

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|--|-----------------------|---------------|
| Address: | 7714 Takoma Ave., Takoma Park | Meeting Date: | 4/25/18 |
| Resource: | Contributing Resource Takoma Park Historic District | Report Date: | 4/18/18 |
| Applicant: | Pavan Auluck | Public Notice: | 4/11/18 |
| Review: | HAWP | Tax Credit: | Partial |
| Case Number: | 37/03-18X | Staff: | Dan Bruechert |
| Proposal: | Building Addition | | |

STAFF RECOMMENDATION

Staff recommends the HPC approve with one (1) condition the HAWP application.

1. The replacement front door needs to be painted.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing to the Takoma Park Historic District
STYLE: Craftsman
DATE: 1924

The subject property is a two-story, brick, asphalt-shingled, front gable house, with a full-width porch with brick piers. The house has six-over-one windows throughout. The house sits at the southwest corner of the intersection of Philadelphia Ave., and Takoma Ave. This placement creates two highly visible facades. The façade along Philadelphia Ave is three bays deep and has a small, wood shed roof addition. The exterior stairs that provide access to the second story are visible from Philadelphia Ave.

BACKGROUND

The applicant submitted plans for review as a preliminary consultation at the February 7, 2018 meeting of the Historic Preservation Commission (HPC) and revised plans at the March 28, 2018 HPC Meeting. The current Historic Area Work Permit (HAWP) design has been revised based on the feedback from those meetings.

PROPOSAL

The applicant proposes to construct a one-story, one room addition off of the southwest of the historic house, accessed by a newly created hallway, and construct a deck in front of the proposed addition. The application proposes to repair the historic upper six-lite sash and replace

the non-historic bottom sash of all of the historic windows and install storm ProVia Storm windows on all of the historic window openings. The applicant proposes to replace the non-historic front door. The applicant proposes to expand the small one-story addition in the rear of the house by adding a second story in matching cladding. Lastly, the applicant proposes removing the non-historic ADA ramp and non-historic exterior stairs at the rear.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Takoma Park Historic District (*Guidelines*), Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

While additions should be compatible, they are not required to be replicative of earlier architectural styles.

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

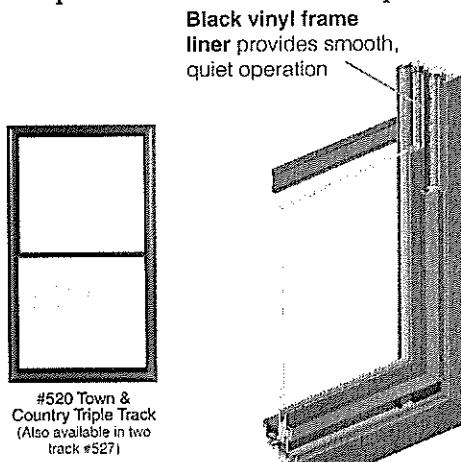
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

STAFF DISCUSSION

The applicants are proposing work in three areas of the historic house: window sash and door replacement; a rear corner addition; and an expansion of an existing, non-historic rear addition.

Window Sash and Door Replacement

The applicant proposes to remove the non-historic bottom sashes and replace them with single lite wood sashes and to repair the historic six-lite upper sashes. The applicant also proposes to install ProVia storm windows in all of the historic window openings. This is a historic preservation best practice and meets the requirements of the *Guidelines, Chapter 24A*, and the



Standards.

Figure 1: Pro Via Town and Country Storm Window

The applicant further proposes to replace the non-historic, half-lite door and sidelights with a Simpson Craftsman three panel, three-lite door with sidelights to match. Staff finds that the design and materials of the proposed door are compatible and it is an appropriate replacement. The applicant does not specify a finish for the door. Staff recommends conditioning approval of this HAWP on the door receiving a painted finish, as consistent with the historic character of the house.

Expanded Rear Addition

In the northwest corner of the house there is a non-historic, one-room addition with a shed roof. The applicant proposes to add a second story to this addition and clad both of these additions in 10" (ten inch) reveal Boral synthetic siding with the smooth side facing out to match the proposed addition. As these are non-historic features of the house, Staff finds the expansion of this addition in the cladding identified is an acceptable treatment.

Building Rear Corner Addition

At the March 28, 2018 preliminary consultation, the HPC voiced support for the concept of the design, but had concerns in three specific areas. First, the HPC expressed their opinion that the pitch of roof for the addition was too steep to be compatible as an addition and, even though the pitch matched the front gable roof it needed to be lowered. Second, the HPC found that the metal roof was an incompatible material and recommended the applicant use a three-tab asphalt shingle to match the historic house. Third, the HPC expressed concern that the side deck and stairs projected too far to the left (south) of the historic massing of the house. The applicant has made revisions to the construction plan based on these comments. Staff finds that the proposal comports with the *Guidelines* and *Chapter 24A* and supports approval.

The applicant is proposing to construct a rear gable addition off of the left rear (southwest) corner of the house that will be accessed by a newly created hallway. The addition will be 22' (twenty-two feet) deep by 18' (eighteen feet) wide and will have a brick foundation and clad using Boral synthetic siding in a 10" (ten inch) reveal with the smooth side facing out with a front gabled shingle roof. The pitch of the roof in the addition will match the wider of the two front gables on the historic house with a 6 ½ /12 pitch. The left side of the addition will project 4' 2" (four feet, two inches) beyond the wall plane of the historic side gable-L at the front of the house. The creation of the new hallway will require the removal of the historic exterior wall behind the side gable-L.

The windows in the addition will be large single-lite casement windows with smaller one-lite egress windows in the basement. The applicant also proposes to use sliding, single-lite doors in the newly created hallway that will provide access to the new side deck. The side deck will project approximately 10' (ten feet) beyond the wall plane of the side gable-L. The side deck has a recessed side staircase that is flush with the left (south) side of the deck. The deck will be constructed on brick piers. The brick for the pier will be constructed using bricks recovered from the removal of the adjacent wall. The railing on the deck will be a contemporary wood and wire design.

Staff finds that the size and massing of the addition are compatible with the historic house. The addition is placed off of the rear corner of the house, which will limit its visibility from the public right-of-way. As this house is on a corner lot with a large side setback, all of elevations are highly visible. The placement the applicant has chosen for the addition will have the least impact on the historic massing and historic features of the house (per the *Guidelines*). The roof pitch is low enough that it will not project above the historic roof forms and is compatible with the existing architectural features (per *Chapter 24A-8(b)(2)*). In its evaluation of the previous proposal at the preliminary consultation, the HPC indicated their support for the addition's projection beyond the historic wall plane.

Additionally, Staff finds that the proposed single-lite casement windows and sliding glass doors in the addition are compatible with the contemporary details of the addition and the porch railing. Staff further finds that the front porch size and form and the contemporary design of the railing, both on the porch and to the new basement entrance, are compatible with the historic house and the addition (per the *Guidelines*).

Other Alterations

The applicant proposes to remove the non-historic ADA ramp at the front and the non-historic exterior staircase at the rear. Both of these features were installed in the later part of the 20th century and are incompatible designs for the historic resource. Staff supports removal of these items and supports approval.

The applicant's proposal will also create a new entrance to the basement to the north of the addition. The entrance is below grade and only the wood and wire railing will be visible from the public right-of-way. Staff finds that this minimal alteration on a secondary elevation will have a minor impact on the historic house and surrounding district and supports approval.

Staff finds that the overall project is compatible with the *Guidelines*, Chapter 24A, and is consistent with the guidance provided by the HPC at the previous preliminary consultations and Staff recommends approval with the identified condition.

STAFF RECOMMENDATION

Staff recommends the HPC approve with one (1) condition the HAWP application;

1. The replacement front door needs to be painted.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



DPB-#8

HISTORIC PRESERVATION COMMISSION
301/563-3400APPLICATION FOR
HISTORIC AREA WORK PERMITContact Person: Rebecca Leal
Contact Email: Permits@manionandassociates.com
Daytime Phone No.: 301.229.7000Tax Account No.: 13-01064041Name of Property Owner: Praeven AuLick Daytime Phone No.: 617.447.4008Address: 6916 Willow St. NW Washington DC 20012
Street Number: _____ City: _____ State: _____ Zip Code: _____Contractor: (not selected) Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Thomas Manion Daytime Phone No.: 301.229.7000LOCATION OF BUILDING/PREMISEHouse Number: 7714 Street: Takoma Ave.Town/City: Takoma Park Nearest Cross Street: Philadelphia Ave.Lot: P13 Block: 69 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE

- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|---|---|--|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wrap/Flange | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) <input type="checkbox"/> Other: _____ | | | | | |

1B. Construction cost estimate: \$ 375,0001C. If this is a revision of a previously approved active permit, see Permit #: N/APART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

W
Signature of owner or authorized agent

01/15/2018
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99 SEE REVERSE SIDE FOR INSTRUCTIONS

825 266

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

We are trying to match the style & proportion of the building. We will be replacing windows. New additions will be compatible but different material than the brick.

The addition to the house includes a new family room with two access decks, the renovation of a previous addition (bathroom) on the first floor and a new small addition on the second floor (w/c).

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

In the historic district we are matching the slope & scale of the exg. porch and other volumes of the house. Because the house is seen from multiple angles we decided there are no facades visually compatible with other house in the historic district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

*** You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.**

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (façades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevation drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|--|--|
| Owner's mailing address Paran Avluk 6916 Willow St. NW Washington, DC 20012 | Owner's Agent's mailing address Thomas Manion, AIA Manion + Associates Architects 7307 MacArthur Blvd |
| Adjacent and confronting Property Owners mailing addresses | |
| Elliott Vanslike & Julie Schmid 7710 Takoma Ave Takoma Park, MD 20912. (left side) | Pamela Lotke & Alexander Cronin 608 Philadelphia Ave Takoma Park, MD 20912 (rear) |
| Susan Schulken 601 Philadelphia Ave Takoma Park, MD 20912 (right side - across st.) | Candida Deluisse 7715 Takoma Ave Takoma Park, MD 20912 (across left) |
| Lawrence Hershmann & Amy Turim 7713 Takoma Ave Takoma Park, MD 20912 (across right) | Adam Ernst 7801 Takoma Ave Takoma Park, MD 20912 (across intersection) |

AULUCK

7714 Takoma Ave.
Takoma Park, MD 20912



Takoma Ave View

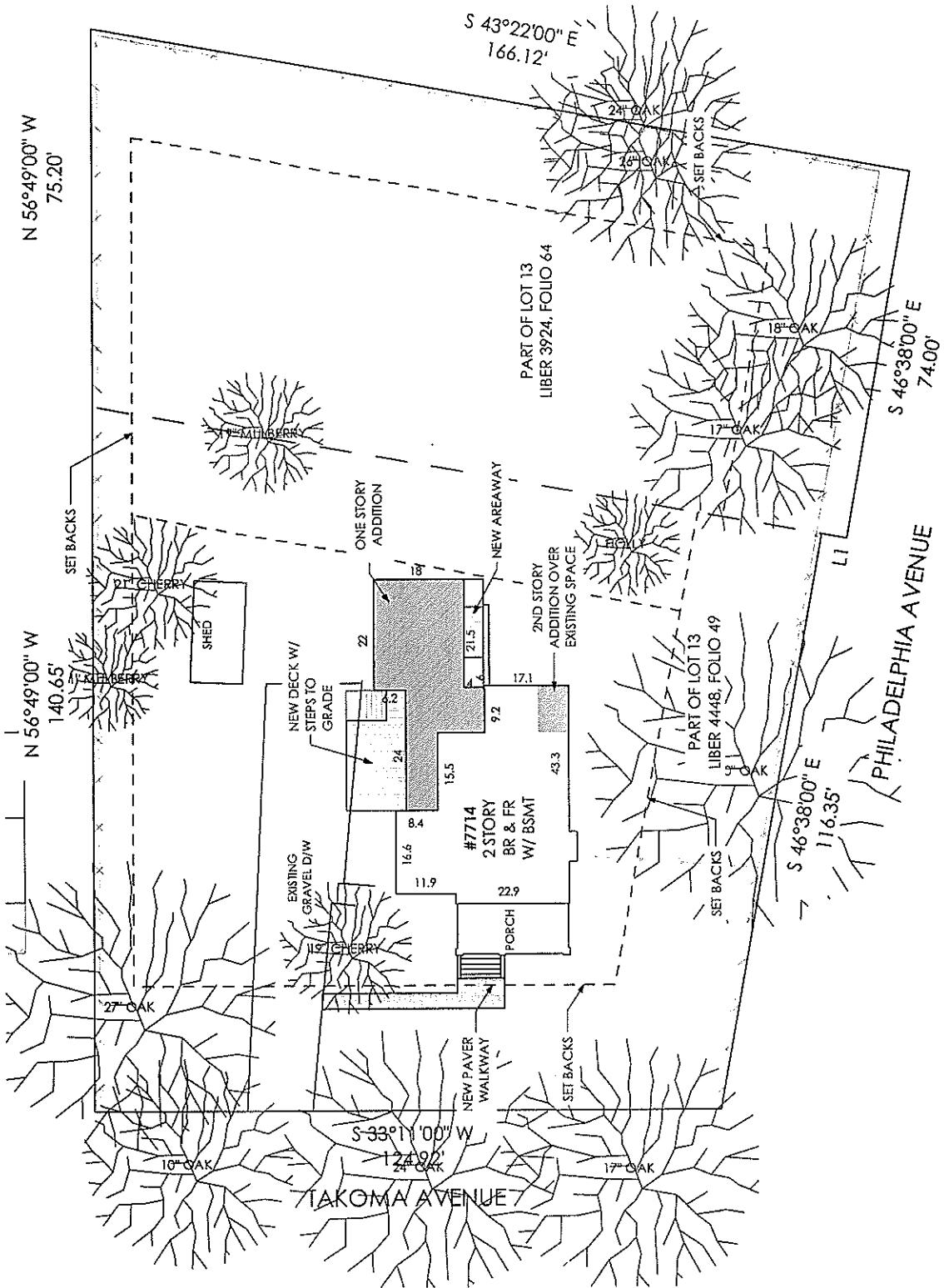
(1)

NOT FOR CONSTRUCTION

A1

MANION + ASSOCIATES ARCHITECTS, P.C.
7714 Takoma Ave.
Auluck
Takoma Park, MD 20912
ISSUE DATE: 03/29/18
DRAWN BY: RLGA
SCHEM: 13
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7307 McArthur Blvd., Ste. 216, Bethesda, Maryland 20816
1301 22nd Street, Suite 300, Washington, DC 20036
www.manionassociates.com





Site Plan - Proposed

SCALE: 1" = 20'

