the south façade, which will be visible from the east. This portion of the house is a 2012 addition that was reviewed and approved by the HPC. This bump-out will project from the existing wall approximately 3'6" (three feet, six inches) and will be 10' 9" (ten feet, nine inches) wide. This addition will be clad in Hardi siding, matching the modern addition, with asphalt shingles to match the remainder of the house. The feature will have a triple set of fixed eight-light windows with a Velux skylight above.

Staff finds that this feature will not impact any of the historic features of the house, as it is being constructed on a non-historic addition. Additionally, as it faces the rear of the property, its visual impact on the surrounding district will be minimized. Because of the unique shape of the lot, the bump out will be somewhat visible from the public right-of-way, but its visual impact on the house and surrounding district will be minimal. Staff supports the approval of the second-floor bump-out.

Other Fenestration Alterations

The applicant proposes to make several fenestration alterations to the east, west, and south elevations. These elevations are all secondary and Staff supports the proposed changes.

East Elevation

On the east elevation, the applicant proposes to change one opening from a pair of sash windows into a pair of French doors and to introduce two new window openings. All of the work on the east elevation will occur in the 2012 addition and not to the historic house massing. The existing windows are a pair of non-historic six-over-six sash windows. The applicant proposes to install a pair of eighteen-lite wood French doors that will be accessed by a new concrete step. Staff finds the French doors are in keeping with the multi-lite window configuration found through the house and is compatible with the character of the house and surrounding district. The applicant also proposes to install a new four-over-four sash window to the right of the proposed French

doors. This window is to be installed in what appears to be the connector between the historic massing and the 2012 addition. Its introduction will not significantly impact the character of the house or the surrounding district and Staff supports its approval. The last new feature proposed for the east elevation is a skylight proposed for directly over the new window. The skylight appears to match the design and dimensions of the existing skylight on the east elevation. Staff finds that this skylight will not have a dramatic impact on the historic character of the house and supports approval under 24A-8(b)(1).

West Elevation

On the west elevation, the applicant proposes changes in three areas: enlarging a sash window, removing two non-historic windows and installing three new windows in their location, and removing a non-historic pair of French doors and installing a three-panel slider door in their place while covering an existing door opening. All of this work is not visible from the public right-of-way and is subject to lenient scrutiny under the *Guidelines*.

In to 2012 addition, the applicant proposes to remove two twelve-lite fixed windows and to install three new four-lite windows in their place. The applicant also proposes to install new paneling on this elevation to create equal spacing – changing from a six-panel configuration, to a five-panel configuration to maintain symmetry. These windows are on a non-historic addition to the house, which face the interior of the yard and will not be visible from the public right-of-way. Staff finds that this proposal will not impact the historic character or the historic fabric of the house and supports approval of this element under 24A-8(b)(1).

On the first floor the applicant proposes removing a pair of French doors with a single door to the left. In its place, the applicant proposes to install a three-panel slider door with each door dividing into eight-lites. The door opening to the left will be filled in with V-groove wood board painted to match the existing siding above. On the second floor, above the existing single door, the applicant proposes to remove an existing six-over-six window and install a taller six-over-nine window in its place. The changes on this elevation are not significant alterations that will be visible from the public right-of-way and will not impact the historic character of the house. Staff supports approval of these alterations under 24A-8(b)(1).

South (Rear) Elevation

On the south elevation, the applicant proposes remove two existing four-over-four sash windows and installing larger four-lite casement windows in their place. To balance the symmetry of the paneling on this section of the house, the applicant will remove and reinstall the paneling on the wall. This alteration is proposed for the 2012 building addition and is not visible from the public right-of-way. Staff finds this to be a minor alteration that will not impact the historic character or the historic features of the house nor will it impact the surrounding district and Staff supports approval of this change under 24A-8(b)(1).

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department

of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: dhirt@saltboxdesign.com Contact Person: Dustin T. Hirt
Tax Account No.: Daytime Phone No.: 202-285-1499
Name of Property Owner: Betsy Williams and Tom Moore Daytime Phone No.: 202-588-8153
Address: 20 West Kirke Street Chevy Chase 20815
Street Number Street City ZIP
Contractor: To be determined Phone No.: ---
Contractor Registration No.: ---
Agent for Owner: Saltbox Architecture LLC Daytime Phone No.: 202-360-3630

LOCATION OF BUILDING/PREMISE

House Number: 20 Street: West Kirke Street
Town/City: Chevy Chase Nearest Cross Street: Magnolia Parkway
Lot: P13 Block: 32 Subdivision: 0009
Parcel: 0000

PART 1: TYPE OF PERMIT ACTION & USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

18. Construction cost estimate: \$ TBD

1C. If this a revision to a previously approved active permit, see permit #: N/A

PART 2: COMPLETE FOR NEW CONSTRUCTION & EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART 3: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height --- feet --- inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: N/A

- On Party Line/Property Line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date: 10.23.18

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This house is in the historic neighborhood Chevy Chase Village. It sits at the corner of West Kirke Street and Magnolia Parkway. The original 1913 bungalow style house has undergone two significant additions. To the North, facing West Kirke Street, is a large federal style addition. To the South and East is an addition built in 2013.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Modifications to the original bungalow & federal style addition: Re-open (3) existing basement windows & window-wells to create (3) egress windows on W. Kirke St. side. Modifications to the 2013 addition: Create a small 2nd story addition for a new interior back staircase. The addition will have a shed roof in keeping with the original bungalow dormer. We are adding 2 windows & 1 patio door and enlarging 5 windows & 1 patio door. Of these modifications only the 2nd level addition, the skylight and one window will be visible from the street (Magnolia Parkway).
The other changes all are at the back of the house facing the pool area.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Betsy Williams & Tom Moore 20 West Kirke Street Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>Saltbox Architecture LLC 5217 Wisconsin Avenue NW Washington DC 200015</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Michael McGarry 24 West Kirke Street Chevy Chase, MD 20815</p>	<p>Michael Friedman 16 Magnolia Parkway Chevy Chase, MD 20815</p>
<p>Duane Gibson 23 West Irving Street Chevy Chase, MD 20815</p>	<p>Brendan Babbington 25 West Irving Street Chevy Chase, MD 20815</p>
<p>Charles Mallory 17 Magnolia Parkway Chevy Chase, MD 20815</p> <p>Andrei Lavrov 25 West Kirke Street Chevy Chase, MD 20815</p>	<p>Thomas Brown 27 West Kirke Street Chevy Chase, MD 20815</p>

Existing Property Condition Photographs



Street view- Intersection of West Kirke & Magnolia Parkway.



