

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7019 Poplar Ave., Takoma Park	<b>Meeting Date:</b>	6/13/2018
<b>Resource:</b>	Contributing Resource (Takoma Park Historic District)	<b>Report Date:</b>	6/6/2018
<b>Applicant:</b>	Rasanjali Wickrema (Paul Treseder, Architect)	<b>Public Notice:</b>	5/30/2018
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	37/03-18UU	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	2 <sup>nd</sup> -Story Expansion		

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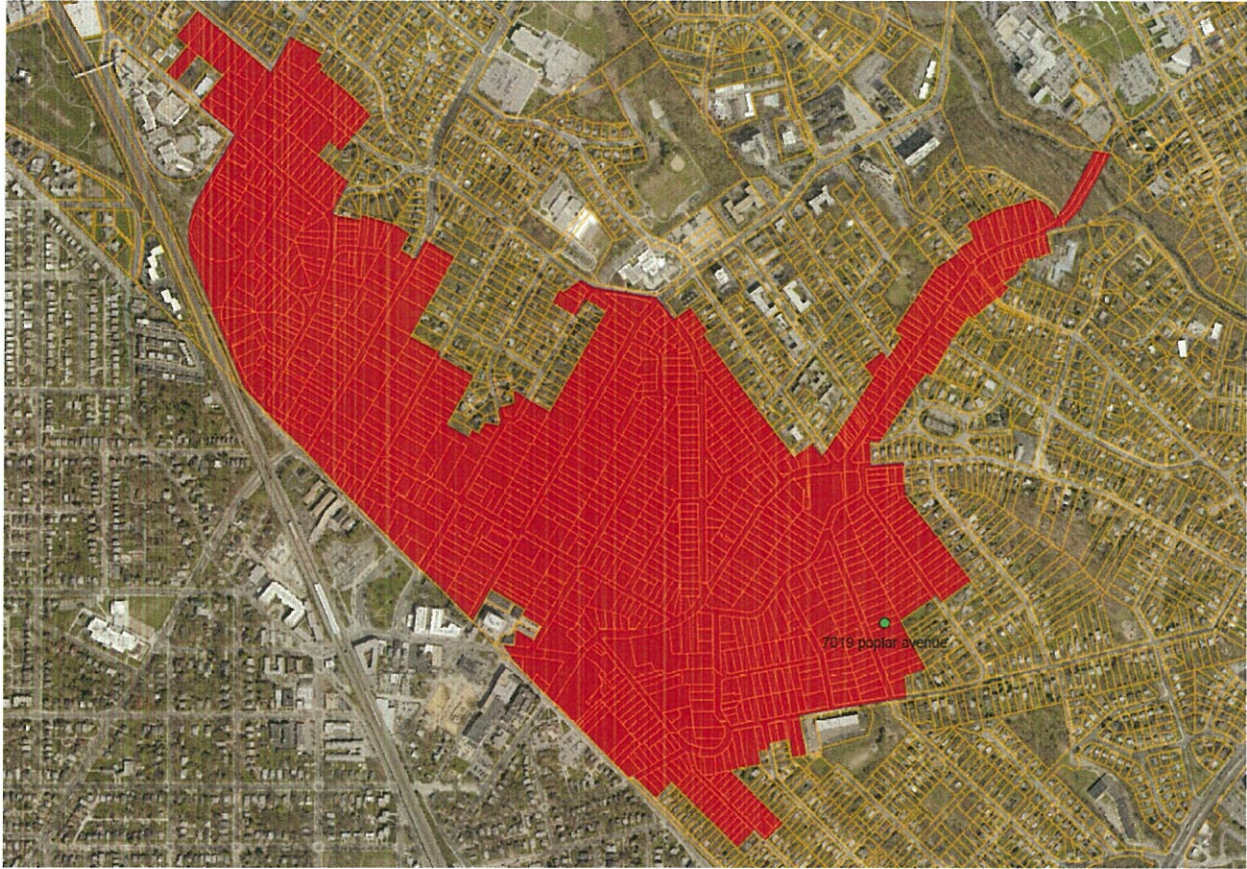
**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION:**

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District  
 STYLE: Bungalow  
 DATE: c. 1910-1920s

The subject property is a c. 1910-1920s 1 ½-story Bungalow-style Contributing Resource within the Takoma Park Historic District. The house has undergone previous alterations, including replacement of all original windows with 1-over-1 and SDL multi-lite windows, installation of fiber cement shingle siding, enclosure of the front porch with 1-over-1 windows and fiber cement shingle siding, and the conversion of a door on the right elevation to a window.



*Takoma Park Historic District Boundary (Subject Property Labeled)*

### **BACKGROUND:**

The applicant previously appeared before the Commission at the February 21, 2018 HPC meeting with a HAWP application for a building addition and other alterations. The applicant returned to the Commission at the May 9, 2018 HPC meeting for a preliminary consultation with a proposal to construct a 2<sup>nd</sup>-story expansion to the historic house and previously approved rear addition.

### **PROPOSAL:**

The applicant proposes a 2<sup>nd</sup>-story expansion to the historic house and previously approved rear addition.

### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

## Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

### *Takoma Park Historic District Guidelines*

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of structures in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

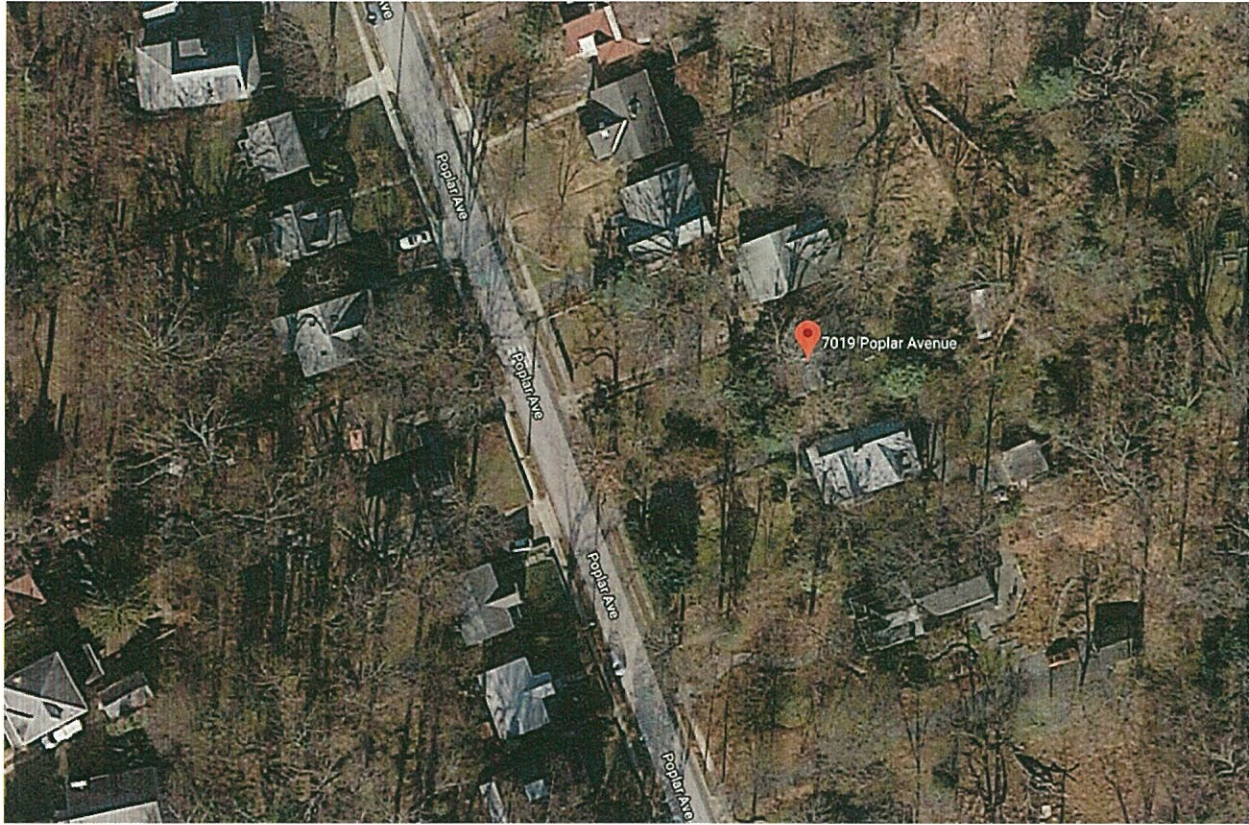
The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to surrounding streetscape in terms of scale and massing.
- Original size and shape of window and door openings should be maintained, where feasible.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right of way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Secretary of the Interior's Standards for Rehabilitation:***

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## STAFF DISCUSSION



The applicant previously appeared before the Commission at the February 21, 2018 HPC meeting with a HAWP application for a building addition and other alterations. The Commission approved the applicant's proposal, with the condition that the roof of the historic house would not be notched to accommodate a tree that has grown into it. The applicant's approval included alteration of the historic roof overhangs, replacing the wood soffits and fascia with Azek.

The applicant returned to the Commission at the May 9, 2018 HPC meeting for a preliminary consultation with a proposal to construct a 2<sup>nd</sup>-story expansion to the historic house and previously approved rear addition. The applicant presented three schemes – Scheme A, B, and C – and the Commission unanimously supported Scheme C.

Per Scheme C, the applicant proposed to increase the pitch of the historic house's roof, adding 3' of height while retaining the relationship of the eaves to the windows and other features on the front elevation. As noted, a second-story expansion was also proposed for the previously approved one-story rear addition. Several Commissioners expressed reservations about removing the central chimney from the historic house, but the majority (five of seven) stated that they were not concerned about the proposed chimney removal.

The applicant has revised their proposal consistent with Scheme C and returned for a HAWP application. Staff notes that the applicant now proposes to raise the roof of the historic house by 4' as opposed to the 3' presented at the May 9, 2018 preliminary consultation. Staff finds that the proposal is still generally consistent with Scheme C, and that the additional 1' of roof height does not significantly alter the proposal that was supported by the Commission because the relationship of the eaves to the character-

defining features of the façade will still be maintained to a large degree.