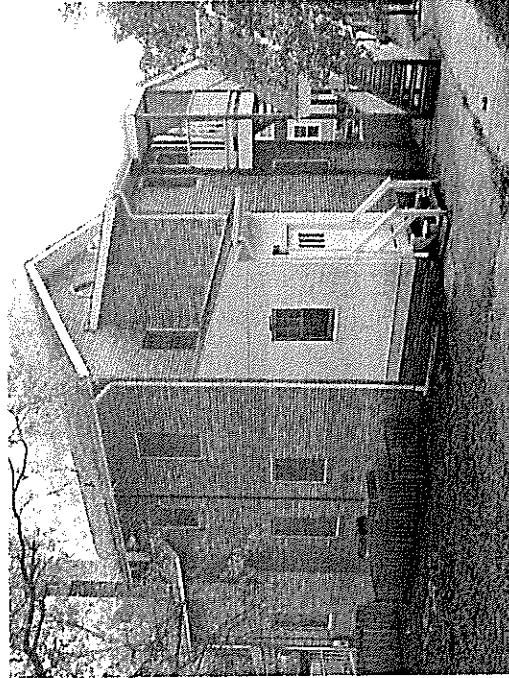
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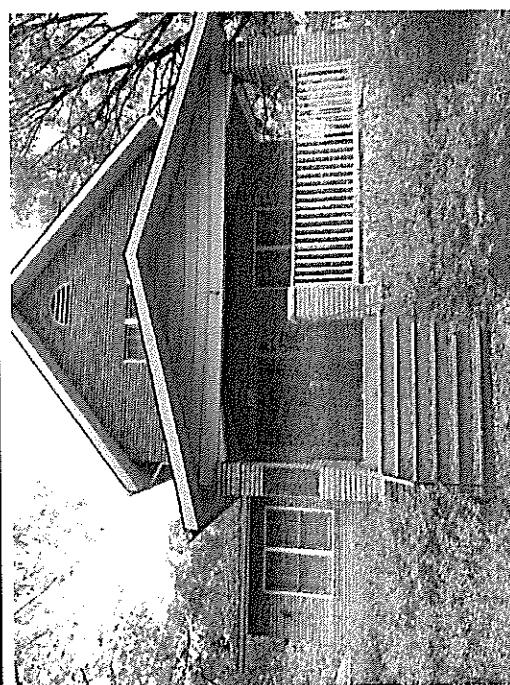
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|  <p>MAINLAND ASSOCIATION OF ARCHITECTS, P.C.</p> | <p>SCHEME 13 EISEN AALE 0329, 18 DRAWN BY-PLA</p> |
| <p>7714 TAKOMA AVE. AUERK MANASSAS, VA 20110 703/256-1222 FAX: 703/256-1223 E-MAIL: info@mainlandarchitects.com</p> | <p>7714 TAKOMA PARK, MD 20912 TAKOMA PARK, MD 20912 COPRIGHT © 2018 ALL RIGHTS RESERVED</p> |



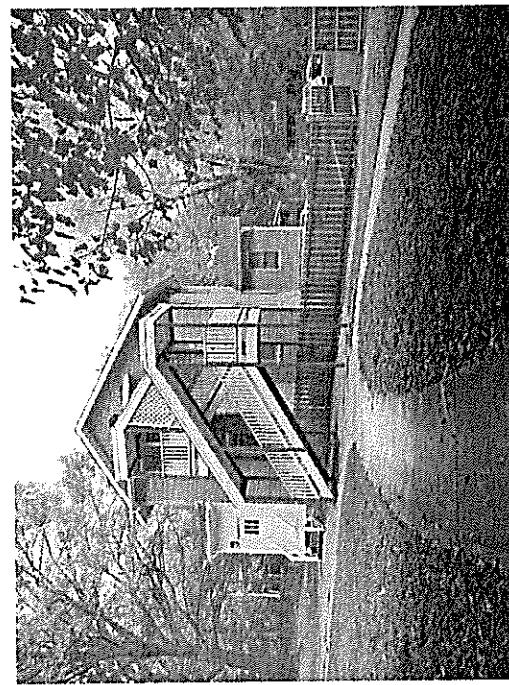
Left View: Existing



Right View- Existing



Front View- Existing

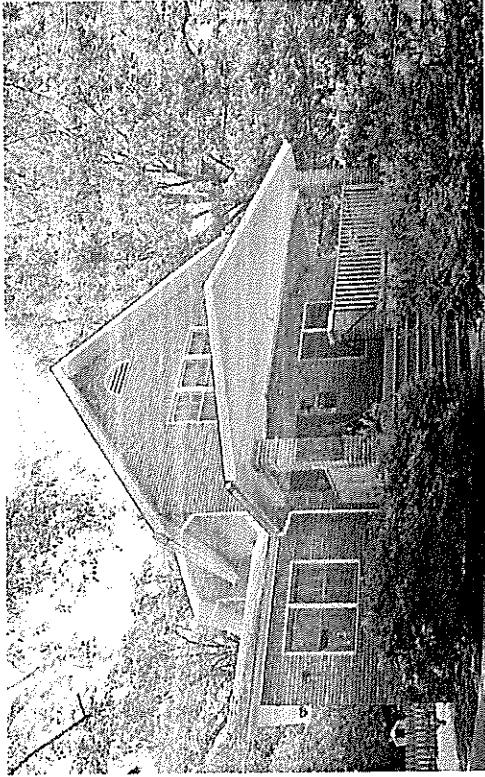


Peer Review- Existing

| | |
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| ISSUEDATE 02/29/18 | DRAWN BY: RLJG |
| AULUCK | 7714 Takoma Ave., MD 20912 |



Takoma Ave View



Takoma Ave View from Sidewalk



Takoma Ave corner with Philadelphia Ave



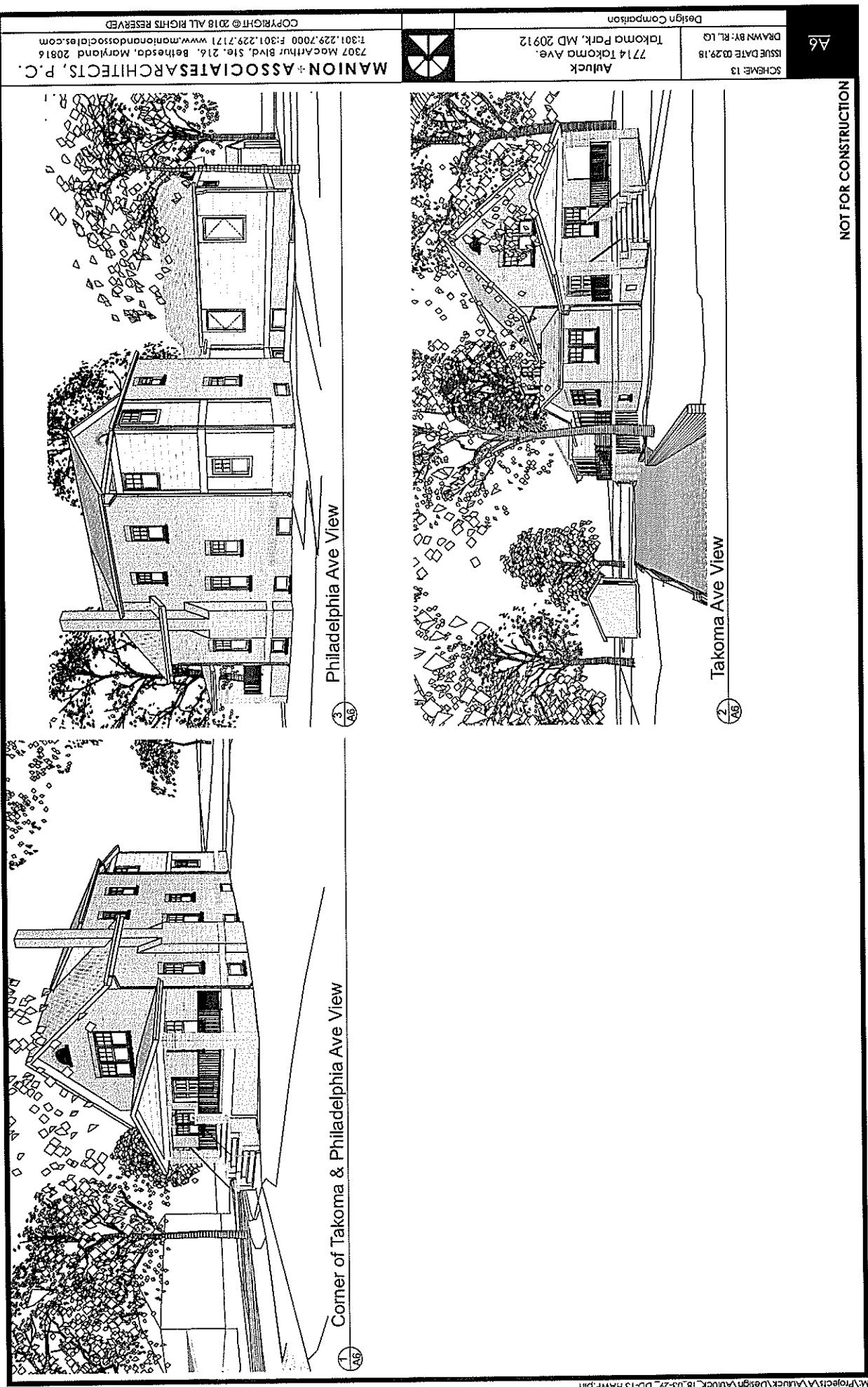
Philadelphia Ave View

A5

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EXISTING CONDITIONS:

-EXG. DOORS ARE NOT ORIGINAL THEY HAVE BEEN
REPLACED FOR SWING OUT COMMERCIAL DOORS.

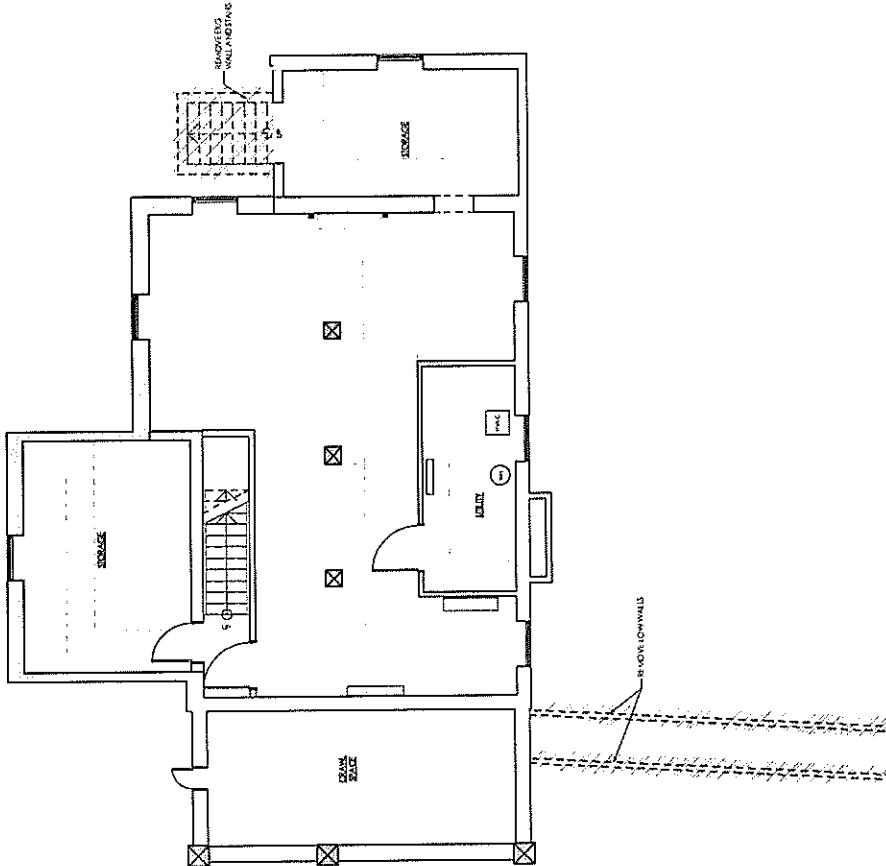
NOTES:

-EXG. WINDOWS TO BE REPAIRED AND NEW STORM
WINDOWS TO BE INSTALLED, WHERE REQUIRED FOR EGRESS
OR OTHER BUILDING CODES. DOUBLE HUNG WINDOW TO BE
REPLACED BY SAME SIZE CASEMENT WINDOW.

-EXG. DOORS TO BE REPLACED WITH RESIDENTIAL UNITS.

- EXG. METAL STAIR AT THE REAR WILL BE REMOVED.

- EXG. RAMP WILL BE REMOVED.



① Basement Floor Demo

SCALE: 1/8" = 1'-0"

A7

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First Floor Demo
SCALE: 1/8" = 1'-0"

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EXISTING CONDITIONS:

-EXG. DOORS ARE NOT ORIGINAL. THEY HAVE BEEN
REPLACED FOR SWING OUT COMMERCIAL DOORS.

Notes

-EXG. WINDOWS TO BE REPAIRED AND NEW STORM WINDOWS TO BE INSTALLED, WHERE REQUIRED FOR EGRESS OR OTHER BUILDING CODES. DOUBLE HUNG WINDOW TO BE REPLACED BY SAME SIZE CASEMENT WINDOW

-EXG. DOORS TO BE REPLACED WITH RESIDENTIAL UNITS.

- EXG. METAL STAIR AT THE REAR WILL BE REMOVED.

- EXC. BAMP WILL BE REMOVED.

This architectural floor plan illustrates a renovation project across three levels. The top level shows a room with a 'REMOVING DOOR' and 'REMOVING DOOR'. A note indicates 'REMOVING DOOR - when removing door frame, leave many gates open'. The middle level features a 'REMOVING PARTITION WALL AND DOOR' and a 'REMOVING EDGE OPENING'. A note specifies 'REMOVING PARTITION E.G. WALL AND DOOR' and 'REMOVING EDGE OPENING'. The bottom level shows a 'REMOVING PARTITION WALL AND DOOR' and a 'REMOVING EDGE OPENING'. A note specifies 'REMOVING PARTITION E.G. WALL AND DOOR' and 'REMOVING EDGE OPENING'. A note also states 'REMOVING PARTITION WALL AND DOOR'. A large 'REMOVING PARTITION WALL AND DOOR' is shown at the bottom right. A note indicates 'REMOVING PARTITION WALL AND DOOR - from B.L.'.

Second Floor Demo

SCALE: 1/8" = 1'-0"

NOVEMBER 2011

17

Roof Demo
18
SCALE: 1/8 = 1'-0"

| | | | | | |
|--------------------------------------|--|--|--|---|--|
| MANION + ASSOCIATES ARCHITECTS, P.C. | | Issue Date 02-29-18 | | Demolition Plan | |
| | | AulicK | | 7714 Takoma Ave. Takoma Park, MD 20912 | |
| | | 1301 2297 7000 F301 2297 171 www.manionandassociates.com | | DRAWN BY: RL.LA | |
| | | | | COPYRIGHT © 2018 ALL RIGHTS RESERVED | |

EXISTING CONDITIONS:

-EXG. DOORS ARE NOT ORIGINAL, THEY HAVE BEEN REPLACED FOR SWING OUT COMMERCIAL DOORS.