Detail: Street view- West Kirke Street (North).

Existing Property Condition Photographs

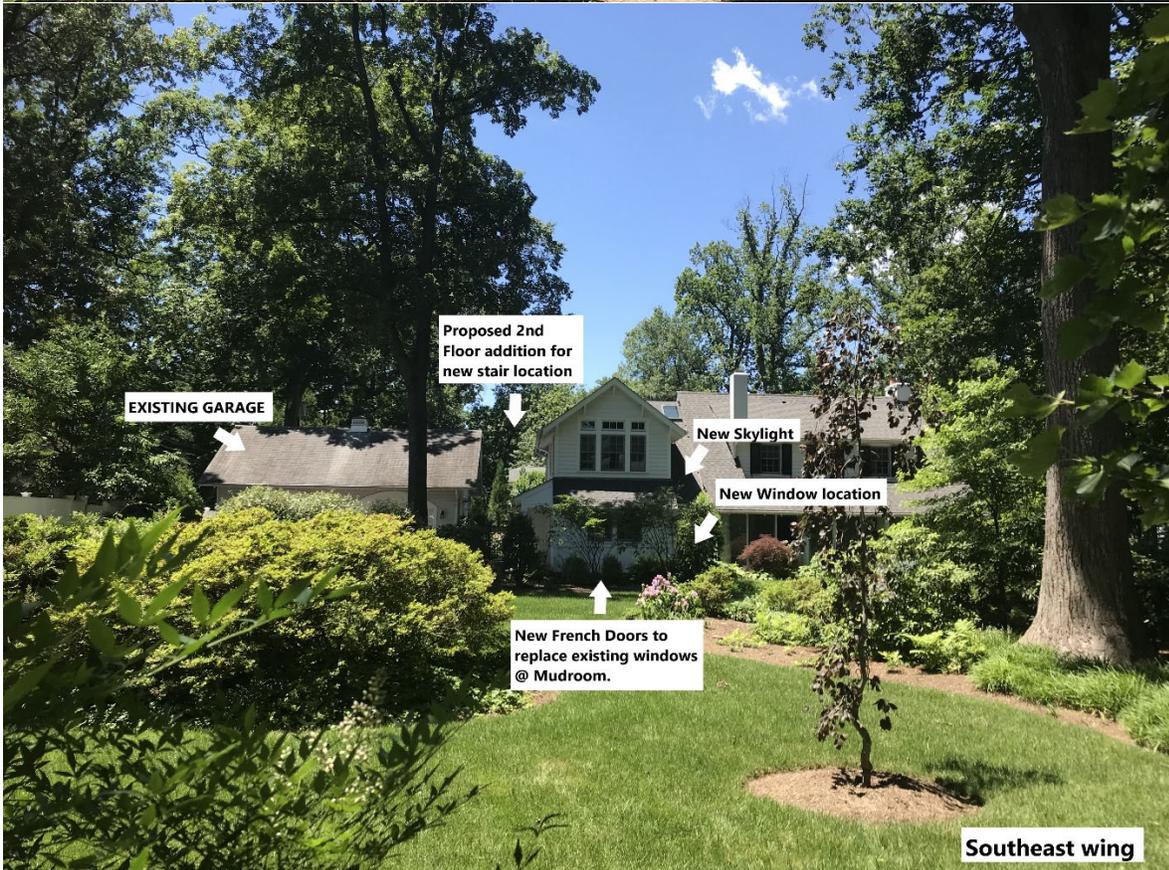


Detail: Front Elevation (North).



Detail: Front Elevation (North).