Staff fully supports the applicant's proposal, finding it consistent with the *Guidelines* and *Standards*. The proposed 2<sup>nd</sup>-story expansion is generally consistent with the predominant architectural style of the historic house and will not remove or alter character-defining features of the subject property or surrounding streetscape.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Takoma Park Historic District Guidelines* and *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10 outlined above.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

838748



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: asarkciw@yahoo.com Contact Person: \_\_\_\_\_  
Daytime Phone No.: \_\_\_\_\_  
Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Rasanjali Wickrema Daytime Phone No.: \_\_\_\_\_  
Address: 7019 Poplar Ave, Takoma Park 20912  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: 245 620 1918

## LOCATION OF BUILDING PREMISE

House Number: 7019 Street: Poplar Ave.  
Town/City: Takoma Park Nearest Cross Street: Elm St.  
Lot: 42 Block: 21 Subdivision: B-F Gilbert's Addition  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- ☒ Construct ☒ Extend ☐ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

5/23/2018  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*These are changes to previously approved plans & permit. Therefore the description of existing is same as before on*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*These changes are based on the Preliminary Consultation with the Mofo Historic Commission. Existing roof ridge to be raised according to guidance.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Paul Treseder  
ARCHITECT AIA # 288133  
P.O. Box 100  
Boulder, CO 80501  
303.440.1234  
treseder@treseder.com

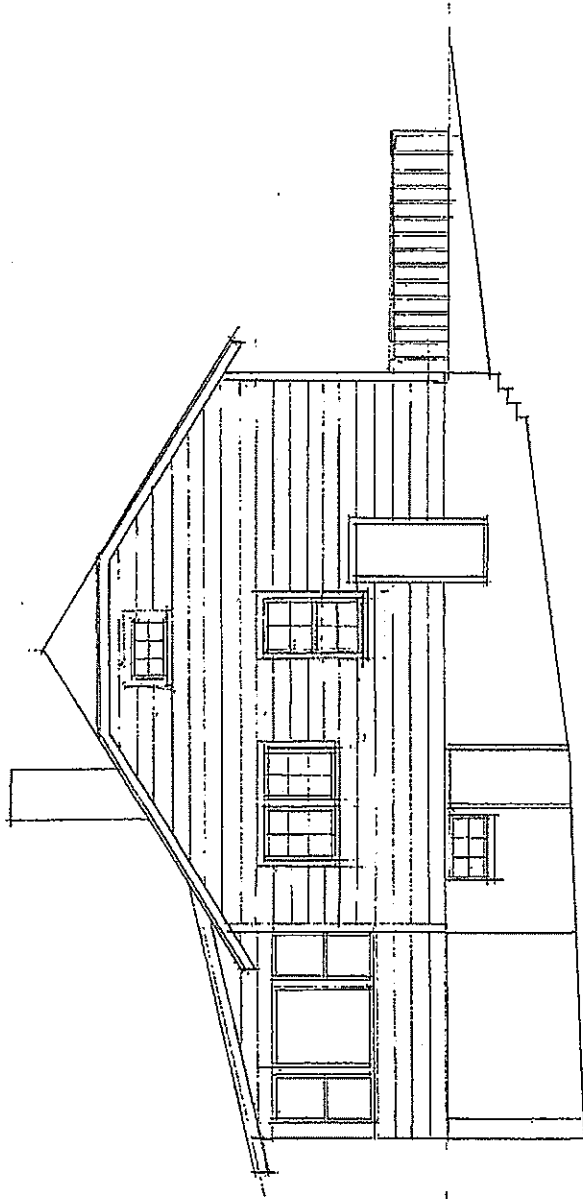
Date: 11.02.21

Drawn: J. Treseder

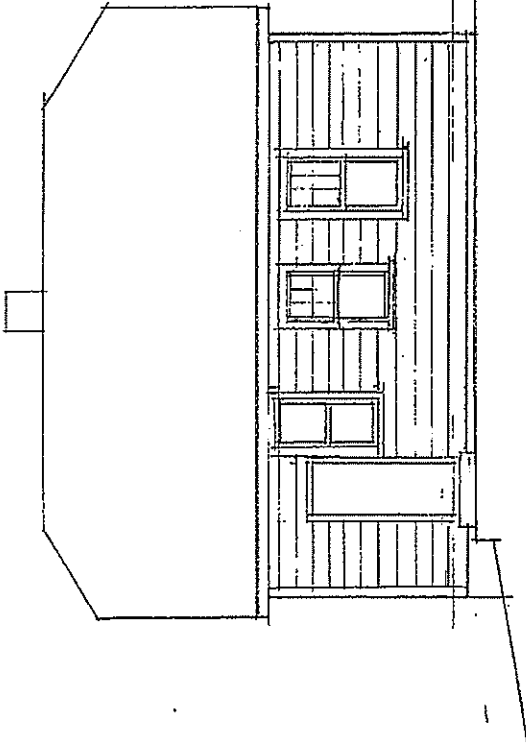
Sheet: 4

of 5 Sheets

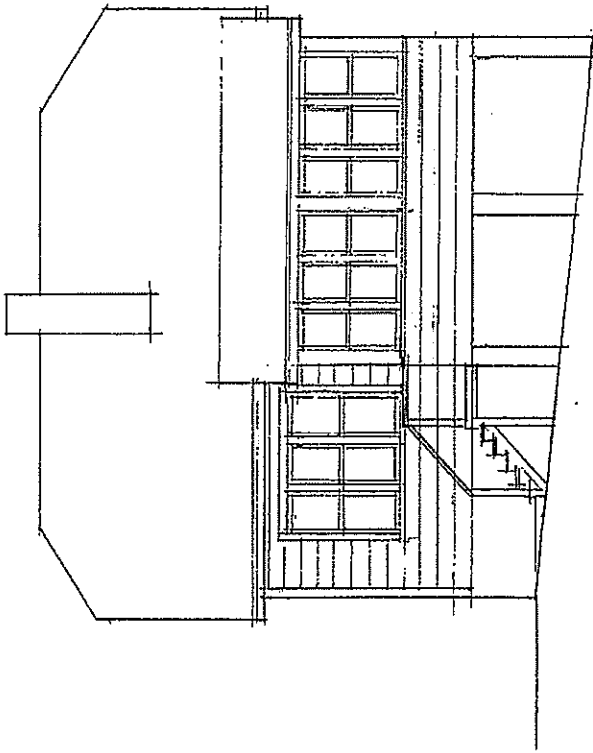
EXISTING SOUTH ELEVATION (RIGHT SIDE)



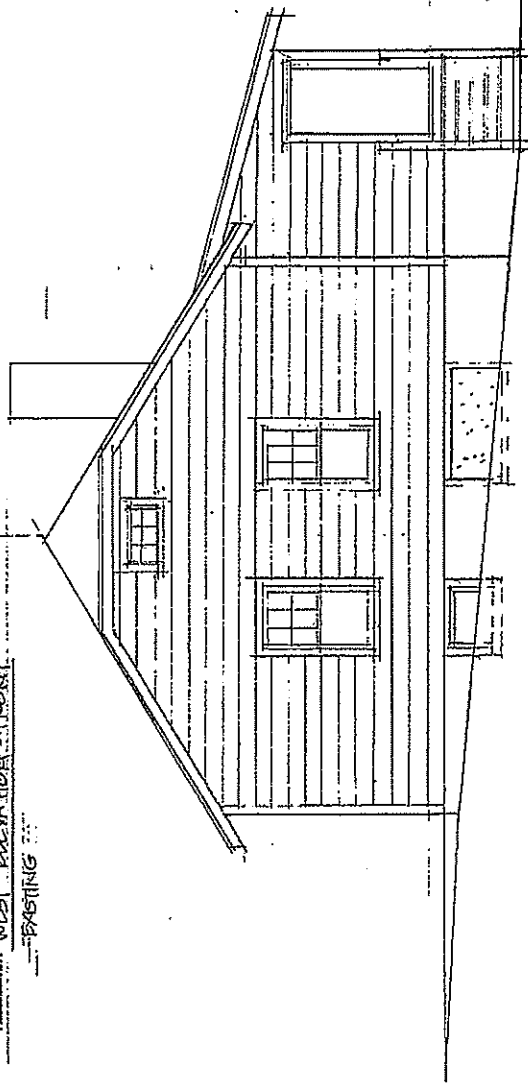
EXISTING EAST ELEVATION (REAR)



14 9



WEST ELEVATION - FRONT  
EXISTING



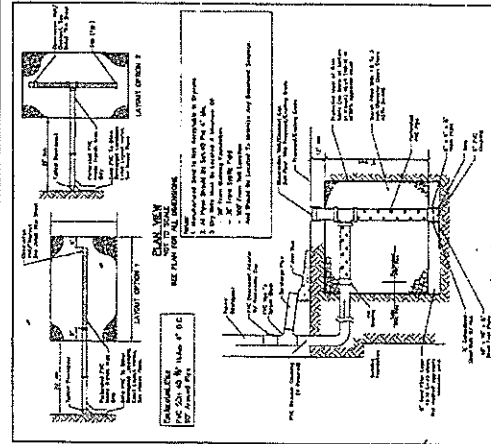
NORTH ELEVATION - LEFT SIDE  
EXISTING



Paul Tresseder  
Architects  
2010 Woodmont Road  
Baltimore, MD 21202  
410-223-1500

Paul Tresseder

Date: 12-26-19  
Scale: 1/4" = 1'-0"  
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As Told Recd:  
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Of: 5