NOTES:

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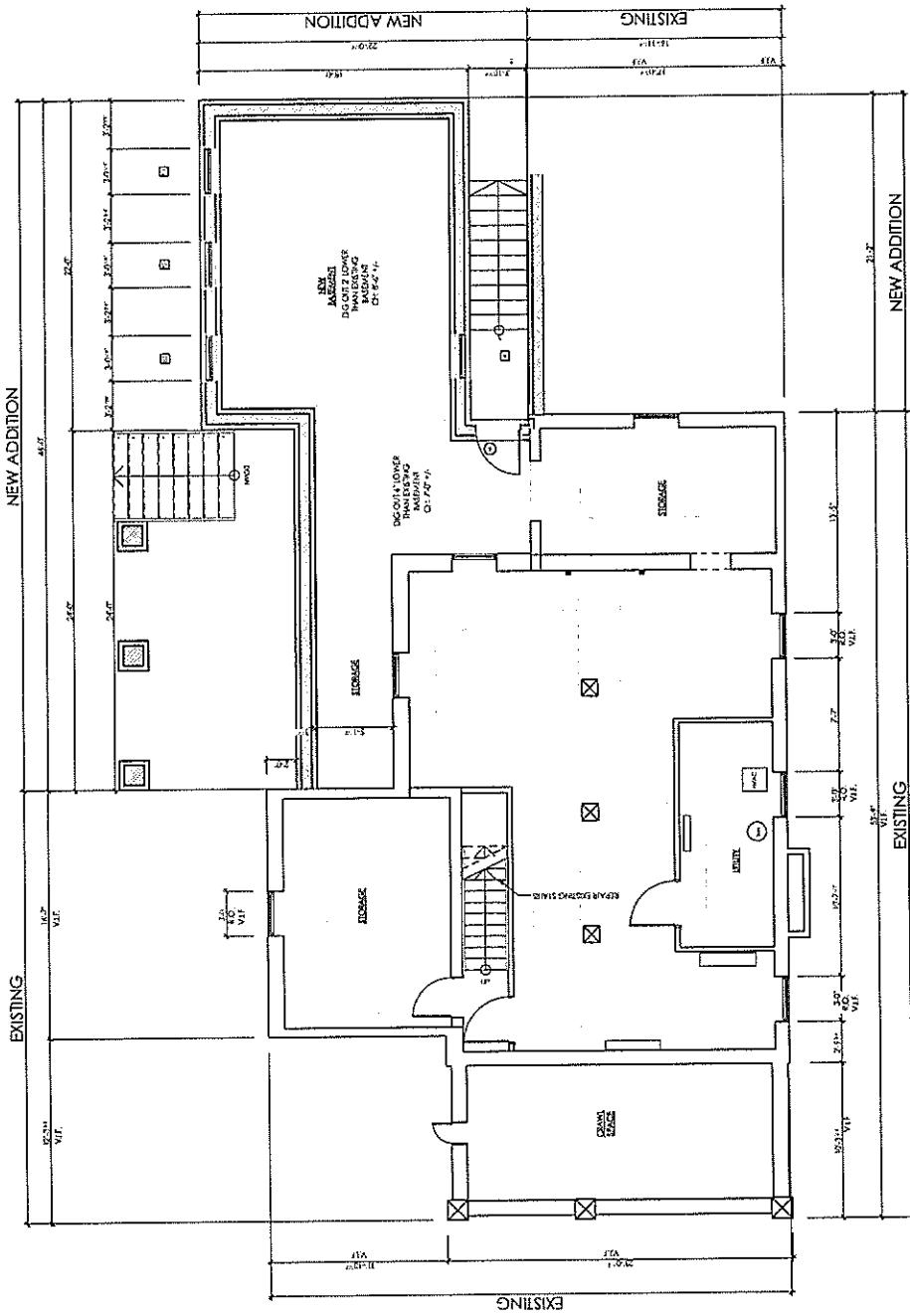
- EXG. METAL STAIR AT THE REAR WILL BE REMOVED.
- EXG. RAMP WILL BE REMOVED.

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Basement Floor

SCALE: 1/8" = 1'-0"

11



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Second Floor

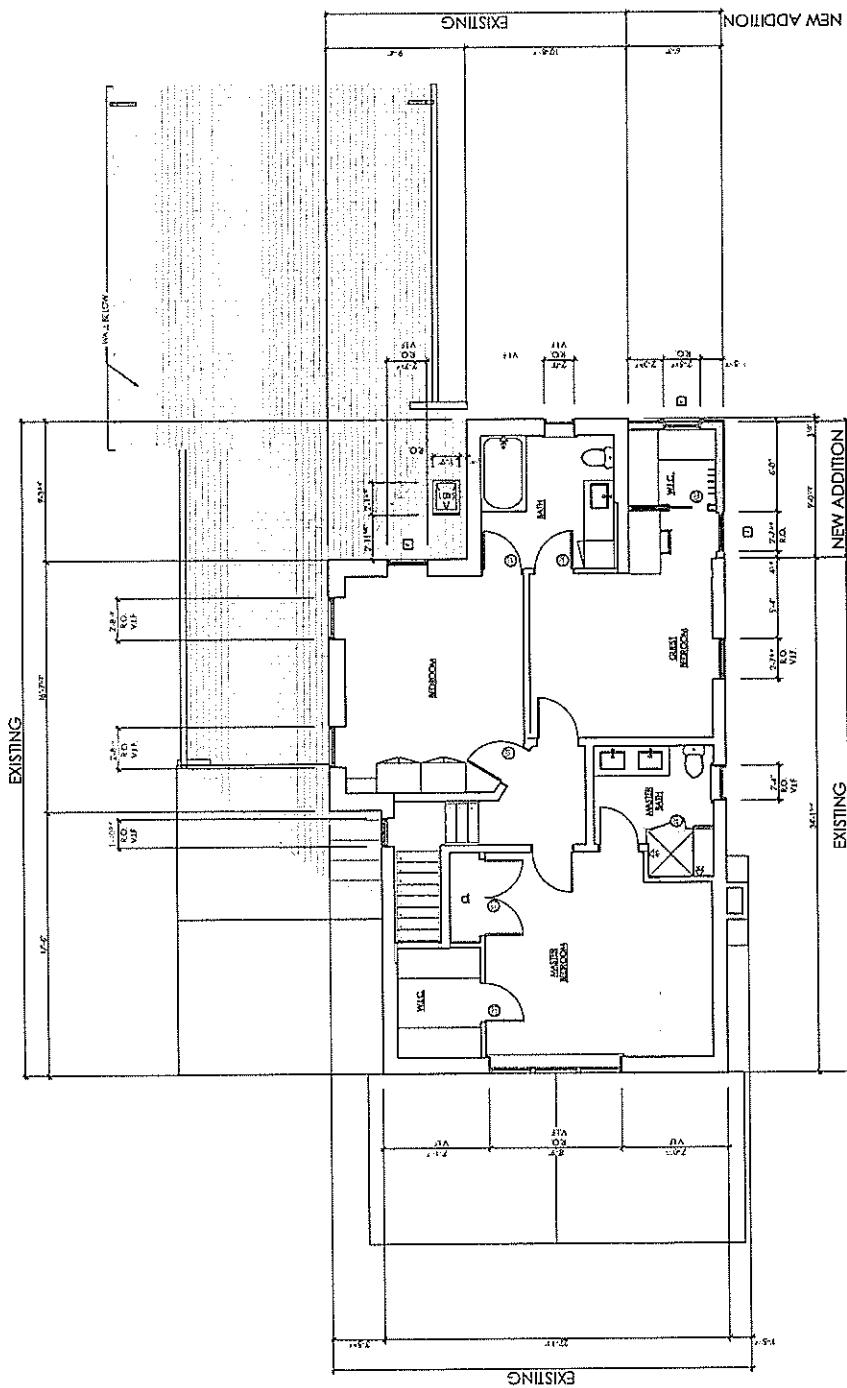
SCALE: 1/8" = 1'-0"

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A13

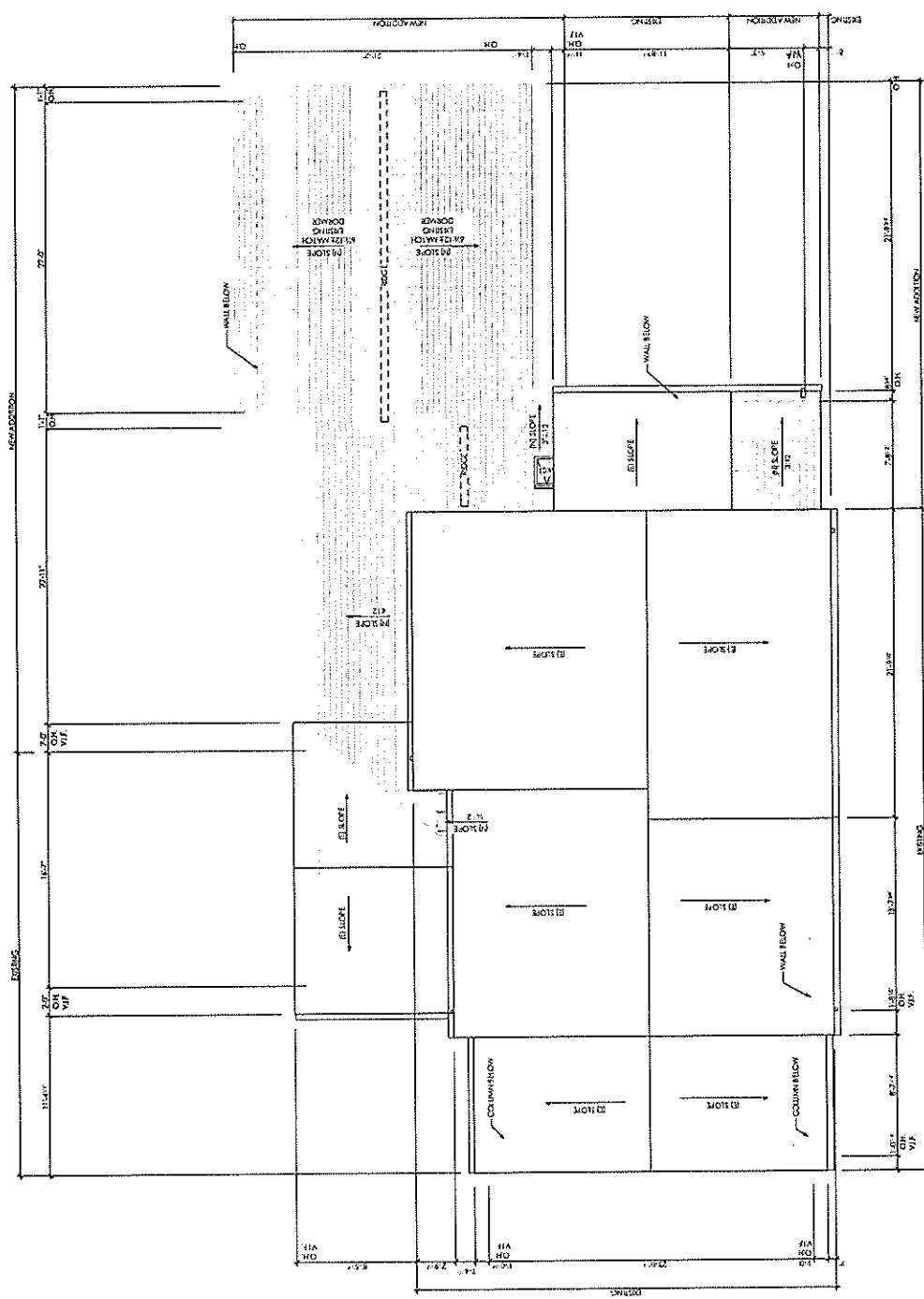
Proposed Second Floor Plan

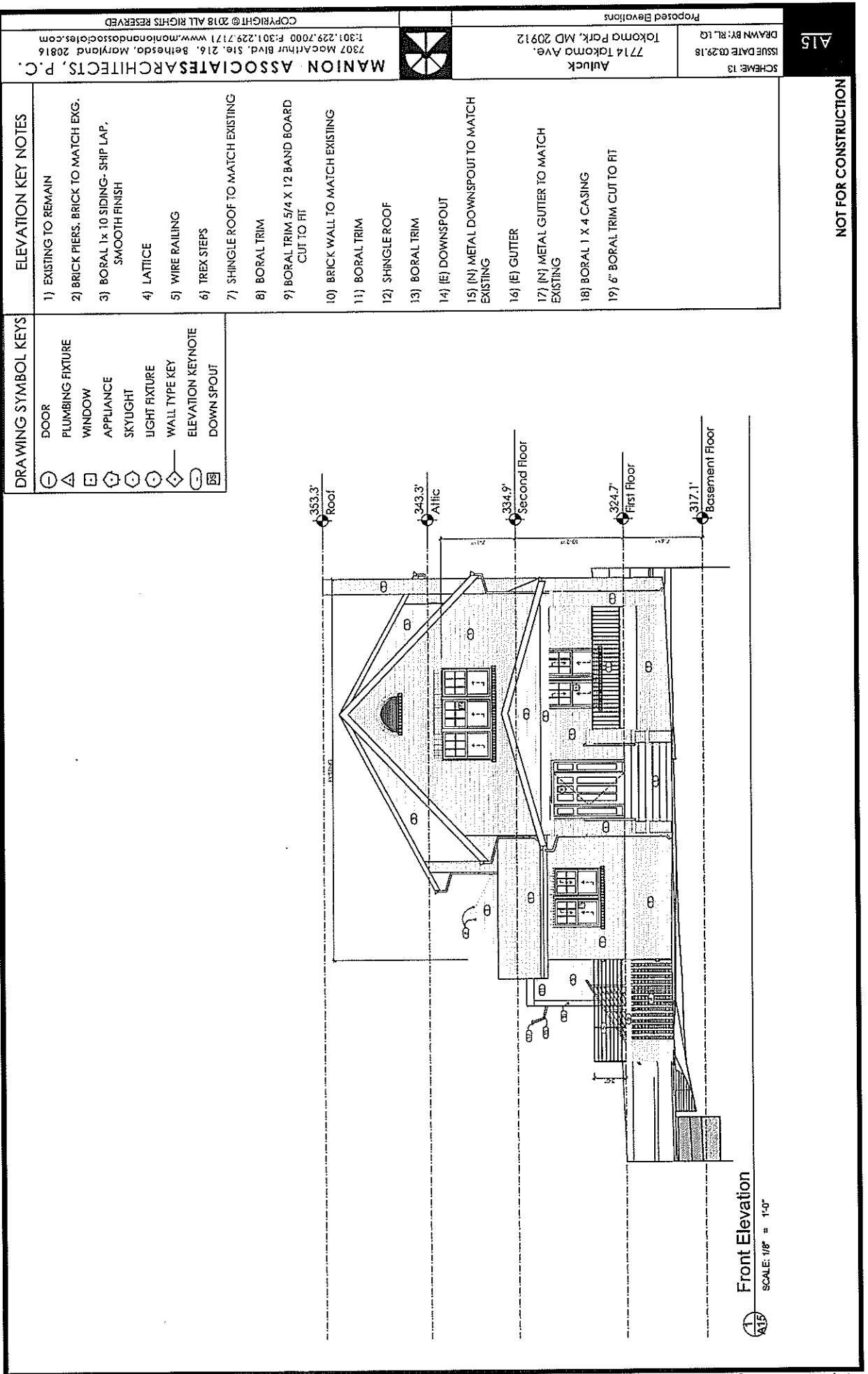
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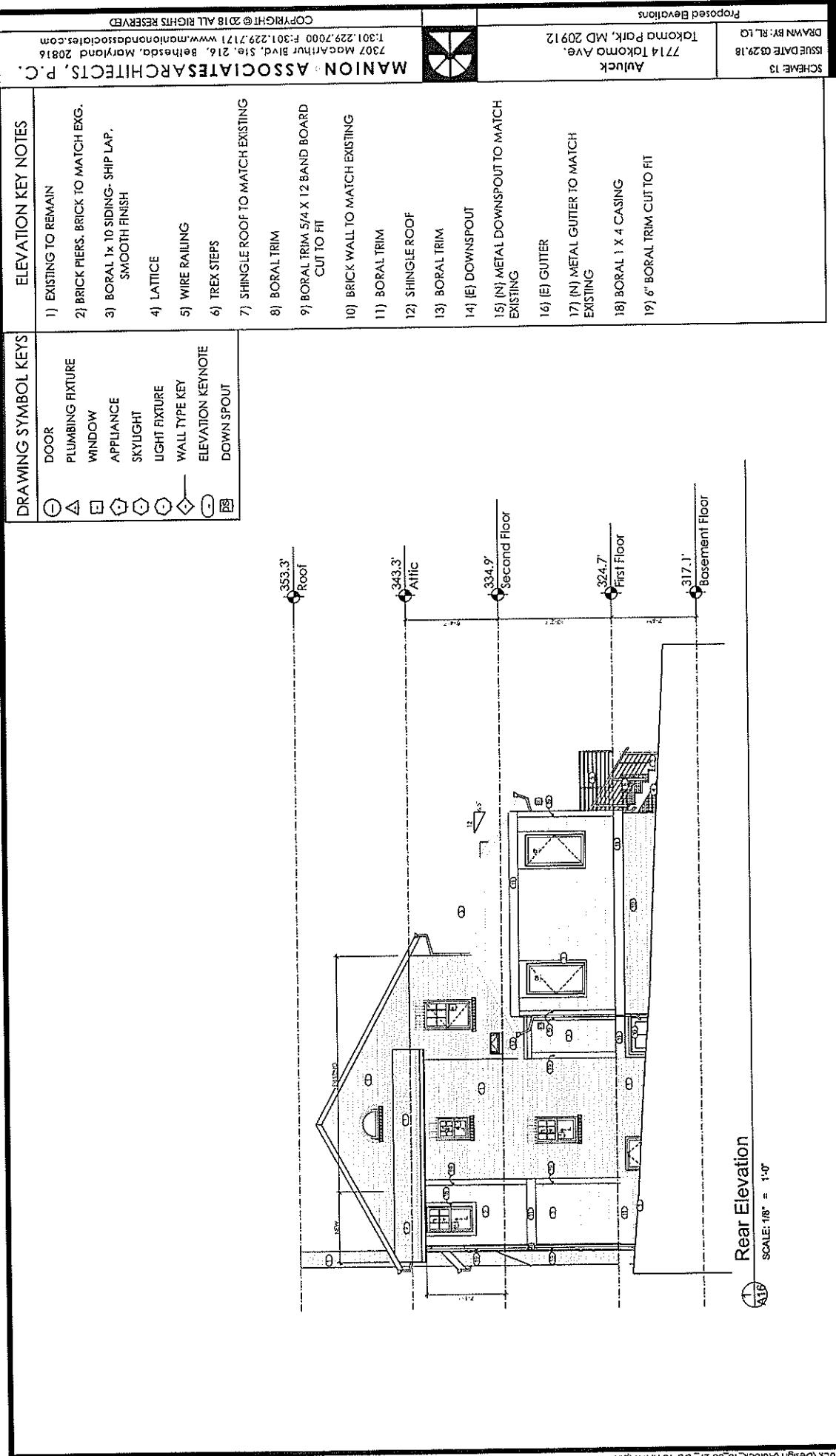
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| MANUFACTURER ASSOCIATES A.R.C.H.I.T.E.C.T.S., P.C. | 7307 McGaughen Blvd., Ste. 116 Bethesda, MD 20816 1301.229.7000 1301.229.7171 www.manufacturersassociates.com | PROPOSED ROCK POINT COPRIGHT © 2018 ALL RIGHTS RESERVED | |