Existing Property Condition Photographs



Existing Property Condition Photographs

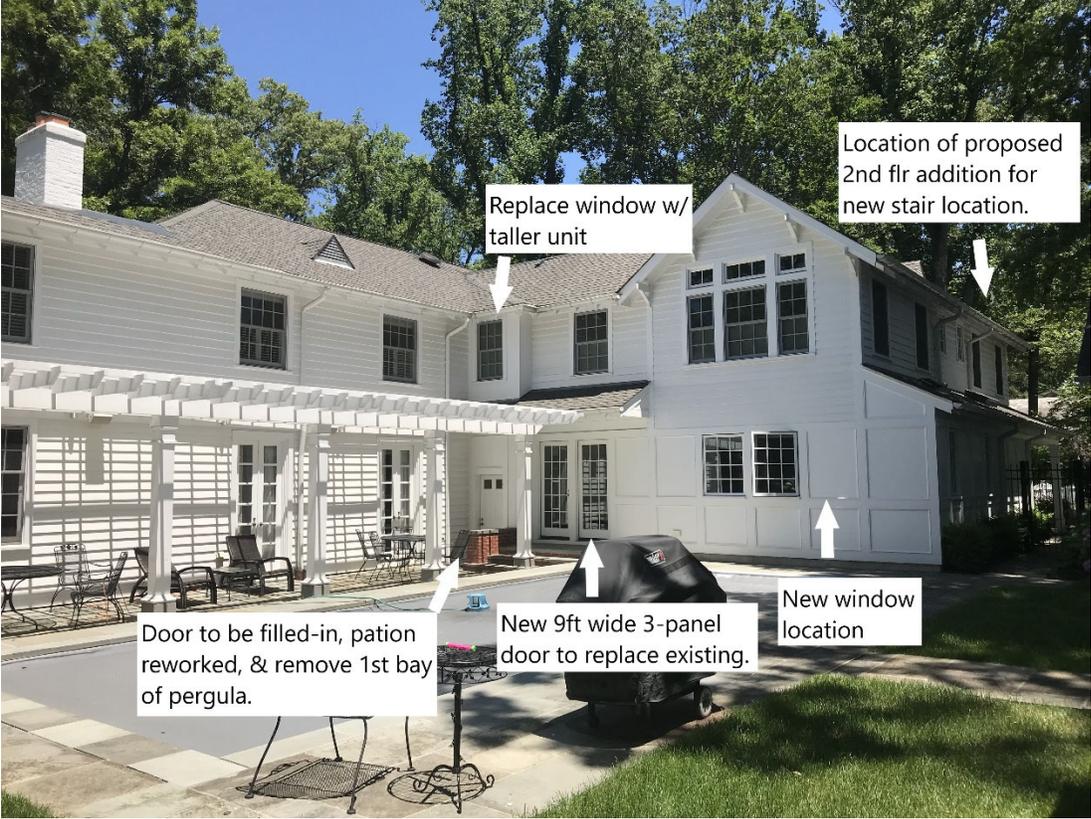


Detail: View of south end of residence from driveway.



Detail: Proposed 2nd floor addition location

Existing Property Condition Photographs

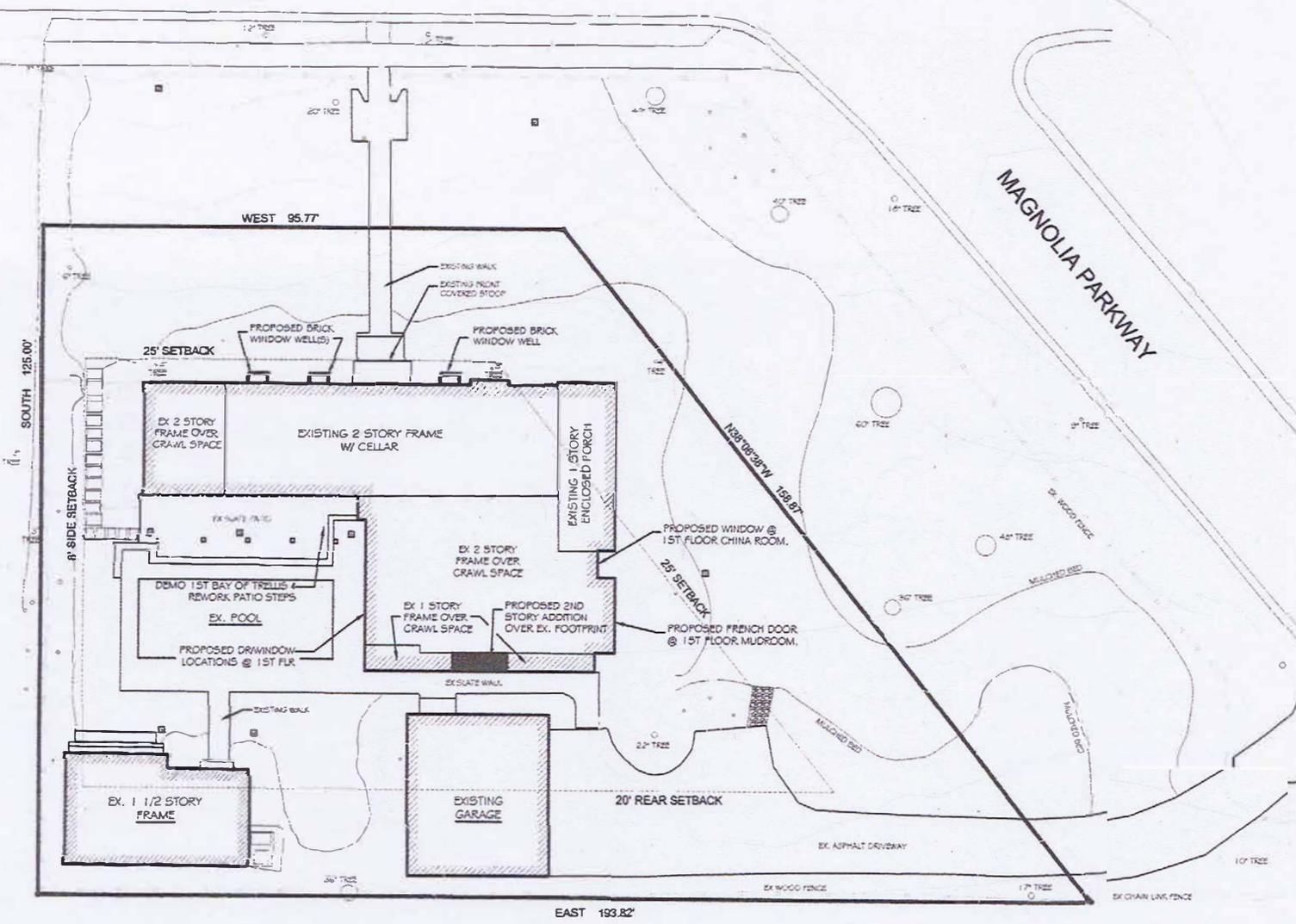


Detail: Back of residence.