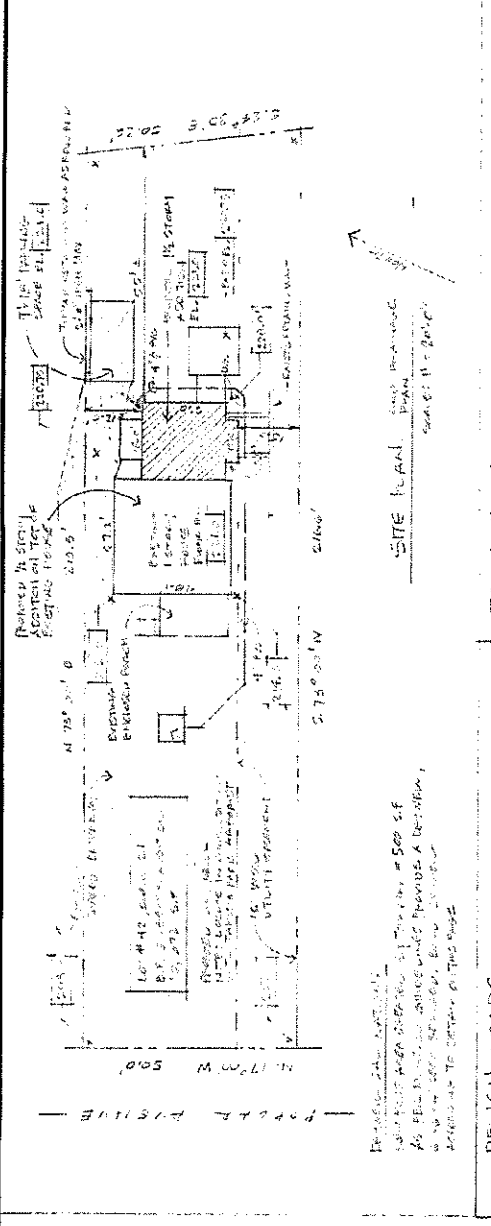


DATE	12/04
DESIGNER	ROOFMAN
MONITORING COUNTY	DEPARTMENT OF PERMITTING
SERVICES	WATER RESOURCES
SCALE	1/8" = 1'-0"

# STRUCTURAL NOTES

- Foundations, footings, underpinning and slab on grades are designed to bear on native soil with an allowable bearing pressure of 2000 psi.
- Concrete: Concrete shall have a minimum compressive strength of 3000 psi.
- Masonry: Concrete masonry units shall be hollow load bearing units with a net strength of 2000 psi and F of 1500 psi. All joints shall be filled solid with mortar. Mortar shall be type M or S. Place horizontal ties style reinforcement at 16" o.c. vertically.
- Lumber:
  - Lumber shall be SPF #2 with a min. Fb = 875 psi Min. Fv = 135 psi and min. E = 1,400,000 psi. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated.
  - Nails shall have a min. Fb = 2850 psi, Fv = 285 psi, E = 2,000,000 psi.
  - Nails shall be 16d for all applications. All nails shall be driven through the masonry or concrete into the wood framing. All nails shall be driven through the wood framing into the masonry or concrete.
  - Provide bridging at center of all joist spans exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams. Provide square blocking below all posts and multiple studs.
  - Exterior load bearing walls shall be 2x4 studs at 16" O.C. and interior load bearing walls shall be 2x4 studs at 16" O.C. with a double top plate and a single bottom plate of the same size. Provide solid blocking at 4'-0" with a min. of solid blocking at the midpoint of the wall. Wall sheathing is 7/16" APA rated structural sheathing.
  - Floor decking shall be 3/4" T & G APA rated decking and roof decking shall be 3/4" APA rated decking. Glue and screw floor decking to floor joists.
  - Roof decking shall be 3/4" T & G APA rated decking. Glue and screw roof decking to roof joists.
  - Glue and nail all multiple studs together with 2-16d nails at 8" O.C. stagger sides that nails are driven from.
  - Place a double stud below all beams, headers, and double joists.
  - Provide double joists below all walls that span parallel to floor framing.
  - All lumber in contact with masonry or concrete shall be pressure treated. All lumber placed within 8" of soil shall be pressure treated. All lumber shall be preservative against decay and termites per IRC Chapter R3.
  - See IRC table R602.3(1) for nailing not shown on the plans.

Opening 3'-0" - 2'-2 1/2"  
 3'-0" < Opening ≤ 4'-0" - 2'-2 1/2"  
 4'-0" < Opening ≤ 6'-0" - 2'-2 1/2"  
 6'-0" < Opening ≤ 8'-0" - 2'-2 1/2"  
 8'-0" < Opening ≤ 12'-0" - 2'-2 1/2" LVL



DATE	12/04
DESIGNER	ROOFMAN
MONITORING COUNTY	DEPARTMENT OF PERMITTING
SERVICES	WATER RESOURCES
SCALE	1/8" = 1'-0"

# DESIGN LOADS

- LIVE LOADS**
- Deck 40 PSF
  - Attic 40 PSF
  - Floor 40 PSF
  - Roof 30 PSF
  - Basement 40 PSF
- WIND LOADS**
- Basic wind speed 115 MPH
  - Wind load importance factor 1.0
  - Wind exposure factor B = 14.4 PSF
  - Wind design pressure C = 11.5 PSF
  - D = 7.9 PSF
- SNOW LOADS**
- Ground snow load (Pg) 30 PSF
  - Flat roof snow load (Pf) 20 PSF
  - Snow exposure factor (Ce) 0.9
  - Snow importance factor (I) 1.0
- SEISMIC DESIGN DATA**
- Seismic importance factor (Ie) 1.0
  - Spectral response accelerations (SS) 20.0%
  - (S1) 8.0%
  - (S2) 33%
  - (S3) 18.7%
  - Seismic design category B
  - Seismic site classification E
  - Seismic coefficient (Cs) 0.22
  - Seismic modification factor (R) 1.5
  - Base shear 9.5K
  - Analysis procedure Equivalent lateral force
  - Base SFRS Ordinary masonry walls

INDEX TO DRAWINGS

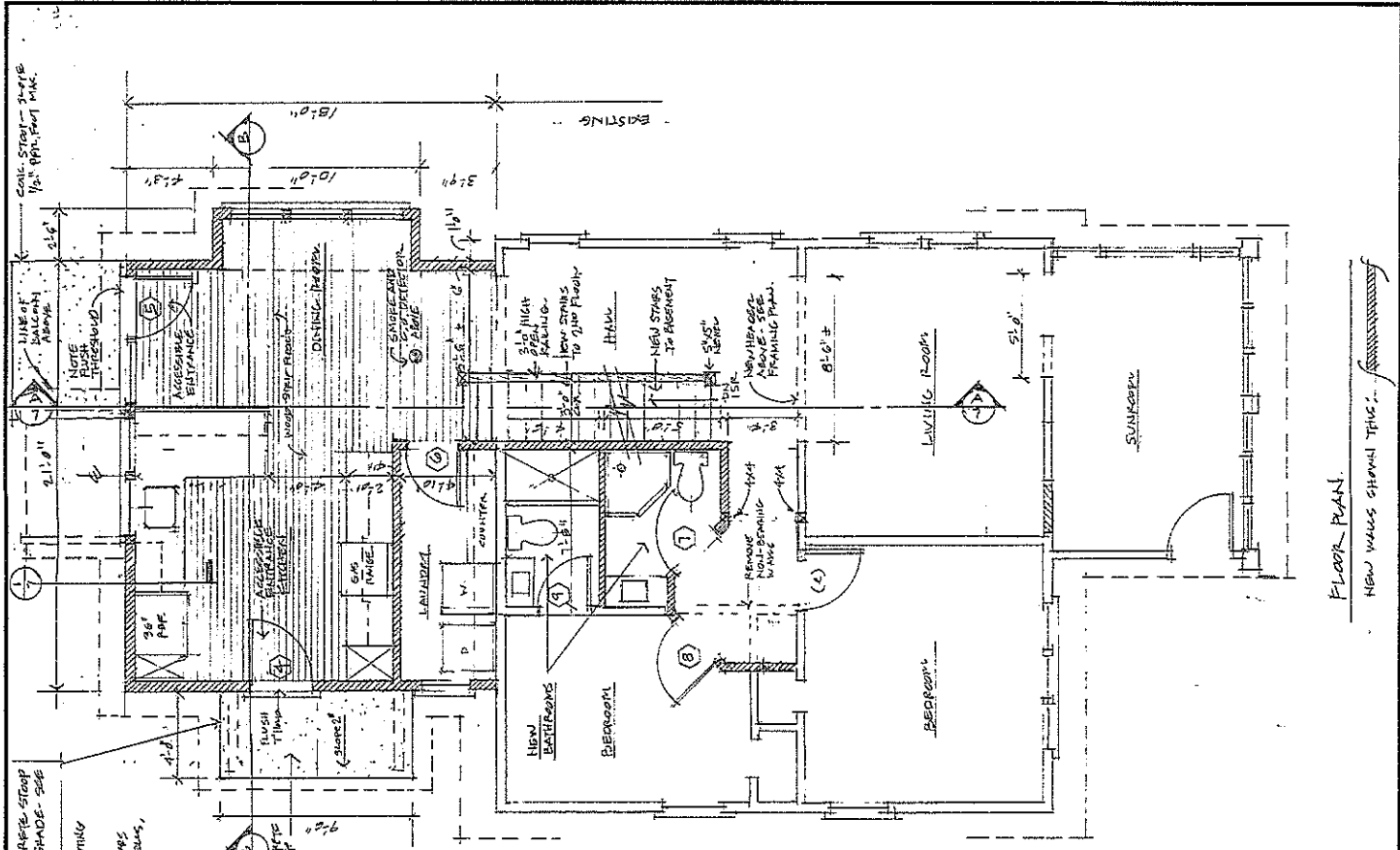
1. SITE PLAN
2. ELEVATIONS
3. FOUNDATION PLAN
4. FLOOR PLAN
5. ROOF PLAN
6. SECTION
7. DETAIL



Paul Tresseder Architect  
301-200-1000  
620 Woodland Road  
Bryn Mawr, PA 19003