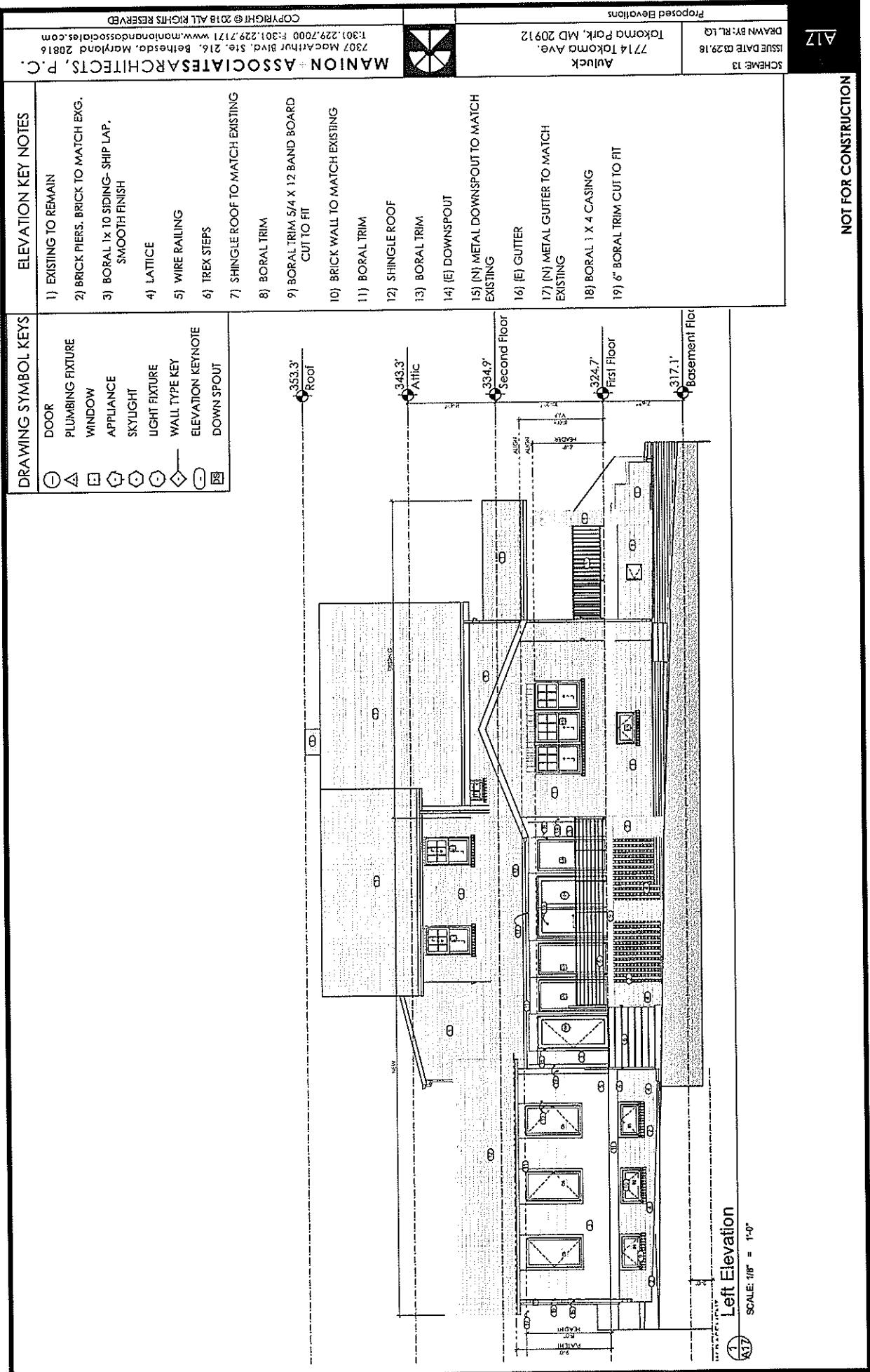




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| <p>ELEVATION KEY NOTES</p> | | <p>Proposed Elevations</p> | |
| <p>DRAWING SYMBOL KEYS</p> | | <p>ISSUE DATE 03-29-18</p> | |
| <p>(○) DOOR △ PLUMBING FIXTURE □ WINDOW □ APPLIANCE SKYLIGHT LIGHT FIXTURE WALL TYPE KEY ELEVATION KEYNOTE DOWN SPOUT</p> | | <p>AUUCk 7714 Takoma Ave. Takoma Park, MD 20912 DRAWN BY: RL LG 03-29-18</p> | |
| <p>1) EXISTING TO REMAIN 2) BRICK PIERS. BRICK TO MATCH EXG. 3) BORAL 1x10 SIDING- SHIP LAP, SMOOTH FINISH 4) LATTICE 5) WIRE RAILING 6) TREX STEPS 7) SHINGLE ROOF TO MATCH EXISTING 8) BORAL TRIM 9) BORAL TRIM 5/4 X 12 BAND BOARD CUT TO FIT 10) BRICK WALL TO MATCH EXISTING 11) BORAL TRIM 12) SHINGLE ROOF 13) BORAL TRIM 14) (E) DOWNSPOUT 15) (N) METAL DOWNSPOUT TO MATCH EXISTING 16) (E) GUTTER 17) (N) METAL GUTTER TO MATCH EXISTING 18) BORAL 1x4 CASING 19) 6" BORAL TRIM CUT TO FIT</p> | | <p>SCHMEE 13</p> | |
| | | <p>NOT FOR CONSTRUCTION</p> | |

26

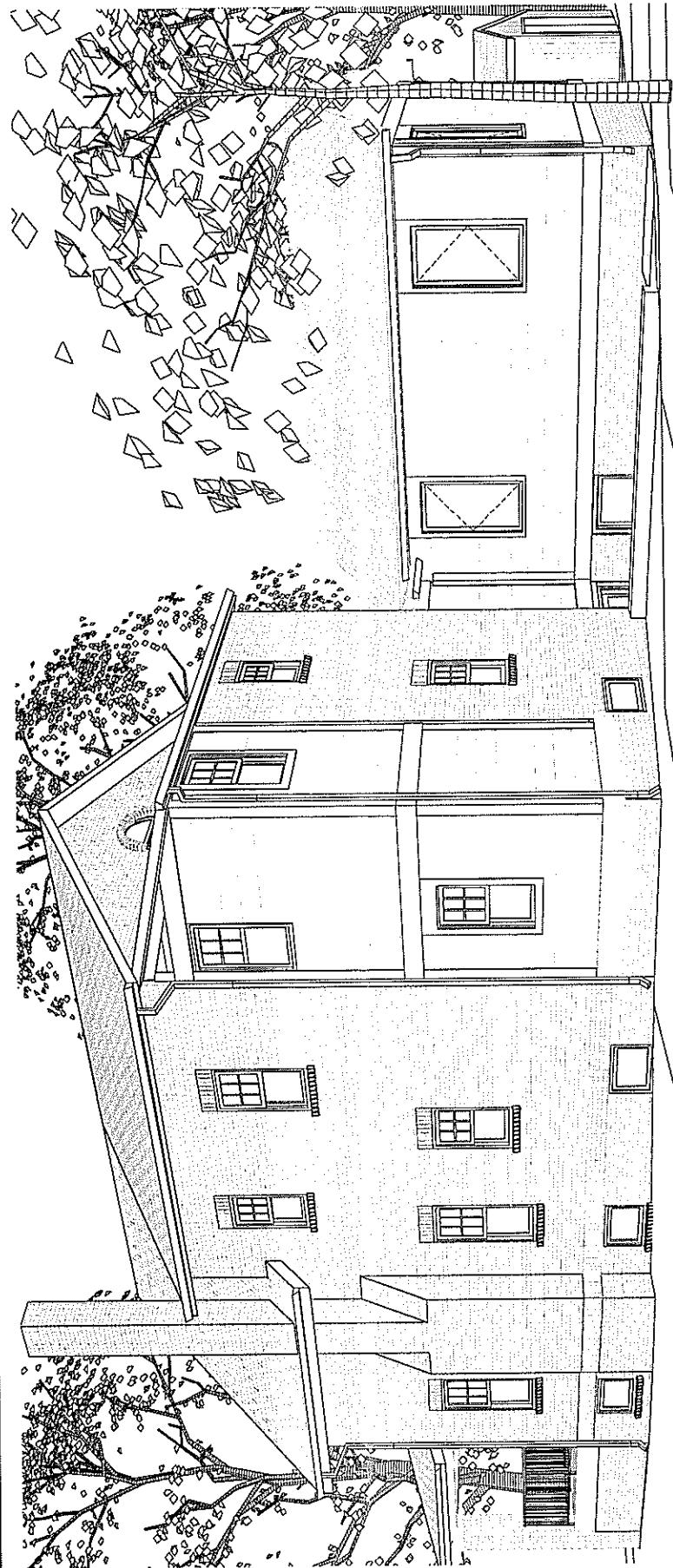
Right Elevation
 1/8" SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

21

Philadelphia Ave View

419



| | | | |
|--|---------------------|---|--------------------------------------|
| SCHMEE 13 | ISSUE DATE 03-29-18 | DRAWN BY: RL LA | VIEWS |
| MANION ASSOCIATES ARCHITECTS, P.C. | AUULCK | TGKOMA PARK, MD 20912 | |
| 7307 MacArthur Blvd, Suite 216, Bethesda, Maryland 20816 | 7714 Takoma Ave. | 7301 22nd Street, Suite 100, Bethesda, Maryland 20816 | COPYRIGHT © 2018 ALL RIGHTS RESERVED |
| 1301 22nd Street, Suite 100, Bethesda, Maryland 20816 | | | |

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Neighbor's View

28

| | | | |
|---|---------------------|---|--------------------------------------|
| Scheme 13 | Issue Date 03-29-18 | Auluck | VIEWS |
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| MANION ASSOCIATES ARCHITECTS, P.C. | 7714 Takoma Ave. | Takoma Park, MD 20912 | DRAWN BY: RL LG |
| 1301 229.7000 E 301.229.7171 www.manionassociates.com | Auluck | 7307 MacArthur Blvd, Ste. 216, Bethesda, Maryland 20816 | REV'D |

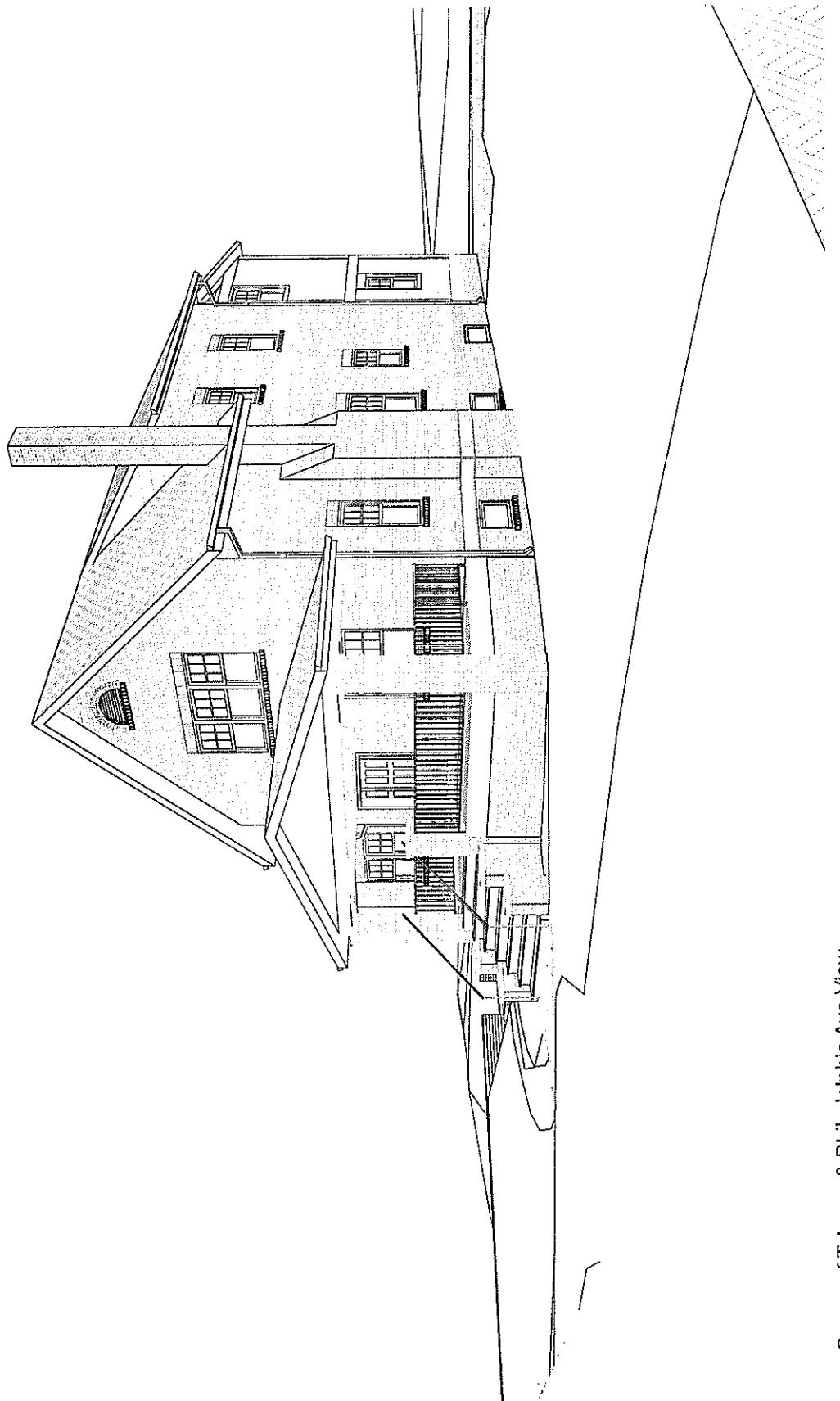


(2)