Site Plan

WEST WEST STREET

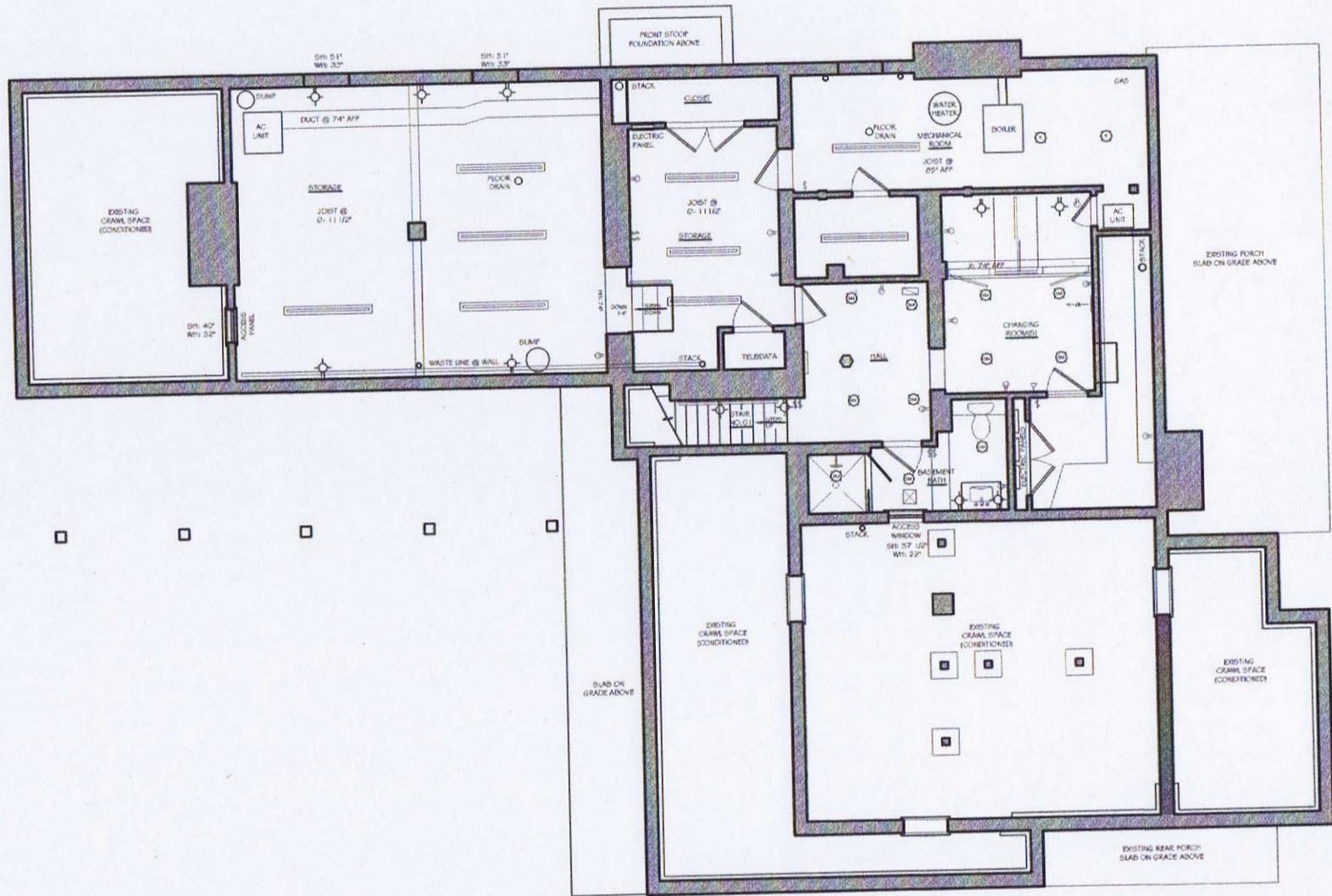
MAGNOLIA PARKWAY



Scale: 1"=30'



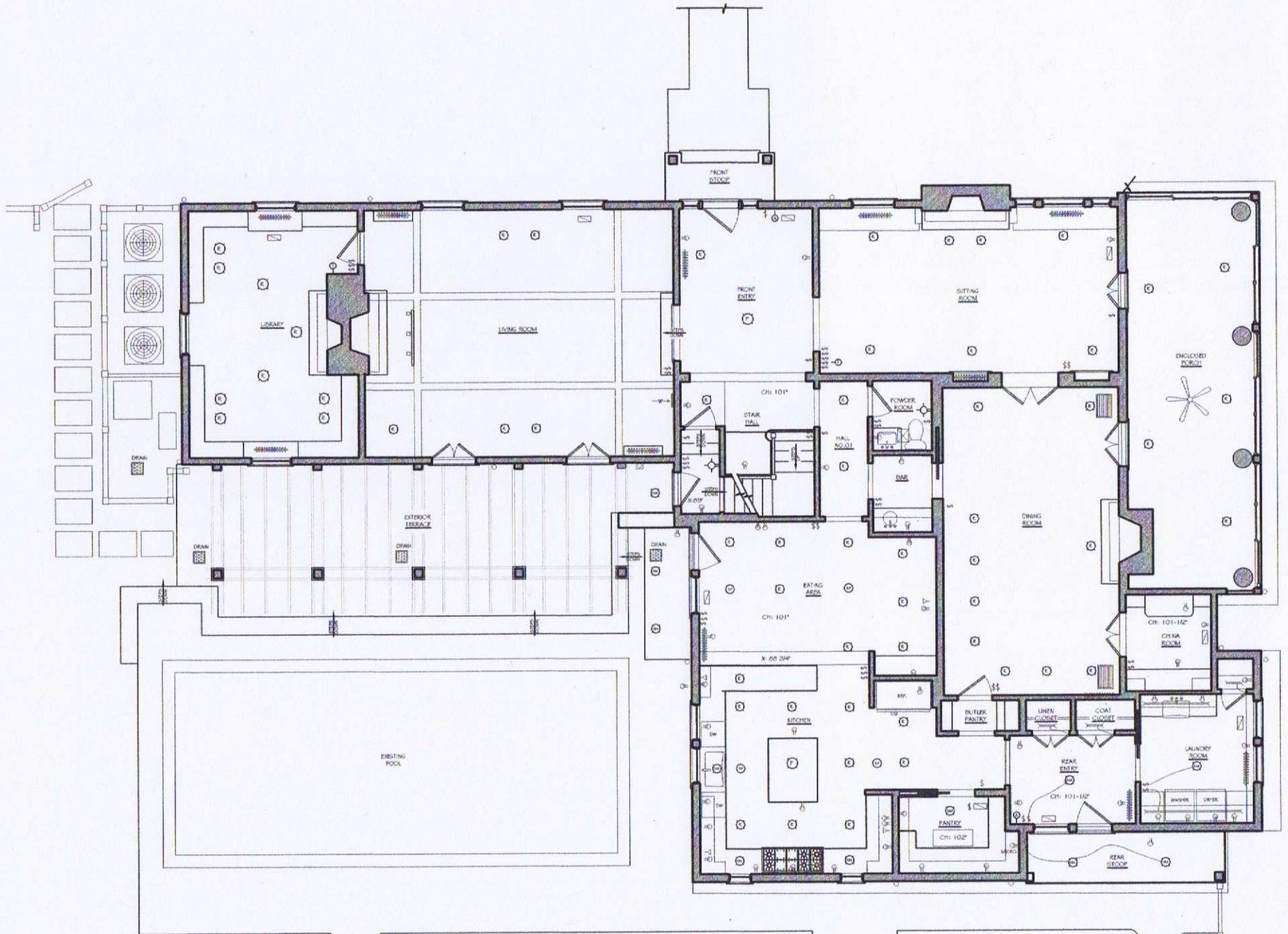
Shade portion to indicate North



EXISTING BASEMENT PLAN

SCALE 3/32" = 1'-0"