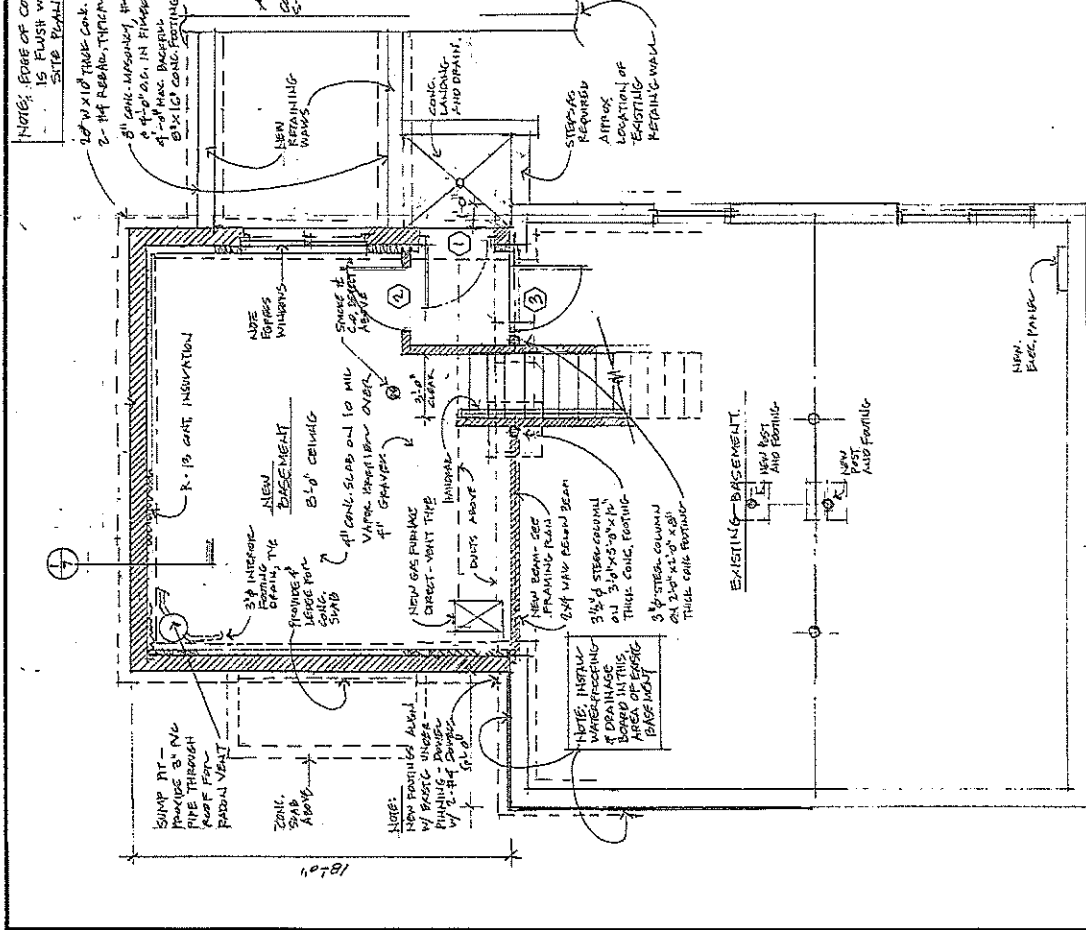
Paul Tresseder Architect

DATE	6.1.2018
SCALE	1/4" = 1'-0"
DRAWN BY	JD
CHECKED BY	JD
SHEET	2
OF	5



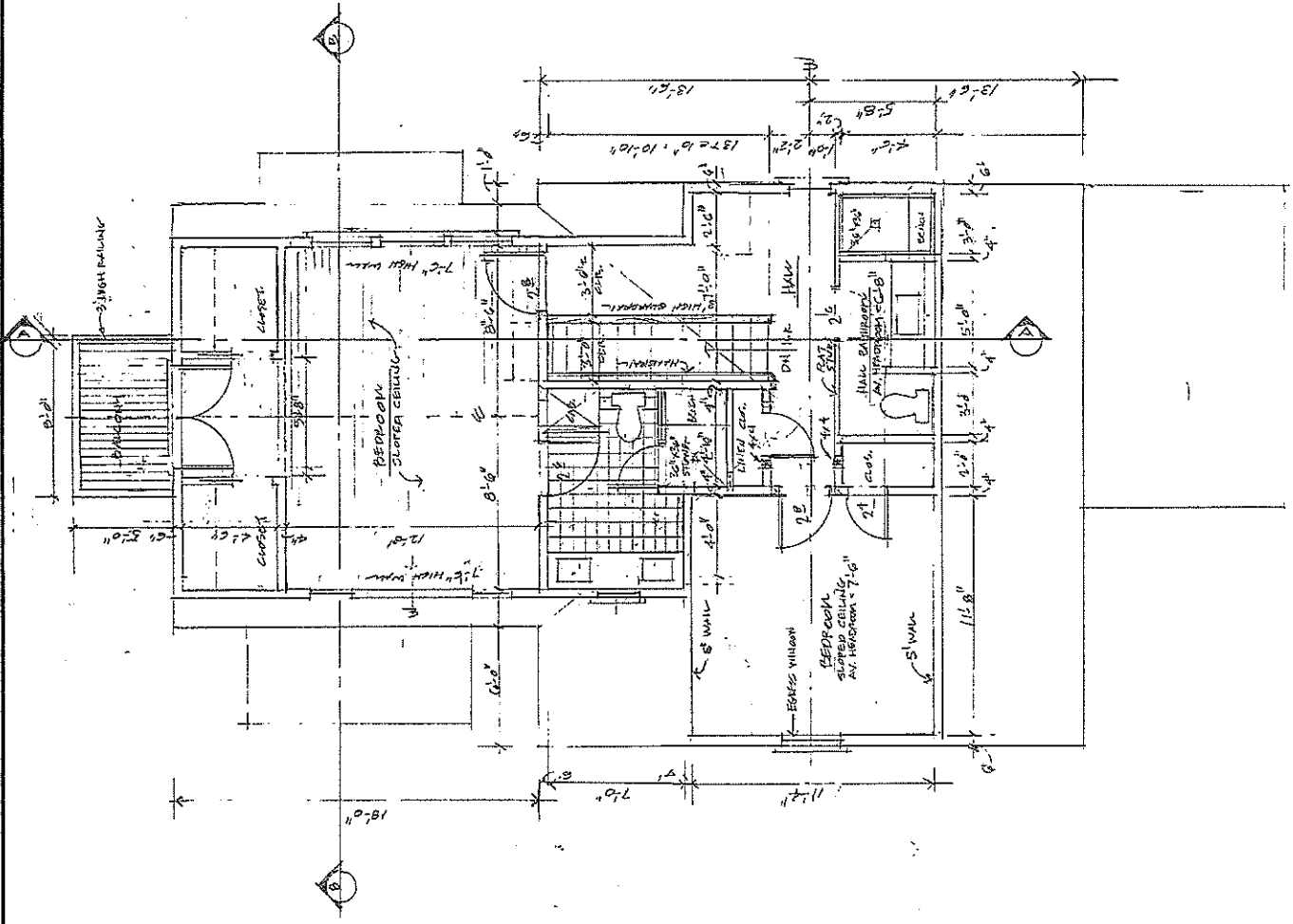
FLOOR PLAN

NEW WALLS SHOWN THIS WAY



BASEMENT PLAN AND FOUNDATION PLAN

DOOR SCHEDULE	TYPE	NOTES
1	FINISH	
2	SOLID CORE FLUSH	
3	SOLID CORE FLUSH	
4	3/4" OAK, NEW PANEL	NOTE FLUSH THRESHOLD
5	PVC INSUL. TEMPERED GLASS	NOTE TRAILER FRAME
6	4 PANEL PINE	
7	4 PANEL PINE	"ACCENT"
8	4 PANEL PINE	"ACCENT"
9	4 PANEL PINE	



SECOND FLOOR PLAN.



Paul Tresseder Architect  
301-203-1500  
1220 WOODLAND ROAD  
POTOMAC, MD 20854

Paul Tresseder Architect

Date 6-1-2018

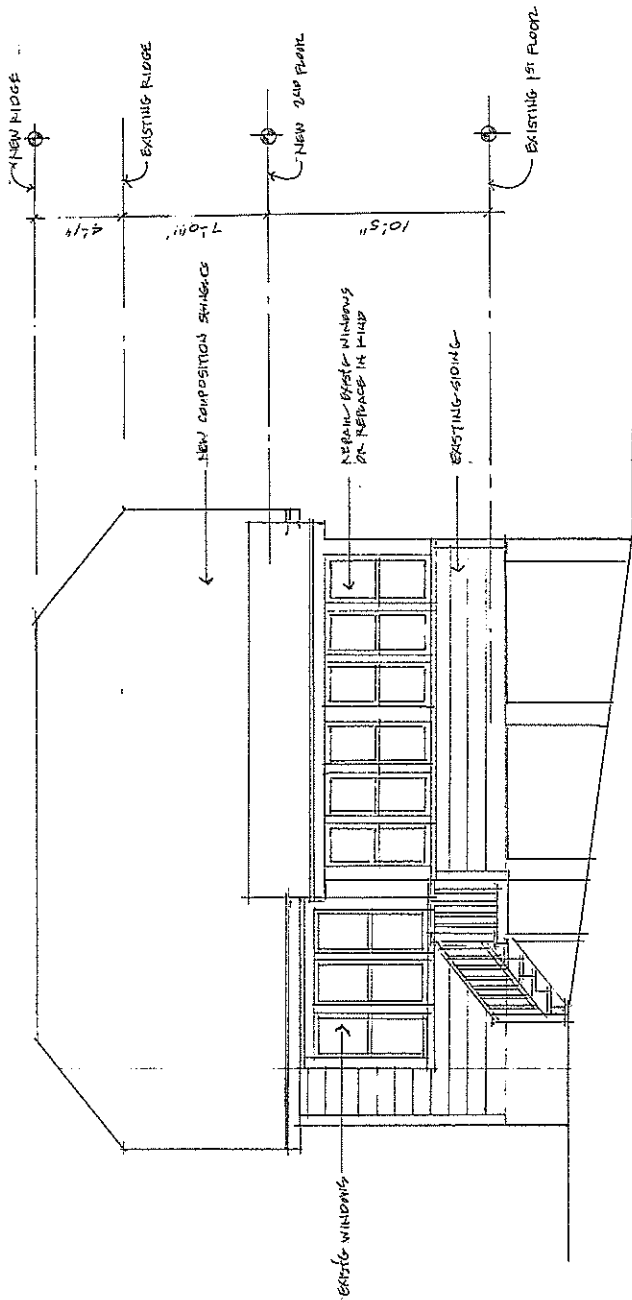
Scale 1/4" = 1'-0"