Corner of Takoma & Philadelphia Ave View

1
421

NOT FOR CONSTRUCTION



| | | | |
|---|-----------------------|---|--------------------------------------|
| SCHMEE 13 | AUULCK | VIEWS | A21 |
| ISSUE DATE 029.18 | 7714 Takoma Ave. | DRAWN BY: RL.LG | |
| 7307 MacArthur Blvd. Ste. 216, Bethesda, Maryland 20816 | Takoma Park, MD 20912 | 7301, 229, 7000 E 301, 229, 7171 www.marylandassociates.com | COPYRIGHT © 2018 ALL RIGHTS RESERVED |
| MANION ASSOCIATES ARCHITECTS, P.C. | | | |

30

| WINDOW SCHEDULE | | | | | | | STORM WINDOW SCHEDULE | | | | | |
|-----------------|------|---------|------------|-----------|----------------------|-------------|-----------------------|-------|----------------|-----|-----------------------|------|
| Story | Mark | Model # | Unit Size | R.O. Size | Type | Temper | Egress | Notes | Story | ID | Nominal W x H | Size |
| Basement Floor | A | | 2'-11" | 5'-5" | 2'-11 1/2"x5'-5 1/4" | CASEMENT | YES | YES | Basement Fiber | E1 | 3'-0"x1'-9 1/4" | |
| | B1 | | 2'-11 3/4" | 1'-9 3/4" | 3'-0 1/4"x1'-10" | AWNING | YES | NO | | E2 | 3'-0"x2'-0 1/2" | |
| | B2 | | 2'-11 3/4" | 1'-9 3/4" | 3'-0 1/4"x1'-10" | AWNING | NO | NO | | E3 | 3'-0"x2'-0 1/2" | |
| | B3 | | 2'-11 3/4" | 1'-9 3/4" | 3'-0 1/4"x1'-10" | AWNING | NO | NO | | E4 | 3'-0"x2'-0 1/2" | |
| First Floor | C1 | 3555 | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | YES | YES | | E5 | 3'-0"x1'-10" | |
| | C2 | 3555 | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | YES | YES | | E6 | 8'-9"x4'-5 1/2" | |
| | C3 | 3565 | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | NO | YES | | E7 | 5'-7 1/2"x4'-5 1/2" | |
| | C4 | 3565 | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | NO | YES | | E8 | 5'-7 3/4"x4'-5 1/2" | |
| | C5 | 3565 | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | NO | YES | | E9 | 2'-8"x5'-1 1/2" | |
| | C6 | | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | NO | YES | | E10 | 2'-8"x5'-1 1/2" | |
| | C7 | | 2'-11" | 5'-5" | 2'-11 3/4"x5'-5 3/4" | CASEMENT | NO | NO | | E11 | 2'-8"x3'-9 1/2" | |
| | F | 2953 | 2'-5" | 4'-5" | 2'-5 3/4"x4'-5 3/4" | DOUBLE HUNG | NO | NO | | E13 | 1'-10 3/4"x1'-10 1/2" | |
| | G1 | 3780 | 3'-0 3/4" | 6'-7 1/2" | 3'-1 1/2"x6'-8" | CASEMENT | YES | NO | | E14 | 8'-9"x4'-9 3/4" | |
| | G2 | 3780 | 3'-0 3/4" | 6'-7 1/2" | 3'-1 1/2"x6'-8" | CASEMENT | YES | NO | | E15 | 2'-4"x3'-9 1/2" | |
| | G3 | 3780 | 3'-0 3/4" | 6'-7 1/2" | 3'-1 1/2"x6'-8" | CASEMENT | YES | NO | | E16 | 2'-7 1/2"x4'-4 1/2" | |
| | H | CUSTOM | 2'-4" | 3'-9 1/2" | 2'-4"x3'-9 1/2" | DOUBLE HUNG | NO | NO | | E17 | 2'-0"x3'-3 0" | |
| Second Floor | J | 2953 | 2'-7 1/2" | 4'-4 1/2" | 2'-7 3/4"x4'-4 3/4" | CASEMENT | NO | YES | | E19 | 2'-8"x4'-5 1/4" | |
| | K | 2953 | 2'-5" | 4'-5" | 2'-5 3/4"x4'-5 3/4" | DOUBLE HUNG | NO | NO | | E20 | 2'-8"x4'-5 1/4" | |
| | R | CUSTOM | 2'-7 1/4" | 4'-4 1/2" | 2'-7 3/4"x4'-4 3/4" | CASEMENT | NO | YES | | E22 | 2'-10"x0'-10 7/8" | |

WINDOW GENERAL NOTES:

1. WINDOWS SPECIFIED ARE BY PELLA, 450 SERIES.
2. WINDOWS ARE ALUMINUM CLAD WOOD, FRAME & SASH COLOR- AUBURN BROWN, LOW-E ARGON GLASS, WITH 3/4" SDL GRILLES - CASING TO BE FIELD APPLIED UNLESS NOTED OTHERWISE. SEE ELEVATIONS FOR GRILLE PATTERNS AND OPENING DIRECTIONS.
3. PROVIDE ALL NECESSARY HARDWARE - SATIN NICKEL FINISH, WEATHER STRIPPING, TRIM PIECES, ETC./ PATTERN AND OPENING DIRECTIONS.
4. PROVIDE INSECT SCREENS FOR ALL OPERABLE WINDOWS (UNLESS NOTED OTHERWISE) COLOR TO MATCH WINDOW.
5. REFER TO PLANS AND ELEVATIONS FOR WINDOW LOCATIONS, VERIFY SIZES AND QUANTITIES PRIOR TO ORDERING.
6. APPLY SEALANT AROUND EXTERIOR PERIMETER BEHIND WINDOW TRIM AND SET INTO OPENING.
7. APPLY FOAM BACKER ROD AND SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
8. APPLY LOW EXPANSION SPRAY FOAM AROUND ALL WINDOW JAMSBS, COORDINATE WITH WINDOW SUPPLIER AND PURCHASING.
9. WINDOWS LISTED AS TEMPERED ARE FOR REFERENCE ONLY, COORDINATE WITH WINDOW SUPPLIER AND PURCHASING.
10. ALL WINDOWS TO HAVE JAMB EXTENDERS AS NECESSARY FOR 4'-9 1/2" & 6'-9 1/2" JAMSBS, COORDINATE REQUIRED DEPTHS WITH PLAN.
11. FIELD VERIFY WINDOW HEIGHTS AND CLEARANCES PRIOR TO PURCHASING.
12. WINDOWS TO HAVE ADHESIVE FLASHING & SILL PANS INSTALL PER MHR'S RECOMMENDATIONS
13. ALL EXISTING WINDOWS 'E' TO BE REPAIRED AND MEASURED FOR NEW STORM WINDOWS: PRO-VIA, TOWN AND COUNTRY TRIPLE STACK W/ (2) GLASS PANELS AND (1) SCREEN PANEL

| | | | |
|--|--|--|--------------------------------------|
| MANISON ASSOCIATES ARCHITECTS, P.C. | Autelick | 7714 Takoma Park, MD 20912 | Window Schedule |
| 1301-229-7000 F:301-229-7171 www.mndassociates.com | 1301-229-7000 F:301-229-7171 www.mndassociates.com | 1301-229-7000 F:301-229-7171 www.mndassociates.com | COPYRIGHT © 2018 ALL RIGHTS RESERVED |

A22

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| SKYLIGHT SCHEDULE | | | |
|-------------------|---------|--------------------------------|-------|
| Mark | Model # | Rough Opening / Finished Frame | Notes |
| SKU | CO1 | Width Height | |
| | | | |

SKYLIGHT GENERAL NOTES:

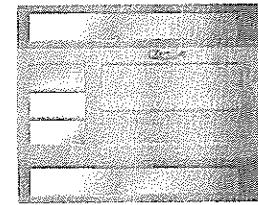
1. SKYLIGHTS SPECIFIED ARE BY VELUX.
2. DECK MOUNTED INSTALLATION.
3. TYPE EDI FLASHING.
4. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

DOOR SCHEDULE

| Story | Mark | Model # | Unit Size | | R.O. Size | Left Sidelight Width | Right Sidelight Width | Notes |
|----------------|------|------------|-----------|-----------|------------------|----------------------|-----------------------|---|
| | | | Width | Height | | | | |
| Basement Floor | | | 6' | 3'-0" | 6'-8" | 3'-2"x6'-9" | | |
| First Floor | | | | | | | | |
| | 101 | 6363 / 675 | 3'-0" | 6'-8" | 5'-6"x6'-10 1/2" | 1'-0" | 1'-0" | SIMPSON 6803 CRAFTSMAN TWO PANEL THREE LITE, WITH 6170 CRAFTSMAN SIDELIGHTS |
| | 102 | | 3'-0" | 6'-8" | 3'-2"x6'-9" | | | |
| | 103 | | 3'-0" | 6'-8" | 3'-2"x6'-9" | | | |
| | 103 | | 4'-0" | 6'-8" | 4'-0"x6'-8" | | | |
| | 104 | 7280 | 5'-7 1/2" | 6'-3 3/4" | 6'-0"x6'-8" | | | FIXED VENT (OX) |
| | 106 | | 3'-6" | 6'-8" | 3'-8"x6'-9" | | | |
| | 108 | 3680 | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | HINGED LEFT, IN-SWING |
| | 108 | 3680 | 3'-0" | 6'-7 3/4" | 3'-0 3/4"x6'-8" | | | HINGED LEFT, IN-SWING |
| | 109 | | 2'-4" | 6'-8" | 2'-6"x6'-9" | | | |
| Second Floor | | | | | | | | |
| | 200 | | 2'-4" | 6'-8" | 2'-6"x6'-9" | | | |
| | 201 | | 2'-8" | 6'-7 1/2" | 2'-10"x6'-8 1/2" | | | |
| | 202 | | 5'-0" | 6'-8" | 5'-2"x6'-9" | | | |
| | 203 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |
| | 205 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |
| | 206 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |
| | 207 | | 2'-8" | 6'-8" | 2'-8"x6'-9" | | | |

DOOR GENERAL NOTES:

- CHECK DRAWINGS FOR SWING DIRECTIONS AND LOCATIONS.
- PROVIDE ALL NECESSARY HARDWARE, WEATHER STRIPPING, TRIM PIECES, ETC.
- EXTERIOR DOORS ARE PELLA, AUBURN BROWN, ARCHITECT SERIES, ALUMINUM CLAD WOOD HINGED PATIO DOORS, INSWING SEE ELEVATIONS FOR GRILLE PATTERNS, WITH 3/4" SDI GRILLE.
- HARDWARE SATIN NICKEL, CONFIRM WITH OWNER PRIOR TO ORDERING
- INTERIOR DOORS TO BE JED-WEN, LEMIEUX, REEF OR SIMPSON.
- APPLY SEALANT AROUND EXTERIOR PERIMETER BEHIND DOOR TRIM/ FLANGE AND SET INTO OPENING.
- APPLY FOAM BACKER ROOF & SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
- BEDROOM, BATHROOM AND ENTRY DOORS TO BE SOLID.
- GLASS TO BELOW-E ARGON TEMPERED GLASS.
- ALL DOORS IN WALLS OTHER THAN 2x4 WALLS TO HAVE JAMB EXTENDERS AS NECESSARY.
- RED VERIFY EXISTING DOOR OPENING SIZES AND COORDINATE AS REQUIRED.
- REFLECTABLE SCREENS SHOULD BE SITE MEASURED AND THE SCREENS CUSTOM SIZED FOR EACH DOOR LISTED. MANUFACTURER TO BE LIBERTY SCREENS, PHANTOM SCREENS OR ARCHITECT OWNER APPROVED ALTERNATE. COLOR TO MATCH DOORS.
- EXTERIOR DOORS NOTED TO HAVE REFLECTABLE SCREENS SHOULD BE SITE MEASURED AND THE SCREENS CUSTOM SIZED FOR EACH DOOR LISTED. MANUFACTURER TO BE LIBERTY SCREENS, PHANTOM SCREENS OR ARCHITECT OWNER APPROVED ALTERNATE. COLOR TO MATCH DOORS.



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| | | | | |
|--|---------------|--|--------------------------------------|-----------------|
| MANION ASSOCIATES ARCHITECTS, P.C. | Auluck | 7714 Tokomad Park, Ste. 216, Bethesda, Maryland 20816 | ISSUE DATE: 03-29-18 | DRAWN BY: RL LA |
| 1301 329 2000 F: 301 229 7171 www.manionassociates.com | Door Schedule | 7307 MacArthur Blvd., Ste. 216, Bethesda, Maryland 20816 | COPYRIGHT © 2018 ALL RIGHTS RESERVED | SCHEM 13 |

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1 WIRE RAILING

| | | | |
|------------------------------------|--|--------------------------------------|-----------------|
| SCHENE 13 | ISSUE DATE 03-22-18 | ROLLING DETAILS | A24 |
| MANION ASSOCIATES ARCHITECTS, P.C. | 7714 Tokoma Park, Ste. 216, Bethesda, Maryland 20816 7301 229, 7000 E-301, 229, 7171 www.manionassociates.com | TOKOMA PARK, MD 20812 | DRAWN BY: RL LG |
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33

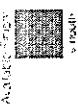
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A25

Boral TruExterior Siding Nickel Gap, 1x10, Smooth

Nickel Gap

The design-build
firm of MacArthur
Architects, Inc., selected
Boral TruExterior Siding
for its exterior cladding.
The siding's smooth
surface provides a
clean, modern look.



| Material | Actual Thickness (A) | Actual Width (B) | Actual Length (C) | Gap (D) | Margin (E) |
|----------|-------------------------|---------------------|----------------------|---------|------------|
| 1 x 4 | 0.6975" | 3.57" | 3.153" | 0.08" | 0.241" |
| 1 x 6 | 0.6975" | 5.55" | 5.153" | 0.08" | 0.241" |
| 1 x 8 | 0.6975" | 7.25" | 6.839" | 0.08" | 0.241" |
| 1 x 10 | 0.6975" | 9.25" | 8.839" | 0.06" | 0.341" |

3.

| | | | |
|--------------------------------------|---|--|--------------------------------------|
| ISSUE DATE 03-22-18 | AULUCK | 7714 Tokoma Park, MD 20912 | Metric/Specifications |
| DRAWN BY: RL LG | 7307 MacArthur Blvd, Ste. 216, Bethesda, Maryland 20816 | 1301-229-7171 www.menloandassociates.com | COPYRIGHT © 2018 ALL RIGHTS RESERVED |
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Preliminary Consultation
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7714 Takoma Ave., Takoma Park **Meeting Date:** 3/28/18
Resource: Contributing Resource **Report Date:** 3/21/18
Takoma Park Historic District
Review: Preliminary Consultation **Public Notice:** 3/14/18
Applicant: Marianna Diggs **Staff:** Dan Bruechert
Proposal: Building Addition

STAFF RECOMMENDATION:

Staff recommends that the applicant make any revisions based on the HPC's comments and return for either an additional preliminary consultation or a HAWP.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: 1924

The subject property is a two-story, brick, asphalt-shingled, front gable house, with a full-width front porch with brick piers. The house has three-over-one windows throughout. The house is at the southwest corner of the intersection of Philadelphia Ave. and Takoma Ave. This placement creates two highly visible facades. The façade along Philadelphia Ave. is three bays deep and has a small, wood shed roof addition. The exterior stairs that provide access to the second story are visible from Philadelphia Ave.