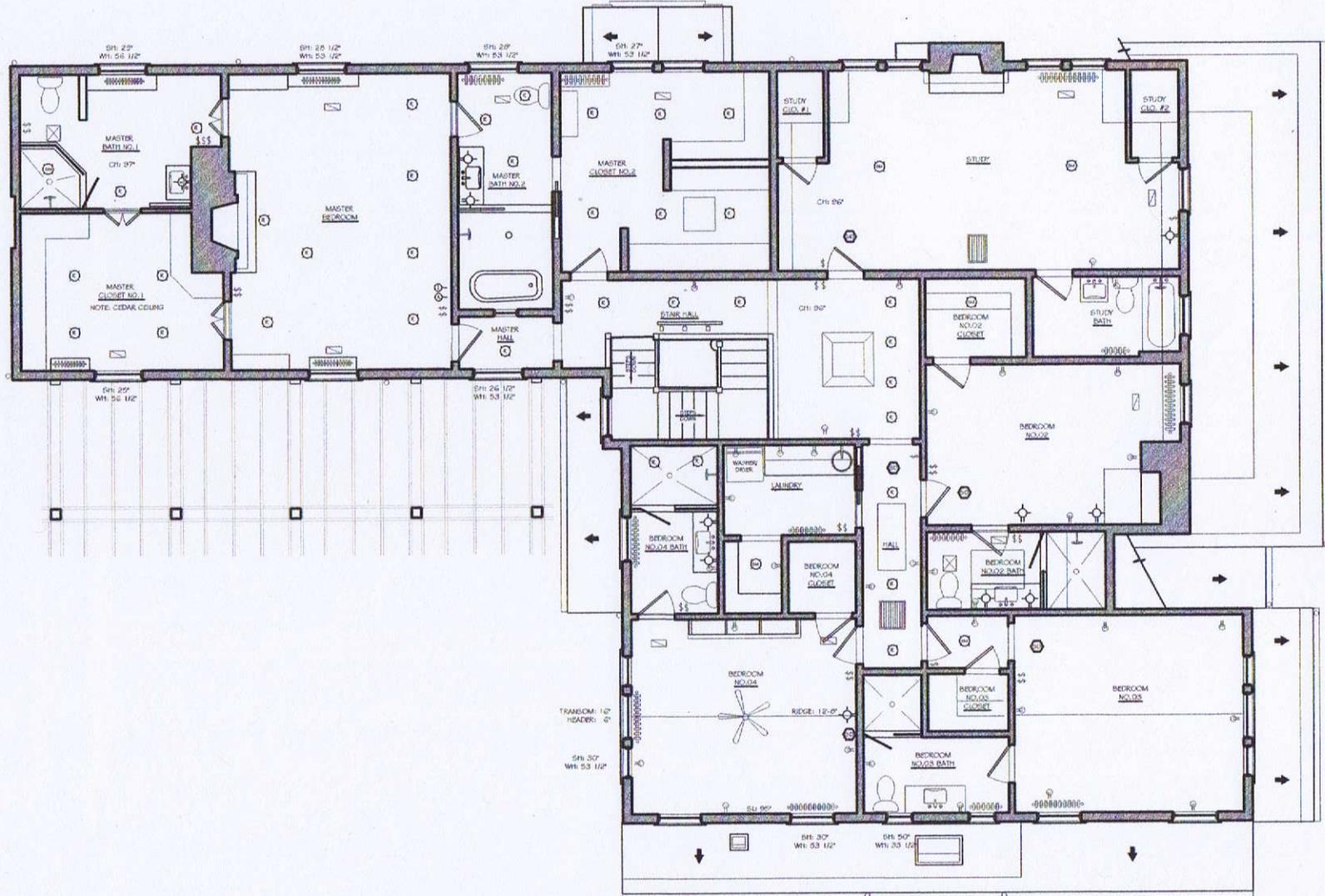


1
ABC2

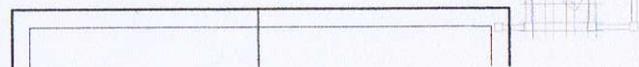
EXISTING FIRST FLOOR PLAN

SCALE 3/32" = 1'-0"