Drawn PT

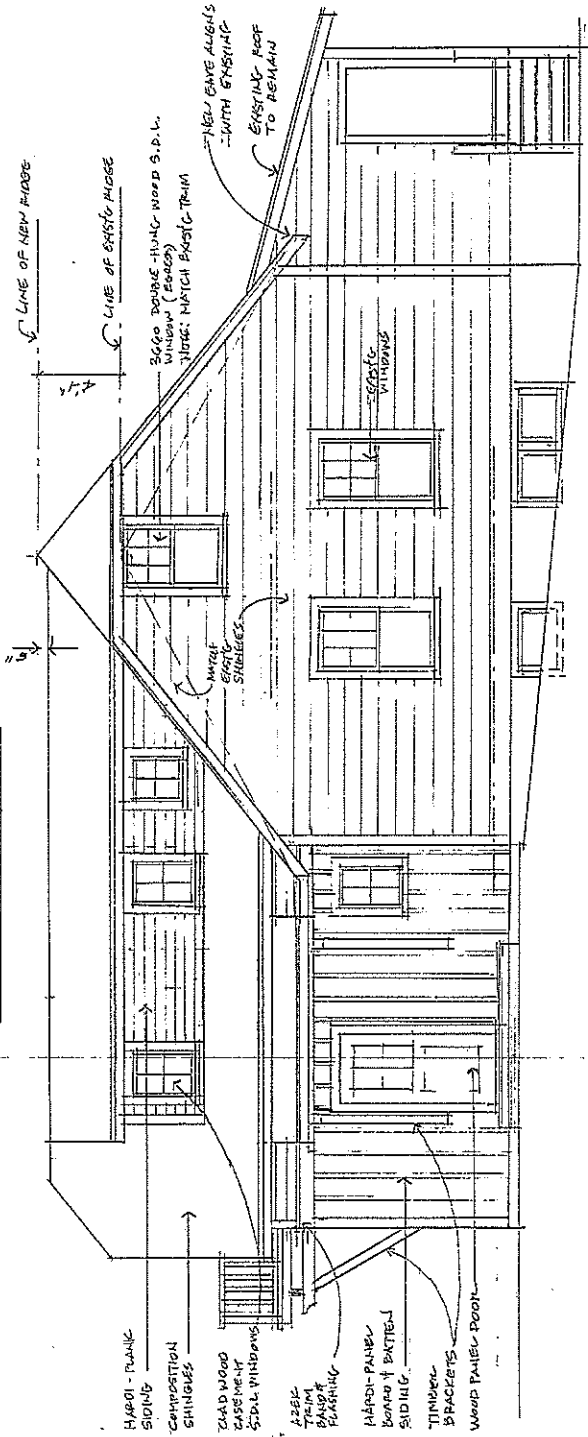
Joe Tresseder

Sheet 4

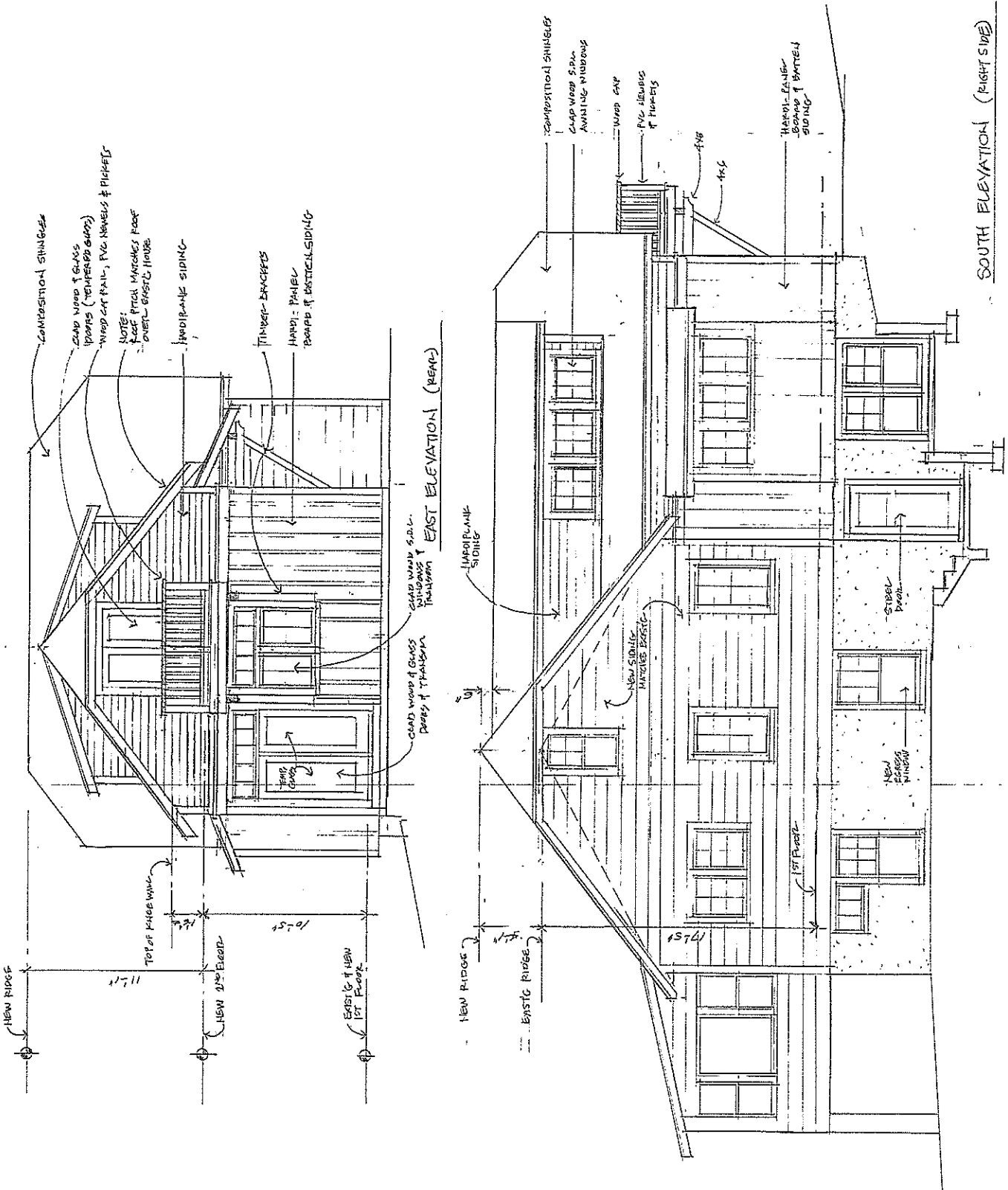
Of 5 Sheets



WEST ELEVATION (FRONT)



NORTH ELEVATION (LEFT SIDE)



## **7019 Poplar Avenue, Takoma Park**

### **Proposed exterior material specifications**

1. Windows on original house, 2<sup>nd</sup> floor addition: Marvin Ultimate series, wood, simulated divided light.
2. Windows French doors and transoms on rear addition: Marvin Integrity series, clad wood, simulated divided light.
3. Exterior door at rear addition: Simpson, wood panel with glass lights. (basement door to be Therma-tru steel or fiberglass).
4. Railings at rear balcony: Capped composite, Certainteed or equal, with hidden connectors.
5. Roofing: Architectural grade composition shingles, Owens Corning "Duration" or equal.

## Unit Features - Wood Ultimate Double Hung

### Wood Ultimate Double Hung Collection:

#### Wood Ultimate Double Hung: WUDH

Wood Ultimate Double Hung Picture: WUDHP

Wood Ultimate Double Hung Transom: WUDHT

Wood Ultimate Double Hung Bows and Bays: WUDHBB

### Wood Ultimate Round Top Double Hung Collection:

Wood Ultimate Double Hung Round Top: WUDHRT

Wood Ultimate Single Hung Round Top: WUSHRT

Wood Ultimate Double Hung Round Top Picture: WUDHRTTP

Wood Ultimate Double Hung Round Top Transom: WUDHRTT

### Wood Ultimate Double Hung Magnum Collection:

Wood Ultimate Double Hung Magnum: WUDHM

Wood Ultimate Single Hung Magnum: WUSHM

Wood Ultimate Double Hung Magnum Picture: WUDHMP

Wood Ultimate Double Hung Magnum Transom: WUDHMT

### Wood Ultimate Round Top Double Hung Magnum Collection:

Wood Ultimate Double Hung Magnum Round Top: WUDHMRT

Wood Ultimate Single Hung Magnum Round Top: WUSHMRT

Wood Ultimate Double Hung Magnum Round Top Picture: WUDHMRTTP

Wood Ultimate Double Hung Magnum Round Top Transom: WUDHMRTT

*NOTE: Wood Ultimate Double Hung Round Top Picture and Wood Ultimate Double Hung Magnum Round Top Picture are not available with CE Mark.*

*NOTE: Bows and Bays are not available with CE Mark from the factory. Bow and Bay kits are available for field mulling.*

### Standard Frame:

- Frame thickness: 1 1/16" (17)
- Subsill thickness: 1 3/32" (28)
- Frame base (with pre-drilled installation holes in jambs): 4 9/16" (116) from backside of BMC to interior wood face of frame
- 8 degree bevel on sill and subsill
- Curved frames are laminated and/or edge glued pine
- Radius bead is laminated in non finger-jointed pine
- Optional DP50 sill liner maximum size 2830 or 3026

### Standard Sash:

- Operating sash thickness: 1 5/8" (41)
- Transom and picture unit sash thickness 1 5/8" (41) or optional 2" (51)
- All measurements are nominal - sash are removable for easy cleaning, service or finishing
  - WUDH, WUDHP, WUDHRT: Bottom of subsill to top of interior wood sill liner - 3 11/16" (94)
    - Top rail - 2 7/32" (56); stiles - 2 7/16" (62); bottom rail - 3 9/16" (90)
  - WUDHT: Bottom of sill to top of interior wood sill liner - 1 31/32" (50)
    - Top rail - 2 7/32" (56); stiles - 2 7/16" (62); bottom rail - 2 19/32" (66)