BACKGROUND

The applicant submitted plans for review as a preliminary consultation at the February 7, 2018 (rescheduled to February 13, 2018) meeting of the Historic Preservation Commission. The submitted plans have been revised based on the feedback presented at that meeting.

PROPOSAL

The applicant proposes to construct a one-story, one room addition off of the southwest of the historic house, accessed by a newly created hallway, and construct a deck in front of the proposed addition. The applicant additionally proposes to replace the non-historic bottom sash of all of the historic windows. The applicant proposes to expand the small one-story addition in the rear of the house by adding a second story in matching cladding. Lastly, the applicant proposes removing the non-historic ADA ramp and non-historic rear stairs.

(34)  

APPLICABLE GUIDELINES:

When reviewing alterations and additions for new construction within the Takoma Park Historic District, decisions are guided by the *Takoma Park Historic District Design Guidelines* (Design Guidelines) and *Montgomery County Code Chapter 24A* (Chapter 24A).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8(b)

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

STAFF DISCUSSION

The applicant is proposing to work in three areas of the historic house: a rear corner addition; window replacement; and an expansion of an existing, non-historic rear addition.

Building Rear-Corner Addition

The applicant is proposing to construct a rear gable addition off of the left rear corner of the house that will be accessed by a newly created hallway. The addition will be approximately 17' × 21' (seventeen feet by twenty-one feet) and will have a brick foundation and be clad using Hardi siding with a 10" (ten inch) reveal with a steeply-pitched metal roof. The addition in the rear will project 4'2" (four feet, two inches) beyond the wall plane of the historic side gable-L at the front of the house. The creation of the new hallway will require the removal of the historic exterior wall behind the side gable-L addition (see Fig. 1 below).

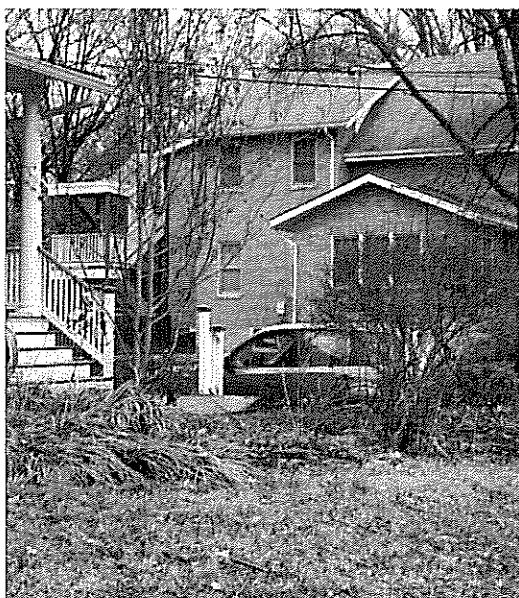


Figure 1: Right side of the house showing the location of the proposed hallway.

The windows in the addition will be large single lite casement windows with sliding single-lite doors in the hallway that will provide access to the new side deck. The side deck will project approximately 8'-10' (eight to ten feet), with a staircase that extends further to the right, and be constructed on brick piers to match the existing with a wire railing and lattice infill.



Figure 2: View from Takoma Ave toward proposed addition

As this is a corner lot, both the Takoma Ave. and the Philadelphia Ave. facades of the historic house are highly visible. Because of this any new construction on this site will be visible from the public right-of-way from one street or the other. The *Design Guidelines* state that major additions (which the *Guidelines* do not define, but Staff finds this qualifies) should be placed to the rear so they are less visible from the right-of-way.

Staff finds that the applicant made several revisions based on the recommendations by the HPC at the February 13th meeting. The location of the addition has been moved further toward the rear, and it projects much less than the previous submission (see attached) that projected more than 14' (fourteen feet) from the side gable-L. The roof form has been simplified, so that the new hallway is covered in a shed roof, with a single rear-facing gable roof over the addition, instead of the more complex side and rear gable proposal previously submitted. One substantial change from the previous submission has to do with the height of the roof on the addition. The proposed roof is much taller than the previous submission. The ridgeline extends to the eave of the rear gable on the historic house (at the level of the attic floor). This is 6' - 8' (six feet to eight feet) taller than the side gable-L roof at the front of house and will be largely visible from the public right-of-way.

The HPC voiced support for moving any building additions to the rear of the house, determining that the side and rear elevations (visible from Philadelphia Ave.) are secondary elevations and can accommodate more change without damaging the historic character of the building. The applicant has relocated the proposed construction, however, it still projects beyond the wall plan.

Overall, Staff finds that the revisions submitted by the applicant are a significant improvement from the previous submission. The Hardi siding ties the addition to the historic house to the

✓ 37

siding in the porch gable and the rear gable of the house. The single-lite casement windows are on a portion of the house that reads as new and will Staff finds are compatible in size but sufficiently differentiated from the historic six-over-one windows. The applicant has proposed a metal roof, but has not provided specifications. Even though metal roofs in the Takoma Park Historic District are rare, Staff finds that a flatter profiled metal roof may be compatible. The applicant must submit additional information with the HAWP application so that the HPC can make that determination.

While the *Guidelines* state that additions should be placed at the rear of the building to minimize their visual impact from the public right-of-way, this building is at the corner and will be visible from the front, side, and rear. In this instance, Staff believes that the addition should be evaluated first for its impact on the streetscape and second for the compatibility of its design.

Staff believes that the addition would be more compatible with the surrounding streetscape if it did not project beyond the wall plane of the side gable-L, however, Staff is more concerned about the impact created by the projection of the proposed deck and stairs beyond the historic wall plane. The deck and stairs project more than 15' (fifteen feet) to the left of the historic wall plane and will introduce a new focal point along the south elevation of the building. Due to the large side lot setback, the deck and stairs will be highly visible from the surrounding district.

Staff is less concerned about the removal of the portion of the wall behind the front side gable-L. While the loss of this historic fabric is not a desirable outcome, the visibility of this element is limited to the view shown in Fig. 1 and its loss will not have a major impact on the surrounding District.

Staff further finds that the steeply pitched roof form is incompatible with the design of the historic house and recommends other roof forms be explored if the HPC determines that the size and placement of the addition are compatible. In examining the plans, Staff believes that a lower sloped shed roof on the proposed addition would sit below the side gable of the front-L and would create less visual impact than the proposed roof.

Staff requests the HPC provide comments and recommendations regarding:

- The removal of the existing exterior wall along the left elevation behind the gable-L;
- The construction of a new hallway;
- The appropriateness of the placement of the new front gable addition;
- The appropriateness of the design of the new front gable addition; and
- The location and details of the proposed deck.

Window Replacement

Upon conducting a window assessment, the applicant has discovered that a previous owner removed and replaced the lower sashes while retaining the upper sashes. The applicant is proposing to repair the historic upper sashes of the windows and replace the non-historic (replacement) lower sashes with new wood sashes. This is a historic preservation best practice and meets the requirements of the *Guidelines*, Chapter 24A, and the *Standards*.

Expanded Rear Addition

In the northwest corner of the house there is a non-historic, one-room addition with a shed roof.

The applicant proposes to add a second story to this addition and clad both of these additions in 10" (ten inch) reveal Hardi siding to match the proposed addition. As these are non-historic features of the house, Staff finds this to be an acceptable treatment.

Front Door Replacement

The applicant proposes to replace the non-historic, half-lite door and sidelights with a Simpson Craftsman three panel, three-lite door with sidelights to match. Staff finds that design and materials of the proposed door are compatible and it is an appropriate replacement.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments and return for either an additional preliminary consultation or submit a HAWP application.

~~39~~ 39



DPB-#8

HISTORIC PRESERVATION COMMISSION
301/563-3400APPLICATION FOR
HISTORIC AREA WORK PERMITContact Email: Permits@manierenandassociates.com Chairperson: Rebecca Leal
Daytime Phone No.: 301.229.7000Tax Account No.: 15-01064041 Daytime Phone No.: 617.447.4008Name of Property Owner: Pavon Avluck Daytime Phone No.: 617.447.4008
Address: 6916 Willow St. NW City: Washington State: DC Zip Code: 20012
Street Number:Contractor: (not selected) Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Thomas Manien Daytime Phone No.: 301.229.7000LOCATION OF BUILDING/PREMISEHouse Number: 7714 Street: Takoma AveTown/City: Takoma Park Nearest Cross Street: Philadelphia AveLot: P13 Block: 69 Subdivision: _____

Liber: _____ Folio: _____ Parc: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE1A. CHECK ALL APPLICABLE

- | | | | | | | | | |
|------------------------------------|--|---|--|----------------------------------|---|---|--|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Remodel | <input type="checkbox"/> AC | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Replace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Remodel | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: | | | | |

1B. Construction cost estimate: \$ 375,0001C. If this is a revision of a previously approved active permit, see Permit #: H/APART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND ADDITIONS2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____PART THREE: COMPLETE ONLY IF FENCE/RETAINING WALL3A. Height: feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent01/15/2018
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

825 26640 ✓ ✓ 6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

We are trying to match the style & proportion of the building. We will be replacing windows. New additions will be compatible but different material than the back.

The addition to the house includes a new family room with two access decks, the renovation of a previous addition (bathroom) on the first floor and a new small addition on the second floor (WIC).

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

In the historic district we are matching the slope & scale of the exg. porch and other volumes of the house. Because the house is seen from multiple angles we decided there are no facades visually compatible with other house in the historic district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed fixtures of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6' or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For All projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ON A MAILING LABEL.

418

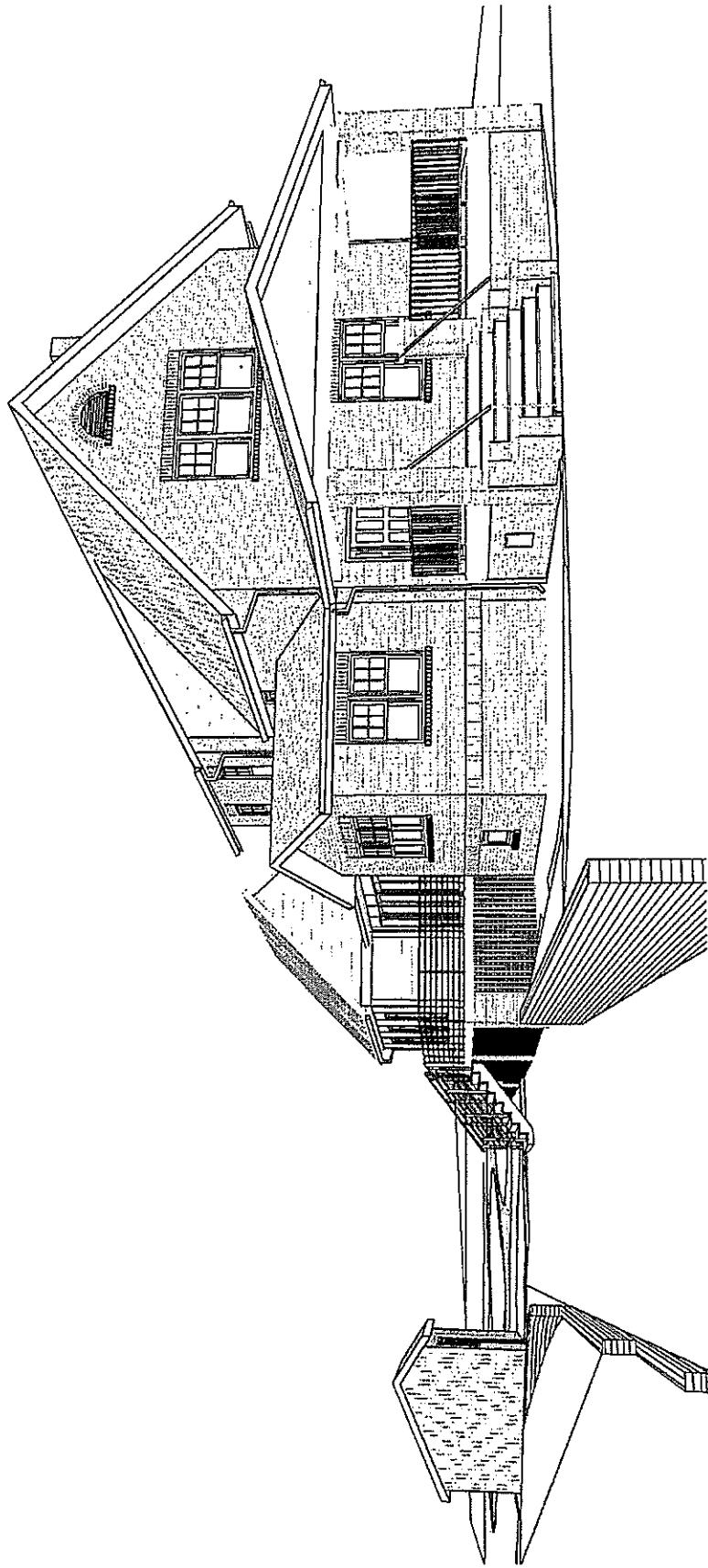
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|--|--|
| Owner's mailing address Pavan Avluk 6916 Willow St. NW Washington, DC 20012 | Owner's Agent's mailing address Thomas Marion, AIA Marion + Associates Architects 7307 MacArthur Blvd |
| Adjacent and confronting Property Owners mailing addresses | |
| Elliott Vanskike & Julie Schmid 7710 Takoma Ave Takoma Park, MD 20912. (left side) | Pamela Lotke & Alexander Cronin 608 Philadelphia Ave Takoma Park, MD 20912 (rear) |
| Susan Schulken 601 Philadelphia Ave Takoma Park, MD 20912 (right side - across st.) | Candida Delvise 7715 Takoma Ave Takoma Park, MD 20912 (across left) |
| Lawrence Hershman & Amy Turim 7713 Takoma Ave Takoma Park, MD 20912 (across right) | Adam Ernst 7801 Takoma Ave Takoma Park, MD 20912 (across intersection) |