1
AB03
EXISTING SECOND FLOOR PLAN
 SCALE: 3/32" = 1'-0"





2 EXISTING ELEVATION- EAST SIDE
 AB10 SCALE 3/32"=1'-0"



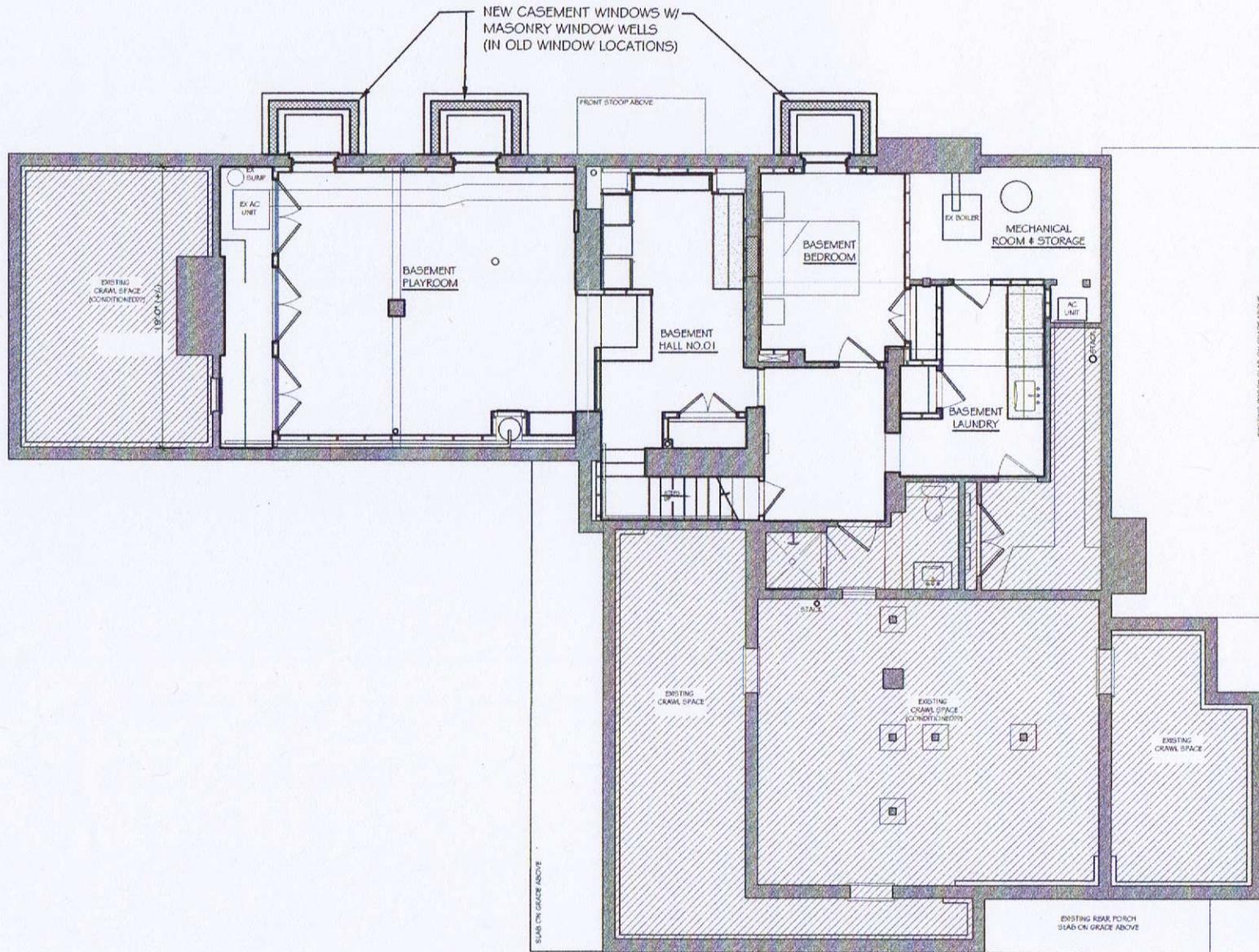
1 EXISTING ELEVATION- FRONT
 AB10 SCALE 3/32"=1'-0" (NORTH SIDE)



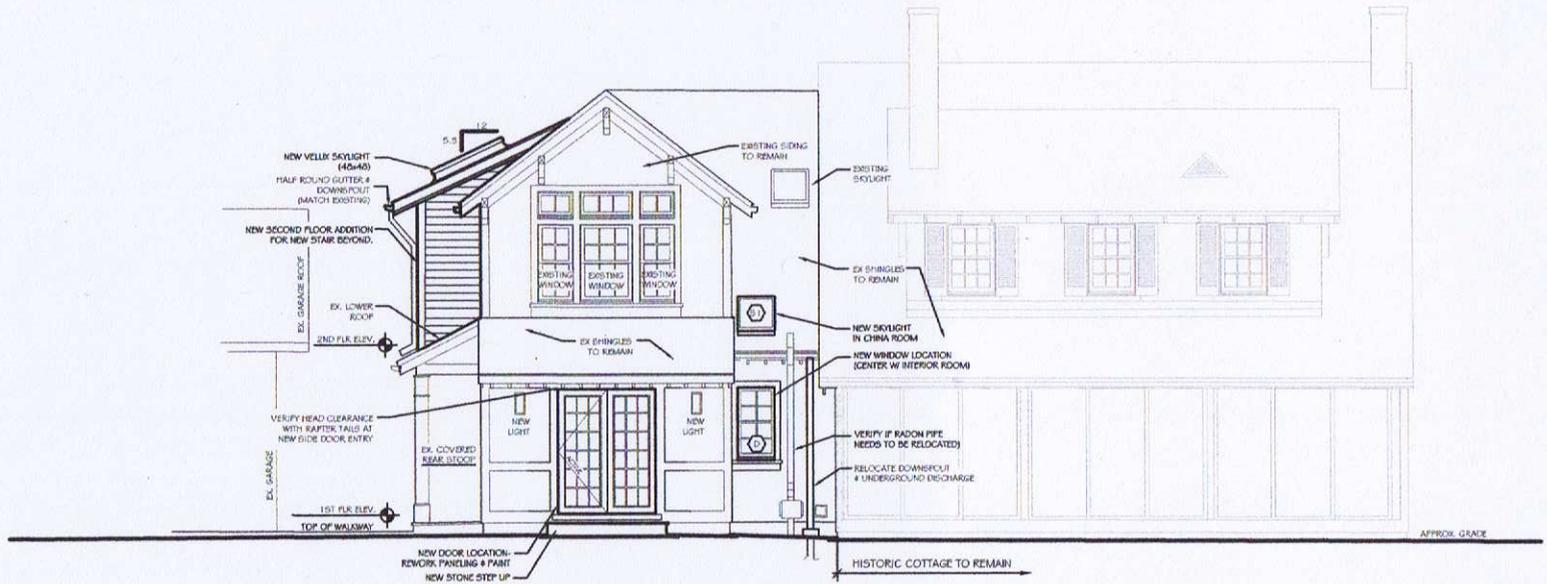
2 PROPOSED EXT. ELEVATION- WEST SIDE
 AB11 SCALE 3/32"=1'-0"