### Standard Insect Screen:

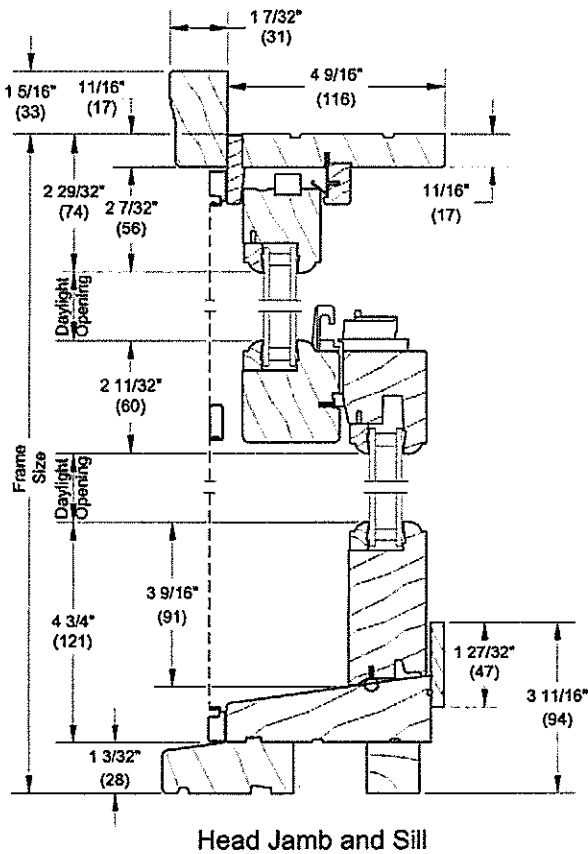
- Standard screen is roll formed aluminum
- Aluminum screen: Full screen standard, half screen optional
- Colors available: Pebble Gray, Bahama Brown, Evergreen, Bronze, Stone White, Ebony, Wineberry, Coconut Cream, Hampton Sage, Cashmere, Sierra White, Cadet Gray, Cascade Blue, Bright Silver (pearlescent), Copper (pearlescent), Clay, Gunmetal, Liberty Bronze (pearlescent), or Suede.
- Screen mesh: Charcoal Fiberglass
  - Optional screen mesh: Charcoal High Transparency Fiberglass Mesh, Charcoal Aluminum Wire, Black Aluminum Wire, Bright Aluminum Wire, or Bright Bronze Aluminum Wire
- Screens have an aluminum crossbar on glass heights of 20" (508) and taller
- Optional wood screen

# Wood Ultimate Double Hung

## Section Details: Operating

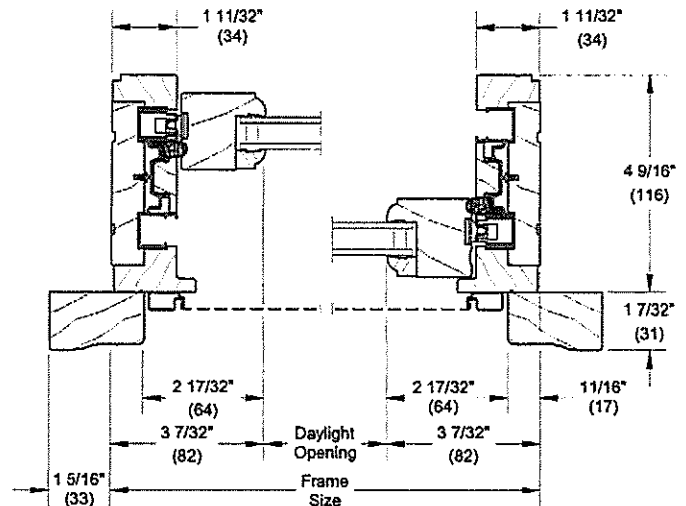
Scale: 3" = 1' 0"

### Double Hung



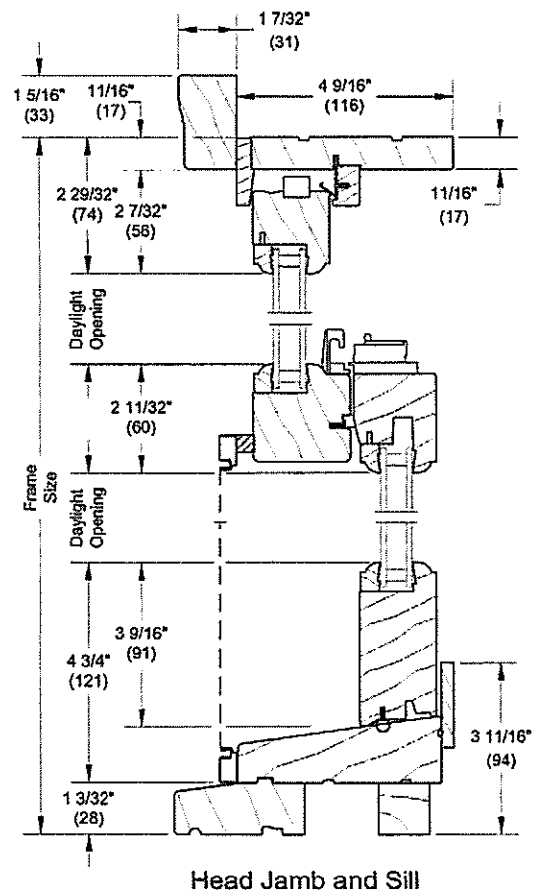
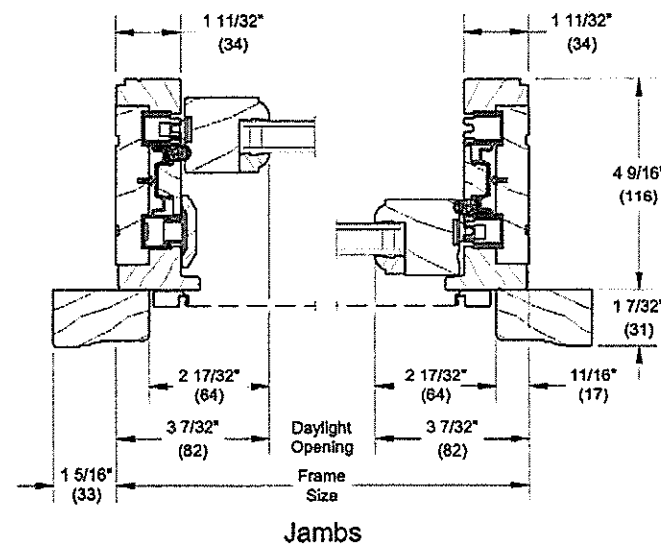
### Lower Sash

### Upper Sash



### Jambs

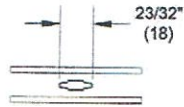
### Single Hung



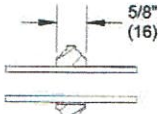
**Standard Insulating Glass Divided Lite Options**