42

Auluck

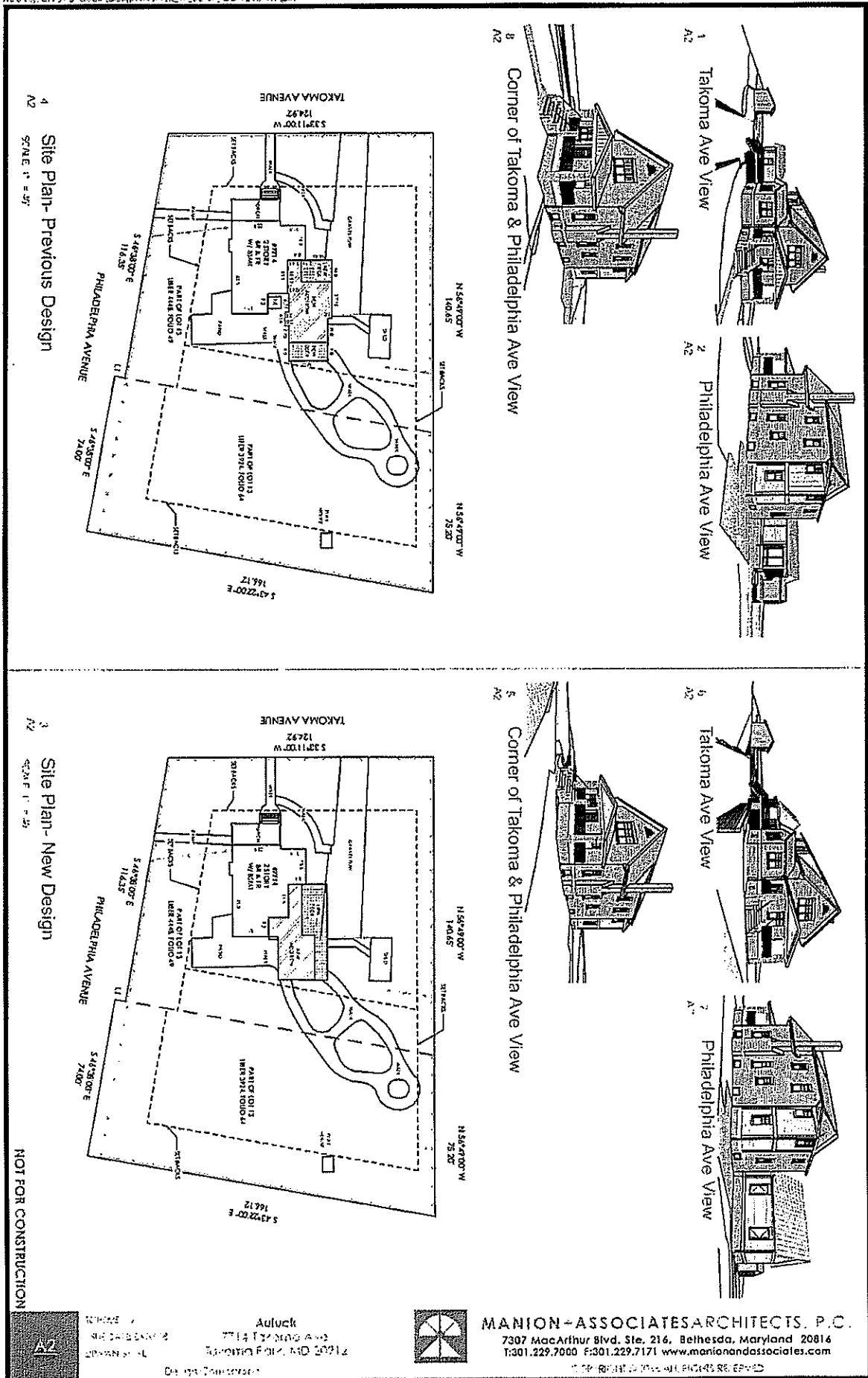
7714 Takoma Ave.
Takoma Park, MD 20912



Takoma Ave View

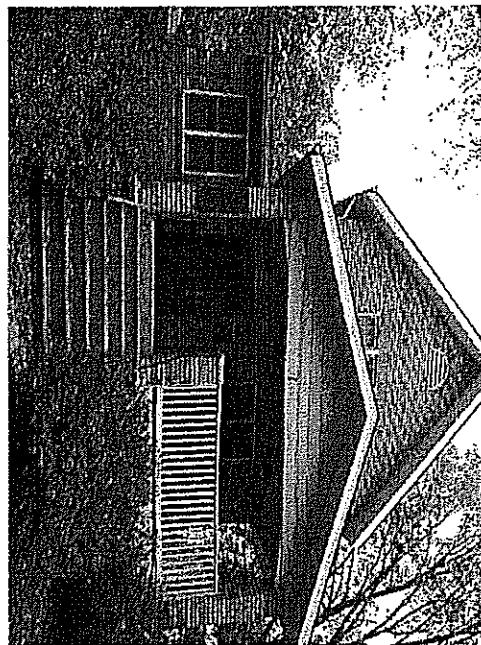
NOT FOR CONSTRUCTION

43





Rear View- Existing



Front View- Existing



Right View- Existing



Left View- Existing

NOT FOR CONSTRUCTION

A6

ADMIRE
REG. DATE 4/25/07
COMPANY # E
7714 TERRACEWOOD DR.
TOWSON MD 21212
1-800-Building

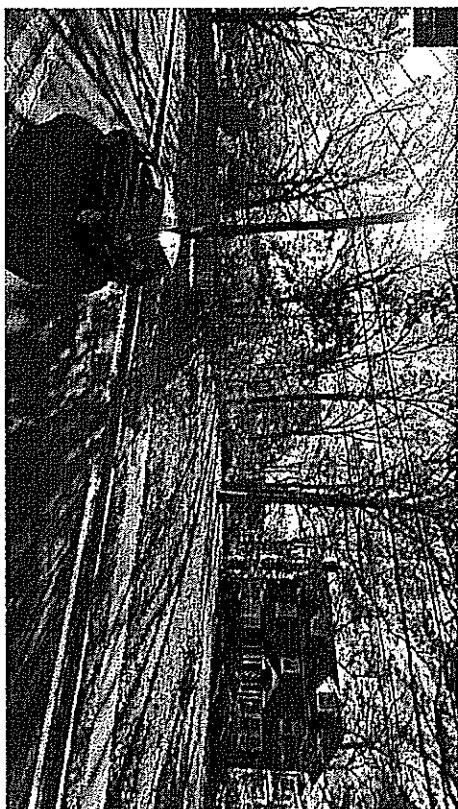


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T:301.229.7000 F:301.229.7171 www.manionandassociates.com
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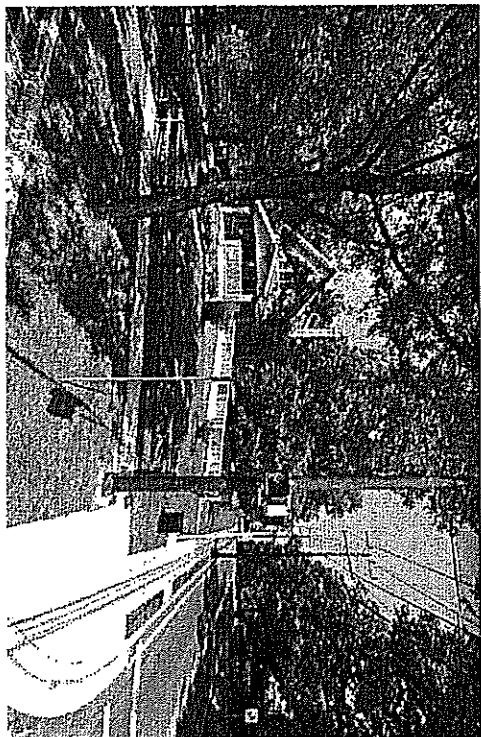
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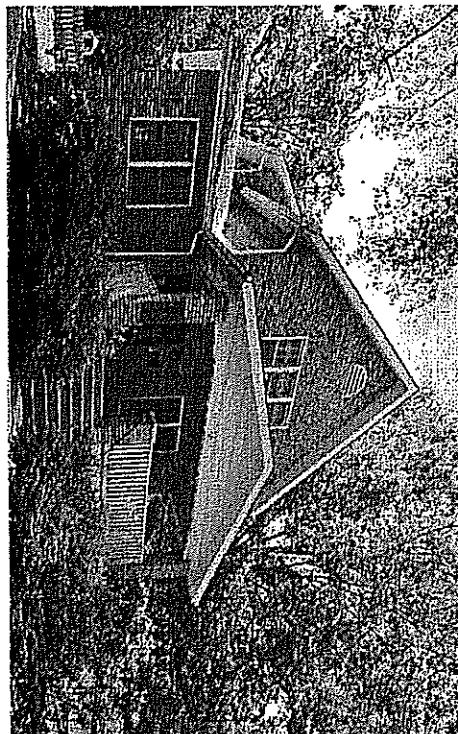
Philadelphia Ave View



Takoma Ave corner with
Philadelphia Ave



Takoma Ave View from
Sidewalk



NOT FOR CONSTRUCTION

A4

REVIEWED
MAY 24 2007 BY
DANIEL P. AL

Adlack
7714 TAKOMA AVE.
TAKOMA PARK, MD 20914

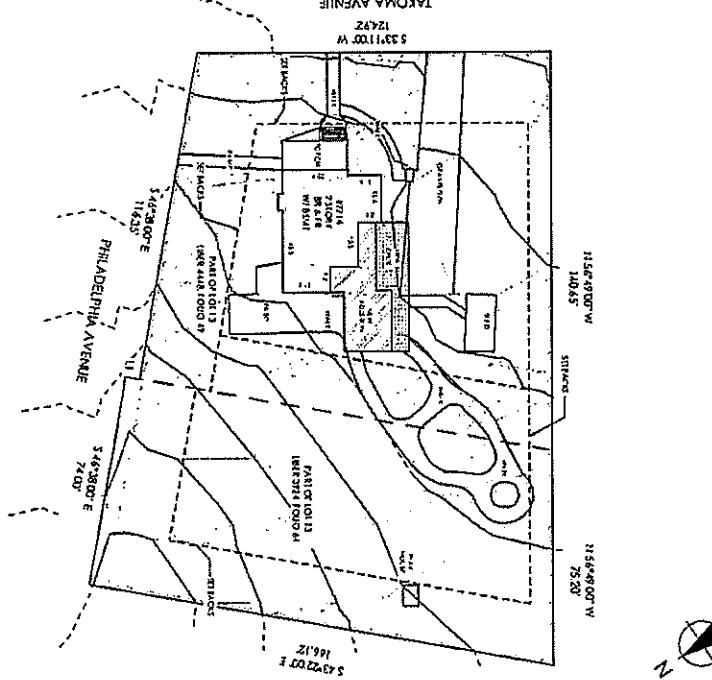


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15
96

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1
Site Plan
ASCE 16-16



DRAWN BY AP FILE # 176562-63
SCALE 1:600 DATE 5-22-17
MONTGOMERY COUNTY MARYLAND
LIBRARY 392A, FOLD 49
GEEB, 4449, FOLD 64
THE BOARD OF TRUSTEES OF
MONTGOMERY COMMUNITY COLLEGE
PART OF LOTS 13 BLOCK 69
LOCATION DRAWINGS OF
#606 & 771A TAKOMA AVENUE



ASCE 16-16
2016 EDITION
DRAFTING STANDARDS

Auluck
7714 Takoma Avenue
Gaithersburg, MD 20878
301.229.7000

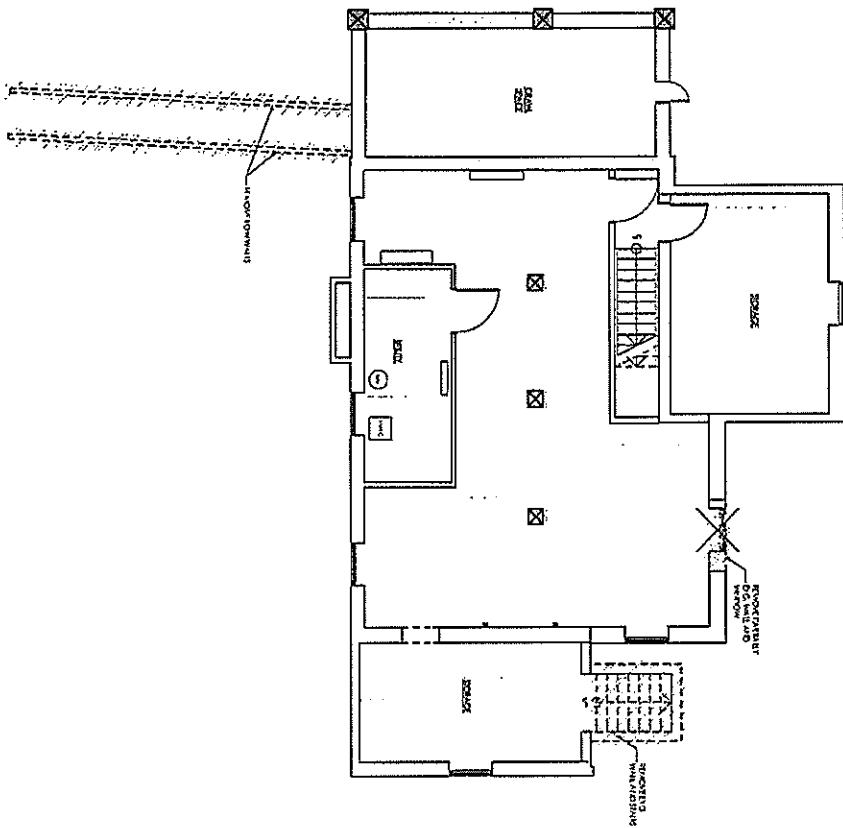


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1.301.229.7171 www.manionandassociates.com

CD-101487-REF-P-01



Basement Floor Demo



EXISTING CONDITIONS:

- EXG. WINDOWS HAVE THE ORIGINAL TOP SASH, SINGLE GLASS, NOT INSULATED. IT HAS BEEN MODIFIED FROM DOUBLE HINGED TO FIXED PANEL. THE BOTTOM SASH IS NOT ORIGINAL, IT HAS BEEN REPLACED BY OPERATIONAL DOUBLE GLASS PANEL, BUT THEY DONT MEET EGRESS IN SOME PLACES.**

EXG. DOORS ARE NOT ORIGINAL. THEY HAVE BEEN REPLACED FOR SWING OUT COMMERCIAL DOORS.

NOTES:

 - EXG. WINDOWS TO BE REPLACED WITH NEW WINDOWS WITH SAME DIMENSION;
 - EXG. DOORS TO BE REPLACED WITH RESIDENTIAL UNITS.
 - EXG. METAL STAIR AT THE REAR WILL BE REMOVED.
 - EXG. RAMP WILL BE REMOVED.

NOT FOR CONSTRUCTION

A
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BRUNSWICK
SACRAMENTO
CHICAGO

Auluck
7714 Beringer Rd.
Springfield, MO 65804

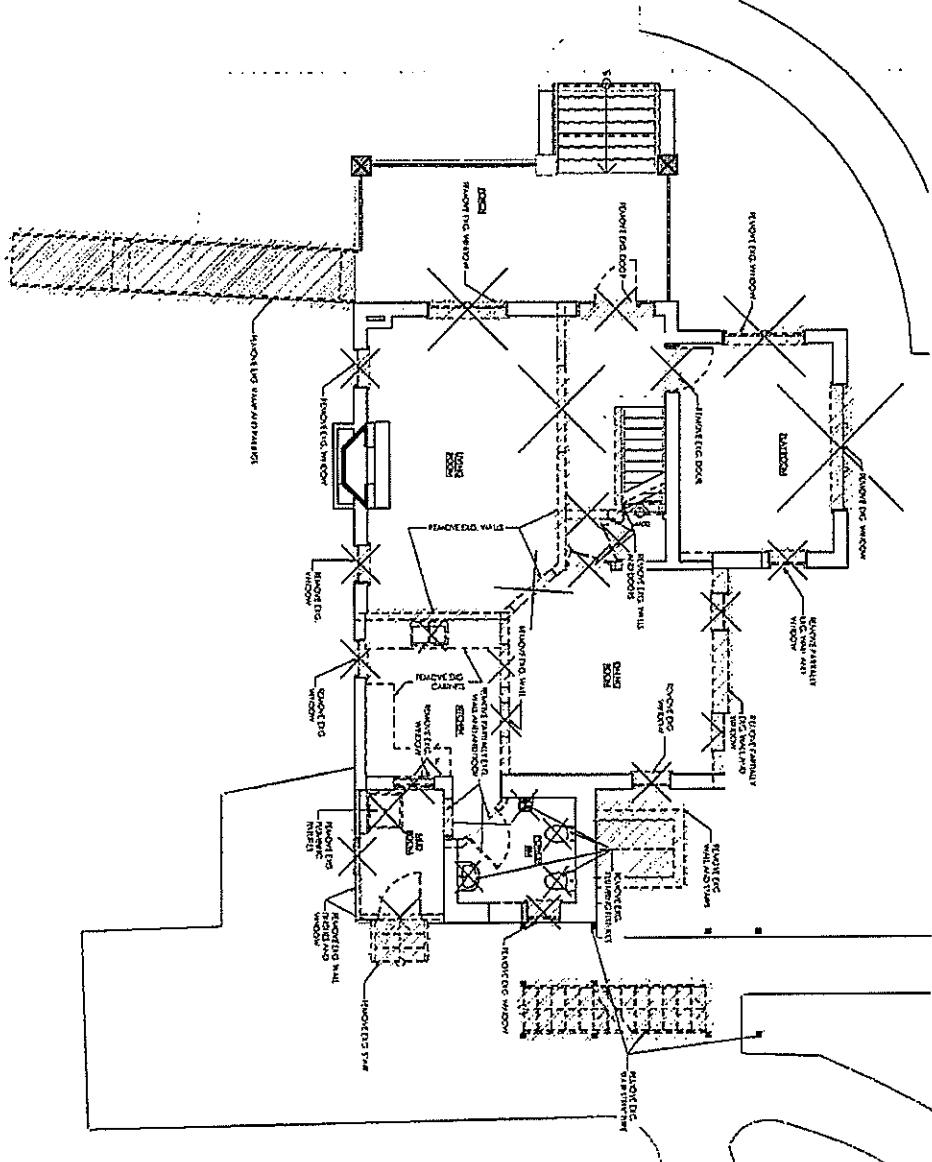


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1-800-229-7000 F:301-229-7171 www.manionandassociates.com

1-800-843-3333 • www.earthlink.net • www.earthlink.com

First Floor Demo

First Floor Demco



EXISTING CONDITIONS:

E.G. WINDOWS HAVE THE ORIGINAL TOP SASH, SINGLE GLASS, NOT INSULATED. IT HAS BEEN MODIFIED FROM DOUBLE HUNG TO FIXED PANEL. THE BOTTOM SASH IS NOT ORIGINAL. IT HAS BEEN REPLACED BY OPERATIONAL DOUBLE GLASS PANEL, BUT THEY DON'T MEET EGRESS IN SOME PLACES.