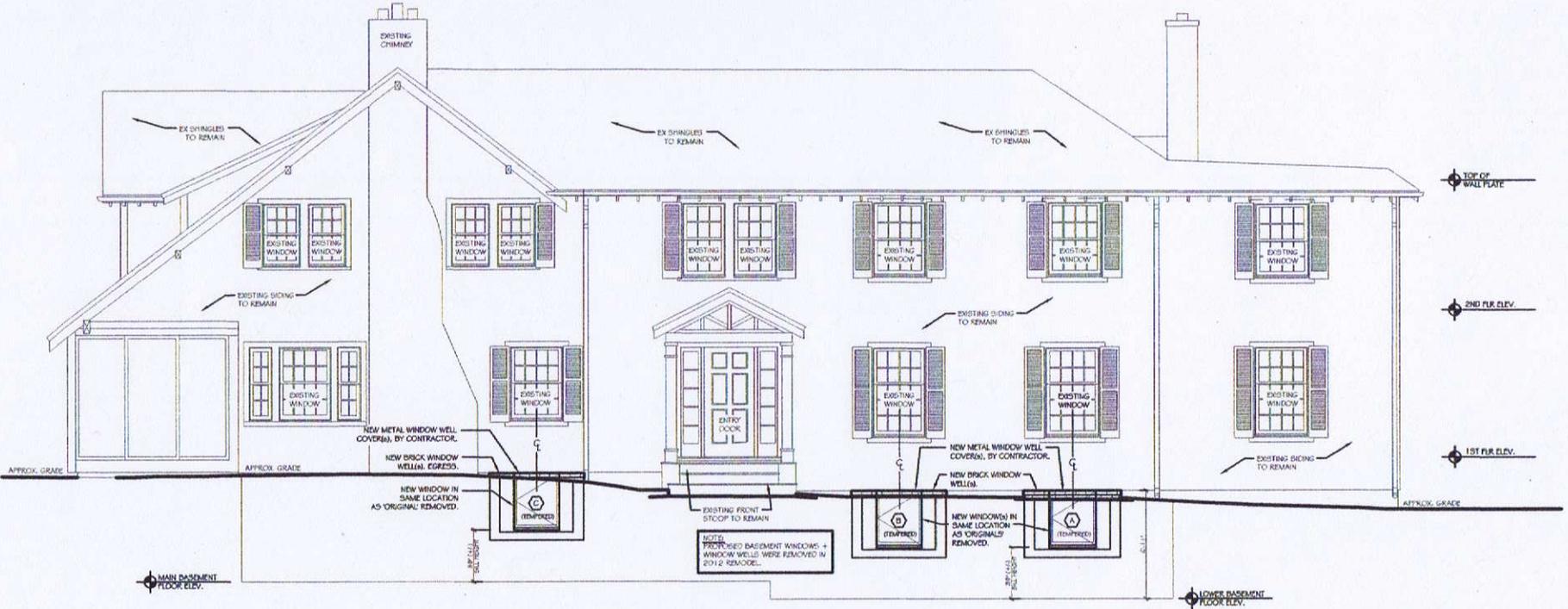
1 EXISTING ELEVATION- BACK
 AB11 SCALE 3/32"=1'-0" (SOUTH SIDE)



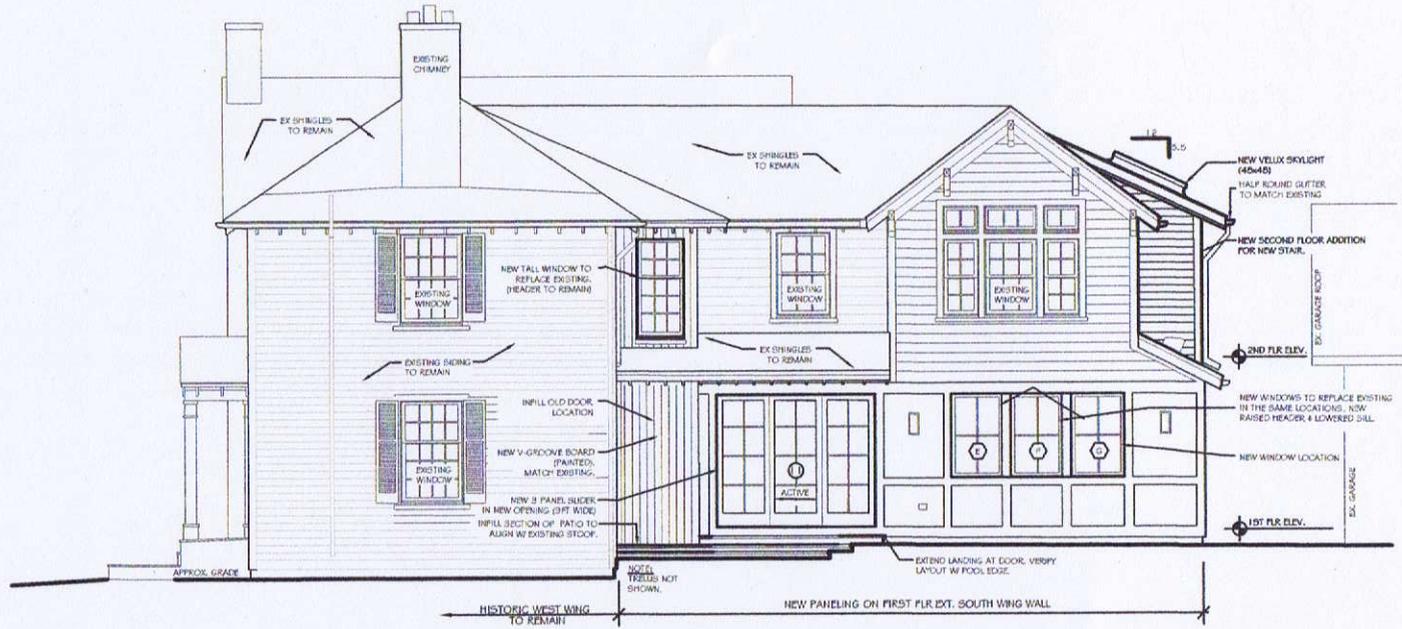

PROPOSED PLAN- BASEMENT
 SCALE 3/32"=1'-0"