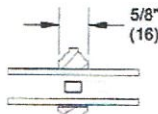
Insulating Glass



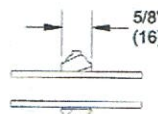
Aluminum 23/32"  
Contour GBG



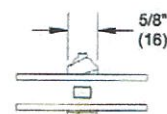
5/8" SDL



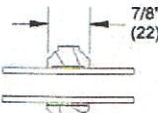
5/8" SDL  
W/Spacer



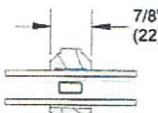
5/8" Putty  
SDL



5/8" Putty SDL  
W/Spacer



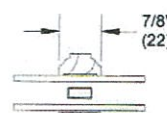
7/8" SDL



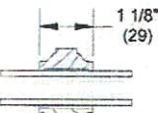
7/8" SDL  
W/Spacer Bar



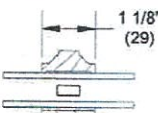
7/8" Putty SDL



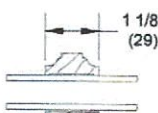
7/8" Putty SDL  
W/Spacer Bar



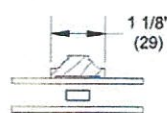
1 1/8" SDL



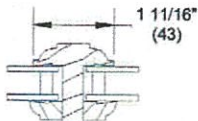
1 1/8" SDL  
W/Spacer Bar



1 1/8" Putty SDL



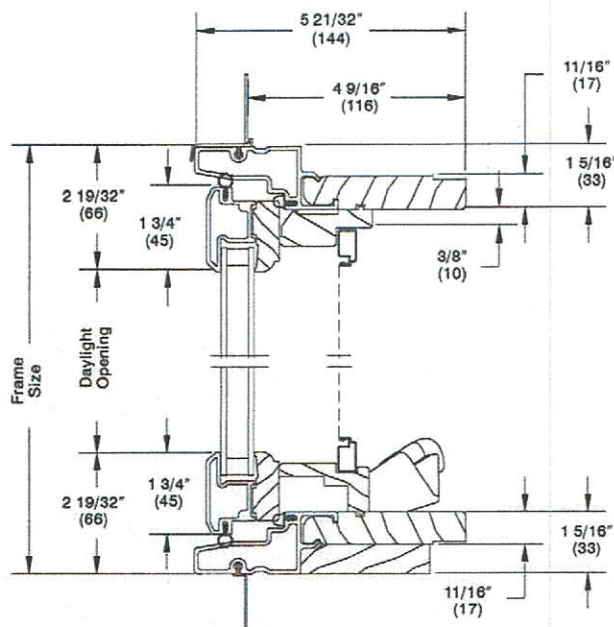
1 1/8" Putty SDL  
W/Spacer Bar



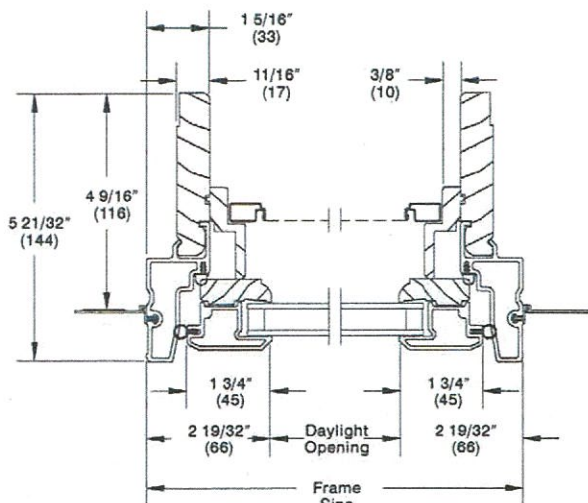
1 11/16" IG ADL

**NOTE:** ADL is not available with CE Mark.

**CASEMENT/AWNING  
OPERATING - 4 9/16" (116)**

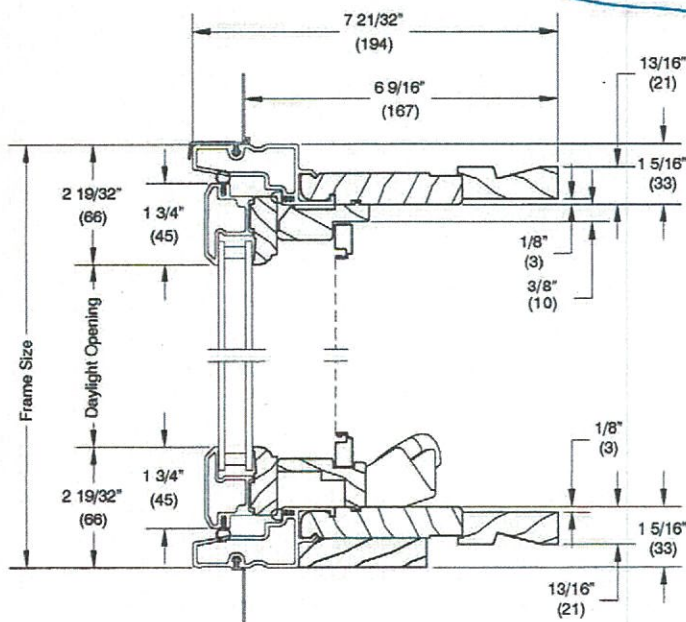


**Head Jamb and Sill**

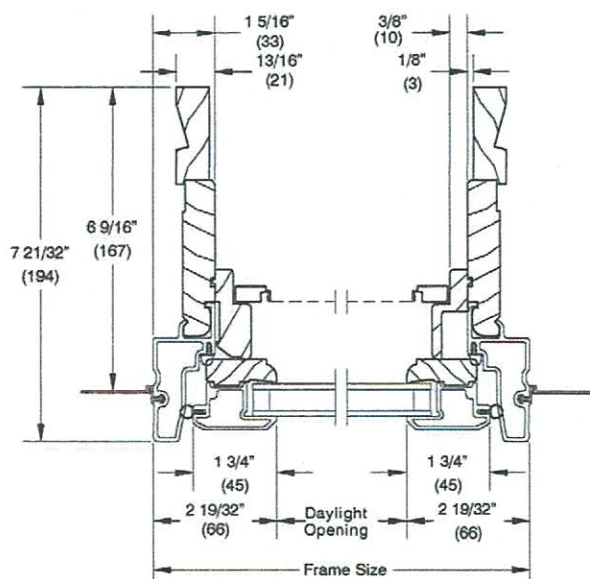


**Jambs**

**OPERATING - 6 9/16" (167)**

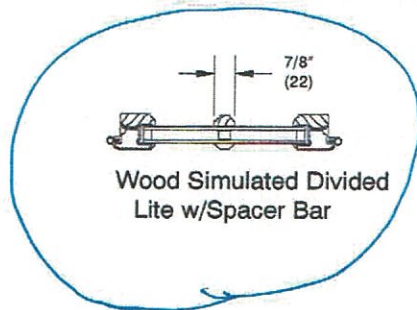


**Head Jamb and Sill**



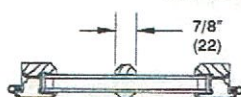
**Jambs**

## DIVIDED LITE OPTIONS

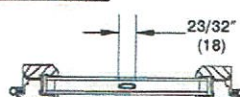


Wood Simulated Divided Lite w/Spacer Bar

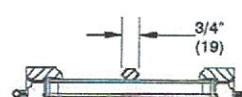
### DIVIDED LITE OPTIONS



Wood Simulated Divided Lite



Aluminum Grille Between Glass



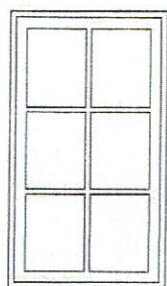
Wood Removable Grille



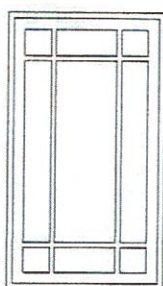
Composite Simulated Divided Lite w/Spacer Bar



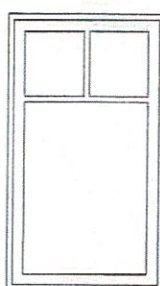
Composite Simulated Divided Lite



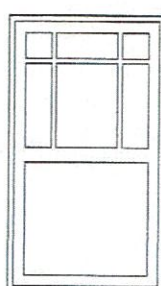
RECTANGLE SDL



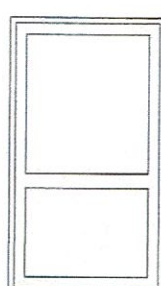
PRAIRIE  
GBG or SDL



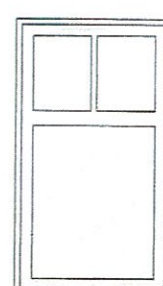
COTTAGE  
SDL CUT



PRAIRIE SDL  
WITH SIMULATED  
CHECK RAIL



CUSTOM  
SIMULATED  
RAIL



COTTAGE SDL  
WITH SIMULATED  
CHECK RAIL

### Conversion Formula:

$$\frac{\text{Total DLO} - \text{Total bar width}}{\text{Number of lites}} = \text{Individual DLO}$$

### NOTES

- Direct Glaze Round Top with Wood Grilles, GBG, or SDL will only align with the default lite cut of the unit it is intended to be mullied with.
- Wood Grilles for special sizes will default to the next smaller standard size lite pattern. Wood Grilles are not available in lite patterns other than the Wood Grille patterns listed in the following pages.
- Rectangle GBGs for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie pattern and customer specified equal rectangular lite patterns.
- Rectangular SDL for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Prairie GBGs and SDL are not available in lite patterns other than the Prairie patterns listed in the following pages.
- Cottage SDL for special sizes will default to the next smaller standard size lite pattern. Cottage SDL is not available in lite patterns other than the Cottage patterns listed in the following pages.
- Round Top lite patterns will not align with Casement/Awning optional GBG or SDL lite patterns.
- Maximum number of lites wide and high for equal lite SDL is 11 lites.
- Minimum DLO measurement for equal lite GBG and SDL option is 3" (76) and will be validated by OMS.
- Standard DLO measurement for Prairie GBG and SDL option is 4" (102). Special DLO corners are n/a.
- Standard DLO height measurement for Cottage SDL option is 10" (254). Special DLO heights are n/a.
- Simulated Rail: Rectangular, Prairie 6-Lite and 9-Lite SDL patterns are available with Simulated Rail.
- Simulated Rail: custom ratio and specified DLO are available with Simulated Rail and will be validated by OMS.
- An ICADG 7316 with wood grille will align over a 25-3W or 37-2W ICA assembly only.
- An ICATR 7316 or 7319 with wood grille will align over a 73-1W picture only.
- GBGs are not available on Impact IZ3 units.

Panorama®

Panorama with square balusters in white

## 37226 — BUNGALOW (SDL)








**SERIES:** Bungalow Series®  
**TYPE:** Exterior Traditional  
**APPLICATIONS:** Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

**Construction Type:**

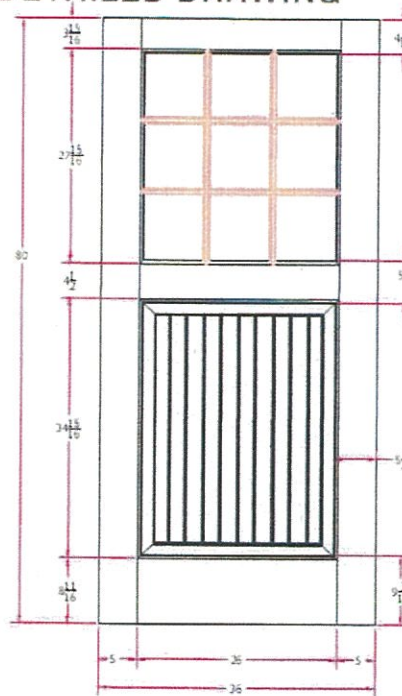
Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

**Panels:** 1-7/16" Innerbond® Double Hip-Raised Panel, Beaded V-Grooves  
**Glass:** 3/4" Insulated Glazing

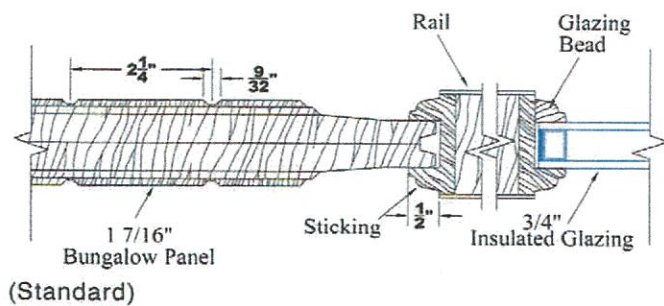
**STANDARD FEATURES**

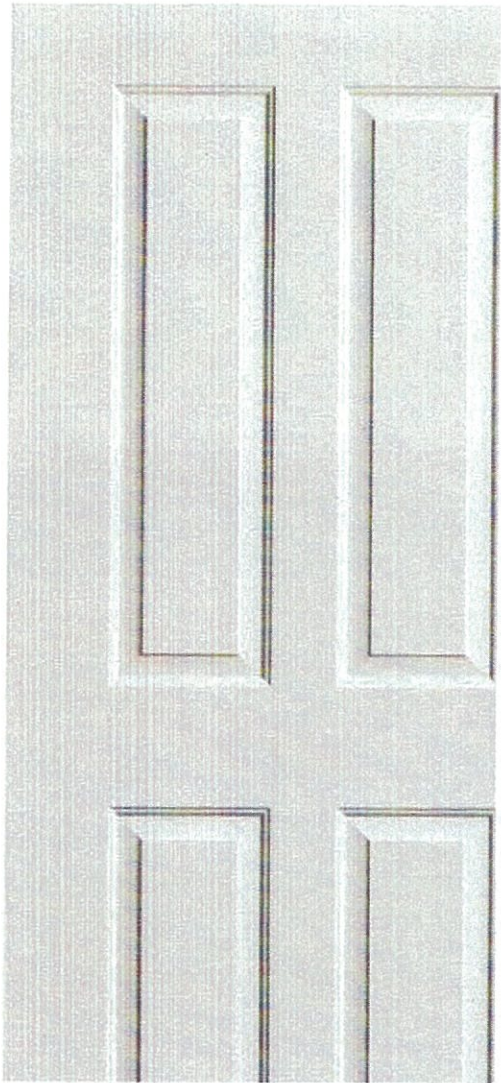
-  Any Wood Species
-  Virtually Any Size
-  Glass Options
-  UltraBlock® Technology
-  Privacy Rating: 1

**DETAILED DRAWING**



**DETAILS**





# Steel Edge \$

4 Panel Square Top Flush | Style No. SE514

(0) [Write a review](#)


## 5 Available Sizes

2'8" x 6'8"   2'8" x 7'0"   2'10" x 6'8"

3'0" x 6'8"   3'0" x 7'0"

## FINISH OPTIONS

Stain and Paint options may vary. Please contact your retailer for a complete list of the offering.

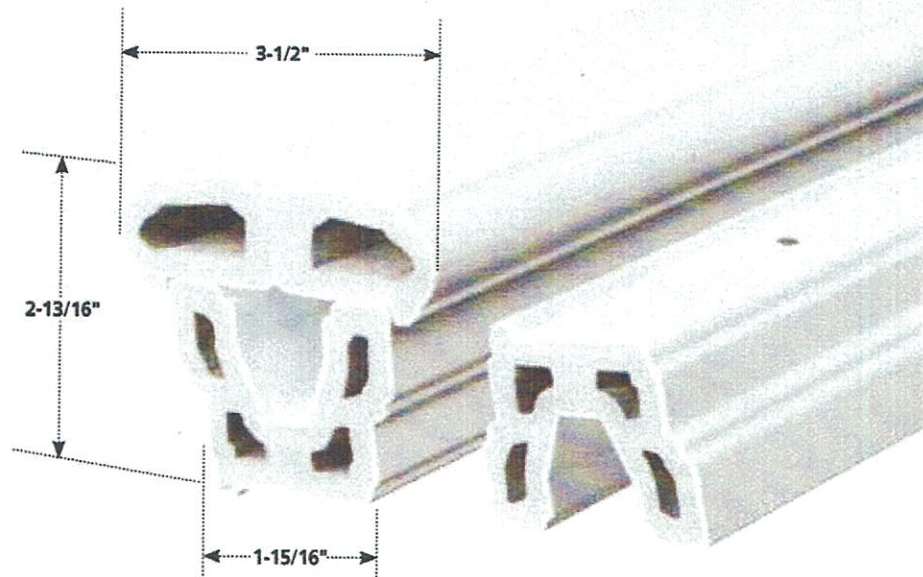
 **Alpine**

## Features and Literature

**Features**

**Literature**

## COMPOSITE RAILING SYSTEM

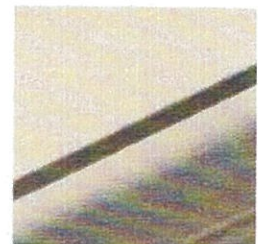


The Panorama® capped composite railing system features a classic painted wood railing design with handcrafted authenticity and true architectural details you won't find on any other composite railing. Panorama's concealed, corrosion-resistant stainless steel hardware provides a seamless appearance and years of worry-free performance. Panorama integrates with CertainTeed's vinyl accessories, allowing you to create exciting new exterior designs.

- ◆ Classic painted wood style with true architectural details
- ◆ Top and bottom universal rails with a decorative top rail cap
- ◆ Concealed external rail-to-post connection for flat, stair, column and 45° applications
- ◆ Available in two heights and two lengths
- ◆ Available in three colors: white, almond and black
- ◆ Choice of two baluster styles: square composite and decorative steel
- ◆ Powder-coated, hot-dipped galvanized steel decorative balusters create a rustic yet customizable system approach for both flat and stair applications
- ◆ Suitable for one- and two-family dwellings/townhouses not more than three stories high
- ◆ Independent tested as designated in report CCRR-0115 (white and almond)
- ◆ Class A flame-spread rating
- ◆ 25-year limited warranty with 2-year SureStart™ protection



White



Almond



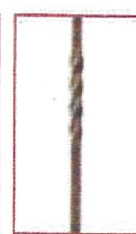
Black

### Decorative Steel Baluster Styles Finishes: Antique Bronze and Oil-Rubbed Bronze

5/8" square; four styles of powder-coated galvanized steel, pre-cut to 26.75" to yield 36" finished rail height; for either flat or stair



Straight



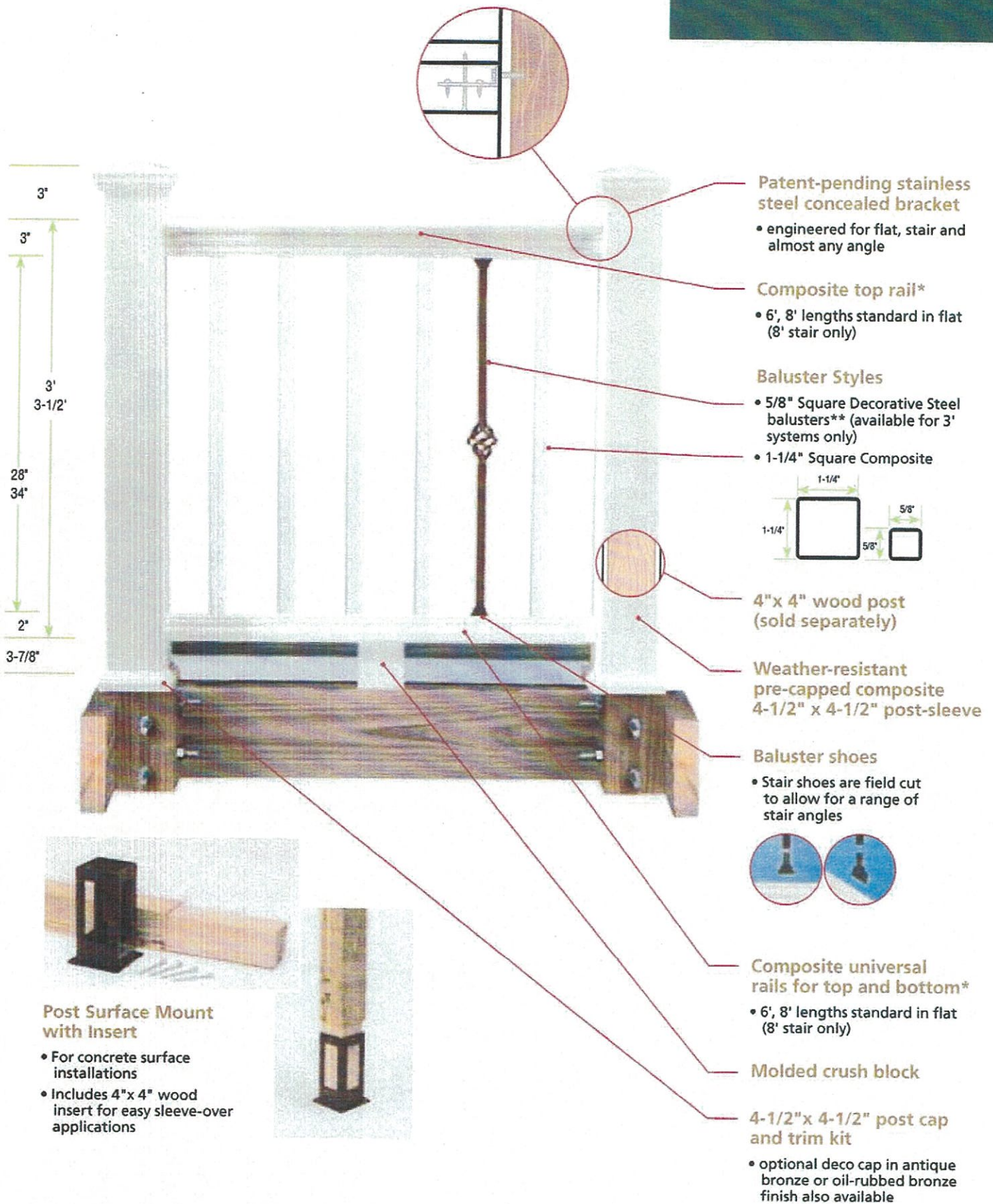
Twist



Single Basket



Double Basket



\*Refer to product matrix for actual product specifications.

\*\*Decorative Steel Balusters install using patented baluster shoe plugs.

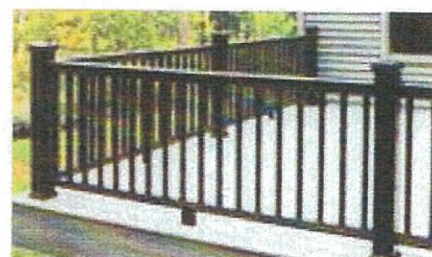
THE SOLID LOOK AND FEEL  
OF WOOD WITHOUT  
THE MAINTENANCE



Panorama in white with twist balusters in antique bronze finish



Panorama with composite square balusters in almond



Panorama with composite square balusters in black

#### Post sleeve

accommodates standard  
4"x 4" wood posts in 40",  
54" and 108" lengths



4-1/2"x 4-1/2" square



4-1/2"x 4-1/2"  
square

#### Post cap and trim kit