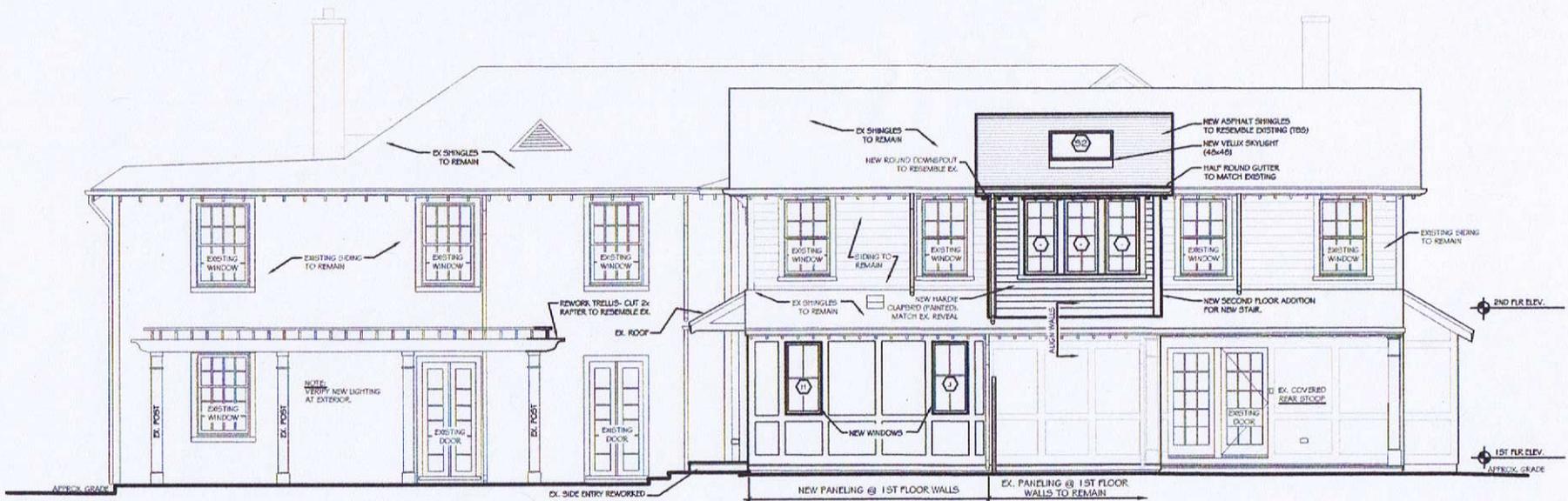
2 PROPOSED EXT. ELEVATION- EAST SIDE
 (A100) SCALE: 3/32" = 1'-0"



1 PROPOSED EXT. ELEVATION- FRONT
 (A100) SCALE: 3/32" = 1'-0" (NORTH SIDE)



2 PROPOSED EXT. ELEVATION- WEST SIDE
 (A100) SCALE: 3/32" = 1'-0"



1 PROPOSED EXT. ELEVATION- BACK
 (A101) SCALE: 3/32" = 1'-0" (SOUTH SIDE)

Window & Skylight Schedule															
Symbol	Floor	Location	Elevation	Type	Manufacturer	Callout	Unit Size	QTY	Exterior Finish/Color	Interior Finish	Exterior Trim	Glazing	Grill/Lite Pattern	Comments	
A	Basement	Playroom	1/A100	Casement (Egress)	Jeldwin	SCC3642	36 x 42	1	All Wood - Prime - Painted		Azek by contractor-See exterior elevations.	Insulated LoE w/ Argon (tempered)	Full lite (Verify)		
B								1							
C		Basement Bedroom						1							
E	First Floor	Kitchen	2/A101	Casement (LH)	Jeldwin	SCC3254	32x54	1	All Wood - Prime - Painted		Azek by contractor to resemble existing exterior trim-See exterior elevations.	Insulated LoE w/ Argon	7/8" SDL-2wx2h	Verify width works with interior elevations	
F								1							
G			1												
H			1												
J			1												
K		China Room	2/A100	1	SCD2148	21-3/8 x48	1				7/8" SDL-4 over 4				
S1		n/a	Skylight	Velux or EQ	FCM	24x48	1		---		Insulated LoE w/ argon (laminated)	n/a			
L	Second Floor	New Stair No. 02	1/A101	Casement	Jeldwin	SCC2460	24x60	1	All Wood - Prime - Painted		Azek to resemble ex. exterior trim	Insulated LoE w/ Argon	7/8" SDL-2wx4h		
M								1							
N								1							
S2		n/a	Skylight	Velux or EQ	FCM	48x48	1		---		Insulated LoE w/ argon (laminated)	n/a	Flared drywall shaft		
P		New Stair No. 01	2/A101	Double Hung	Jeldwin	SCD3364	33 3/8x64 (verify)	1	All Wood - Prime - Painted		Azek to resemble ex. exterior trim	Insulated LoE w/ Argon	7/8" SDL-TBD	Verify window type	
								Total qty:	15						
Window Notes: 1) Verify all windows with existing openings before ordering. * Including (2) skylights 2) Verify all Rough Opening measurements with Manufacturer.															

Exterior Door Schedule														
Symbol	Floor	Location	Elevation	Type	Manuf.	Unit Size	Qty	Description	Door Swing	Hardware	Hardware Finish	Glass	Grill/Pattern	Comments
11	First Floor	Eating Area	2/A101	Exterior mult-sliding	Weathershield or Eq	100 1/4x85 1/2	1	Premium Series, 3-3072	n/a	With Door	TBD	3/4" Clear IG (tempered)	7/8" SDL- See Exterior Elevation	Roller Screen --- VERIFY JAMB THICKNESS
17		Mudroom	2/A100	Exterior French swinging		71 1/4x82	1	All Wood Series-8510-2-60610	LH	With Door	TBD	3/4" Clear IG (tempered)	7/8" SDL- See Exterior Elevation	
Door Notes: 1) Verify all doors with existing openings and proposed plans before ordering.														