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- EXG. WINDOWS TO BE REPLACED WITH NEW WINDOWS WITH SAME DIMENSION.
- EXG. DOORS TO BE REPLACED WITH RESIDENTIAL UNITS.
- EXG. METAL STAIR AT THE REAR WILL BE REMOVED.
- EXG. RAMP WILL BE REMOVED.



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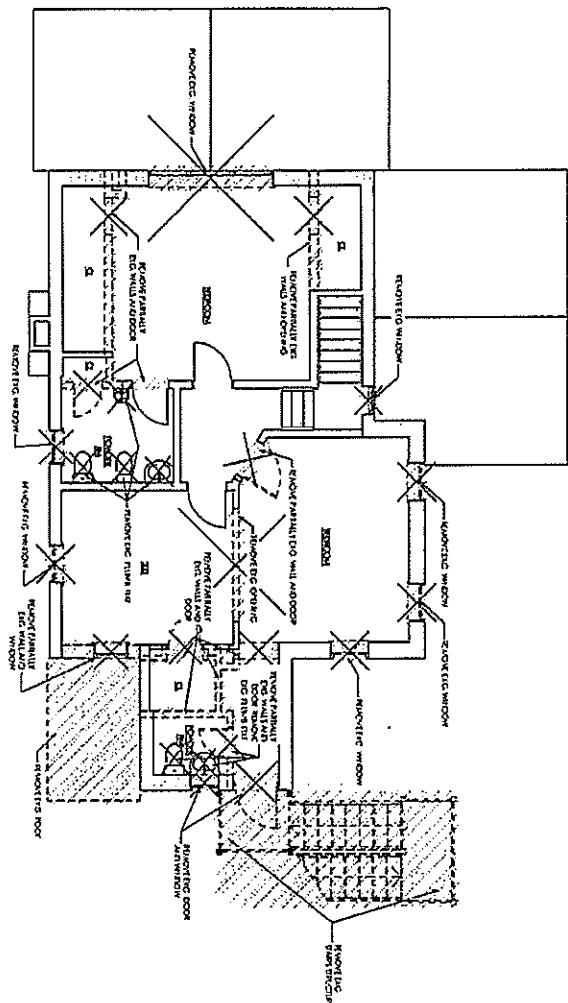
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A

100-1000
1000-10000
10000-100000

Autuck
7714 Fox Ridge Rd.
Springfield, MO 65112

Second Floor Demo



EXISTING CONDITIONS.

- EXG. WINDOWS HAVE THE ORIGINAL TOP SASH, SINGLE GLASS, NOT INSULATED. IT HAS BEEN MODIFIED FROM DOUBLE HUNG TO FIXED PANEL. THE BOTTOM SASH IS NOT ORIGINAL. IT HAS BEEN REPLACED BY OPERATIONAL DOUBLE GLASS PANEL, BUT THEY DONT MEET EGGS IN SOME PLACES.
 - EXG. DOORS ARE NOT ORIGINAL. THEY HAVE BEEN REPLACED FOR SWING OUT COMMERCIAL DOORS.
 - NOTES:**
 - EXG. WINDOWS TO BE REPLACED WITH NEW WINDOWS WITH SAME DIMENSION.
 - EXG. DOORS TO BE REPLACED WITH RESIDENTIAL UNITS.
 - EXG. METAL STAIR AT THE REAR WILL BE REMOVED.
 - EXG. RAMP WILL BE REMOVED.



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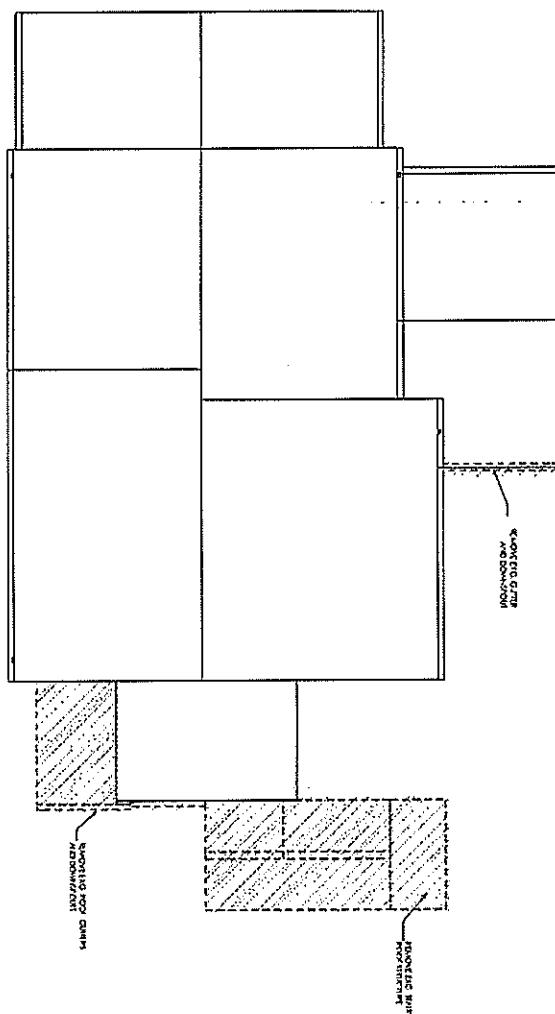
A8

新嘉坡
1983年1月2日

Aufdruck
27.12.2020 09:49
Bremen/Fink, 640-20712

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1
AB
Roof Demo
Scale: 1/4" = 1'-0"



EXISTING CONDITIONS:

-EXG. WINDOWS HAVE THE ORIGINAL TOP SASH, SINGLE GLASS, NOT INSULATED. IT HAS BEEN MODIFIED FROM DOUBLE HUNG TO FIXED PANEL. THE BOTTOM SASH IS NOT ORIGINAL. IT HAS BEEN REPLACED BY OPERATIONAL DOUBLE GLASS PANEL BUT THEY DONT MEET EGRESS IN SOME PLACES.

-EXG. DOORS ARE NOT ORIGINAL. THEY HAVE BEEN REPLACED FOR SWING OUT COMMERCIAL DOORS.

NOTES:

-EXG. WINDOWS TO BE REPLACED WITH NEW WINDOWS WITH SAME DIMENSION.

-EXG. DOORS TO BE REPLACED WITH RESIDENTIAL UNITS.

-EXG. METAL STAIR AT THE REAR WILL BE REMOVED.

-EXG. RAMP WILL BE REMOVED.

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A9

WILHELM &
WEISZER INC.
GENERAL CONTRACTORS

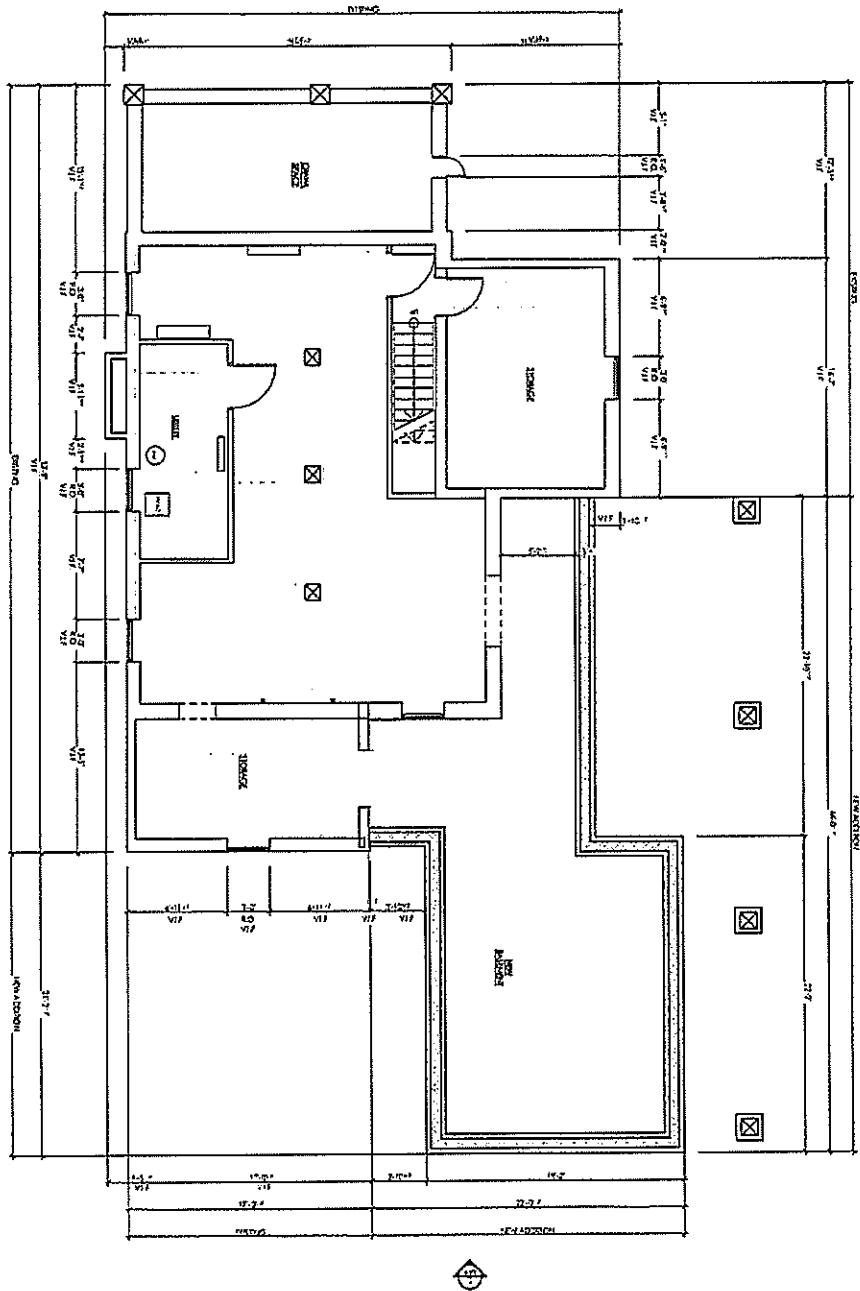
Auflick
114 Tuxedo Ave.
Toronto, Ontario M6A 2L2
Tel: 416-481-1111



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7307 MacArthur Blvd., Ste. 216, Bethesda, Maryland 20816
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A10
1
Basement Floor
SCALE 1/2" = 1'-0"



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A10

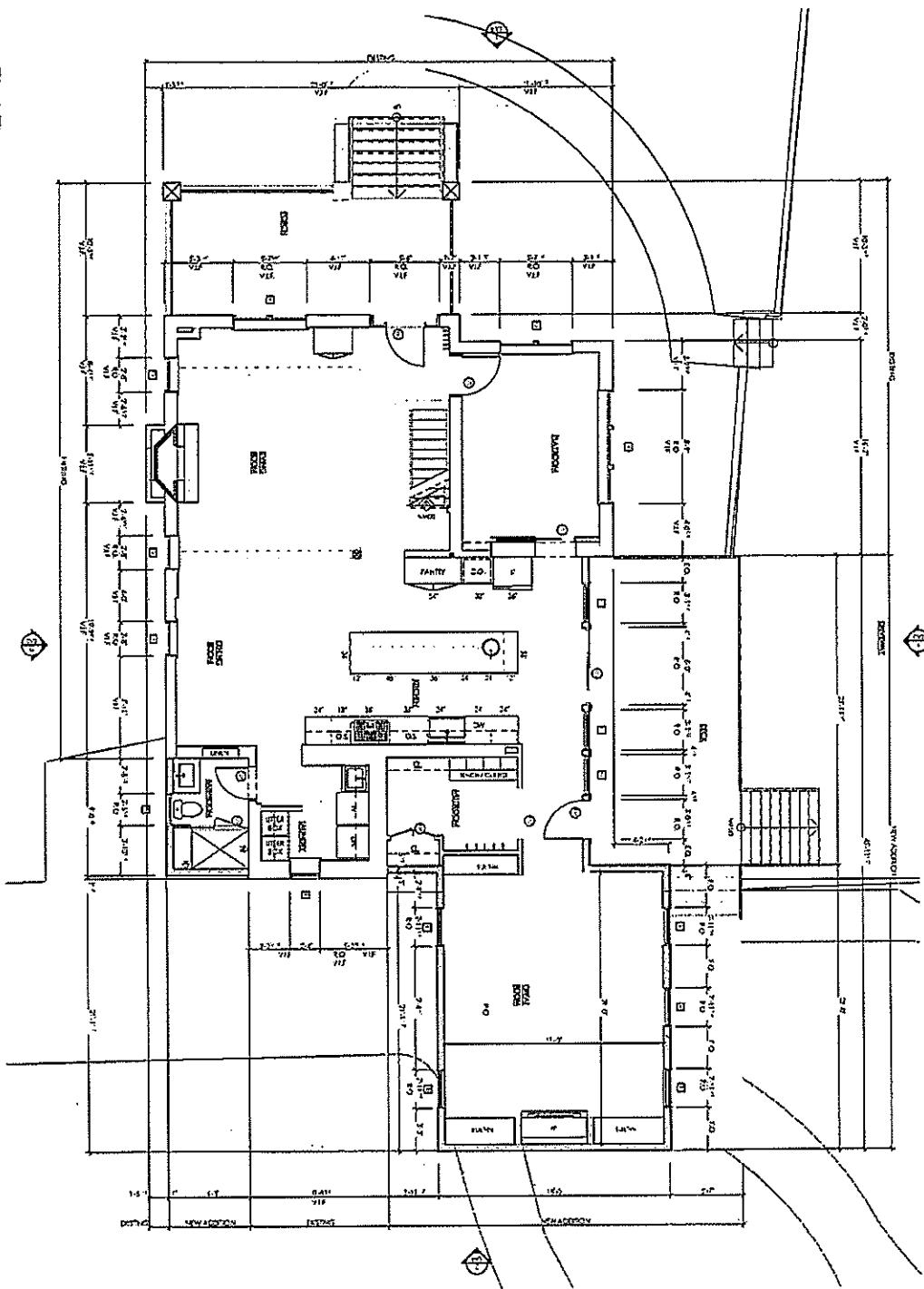
REEDS &
400-747-4748
CARYNSHIRE

Auluck
7714 FAIRFIELD RD.
TOWSON PARK, MD 21212



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1
All
SCALE 1/8" = 1'-0"



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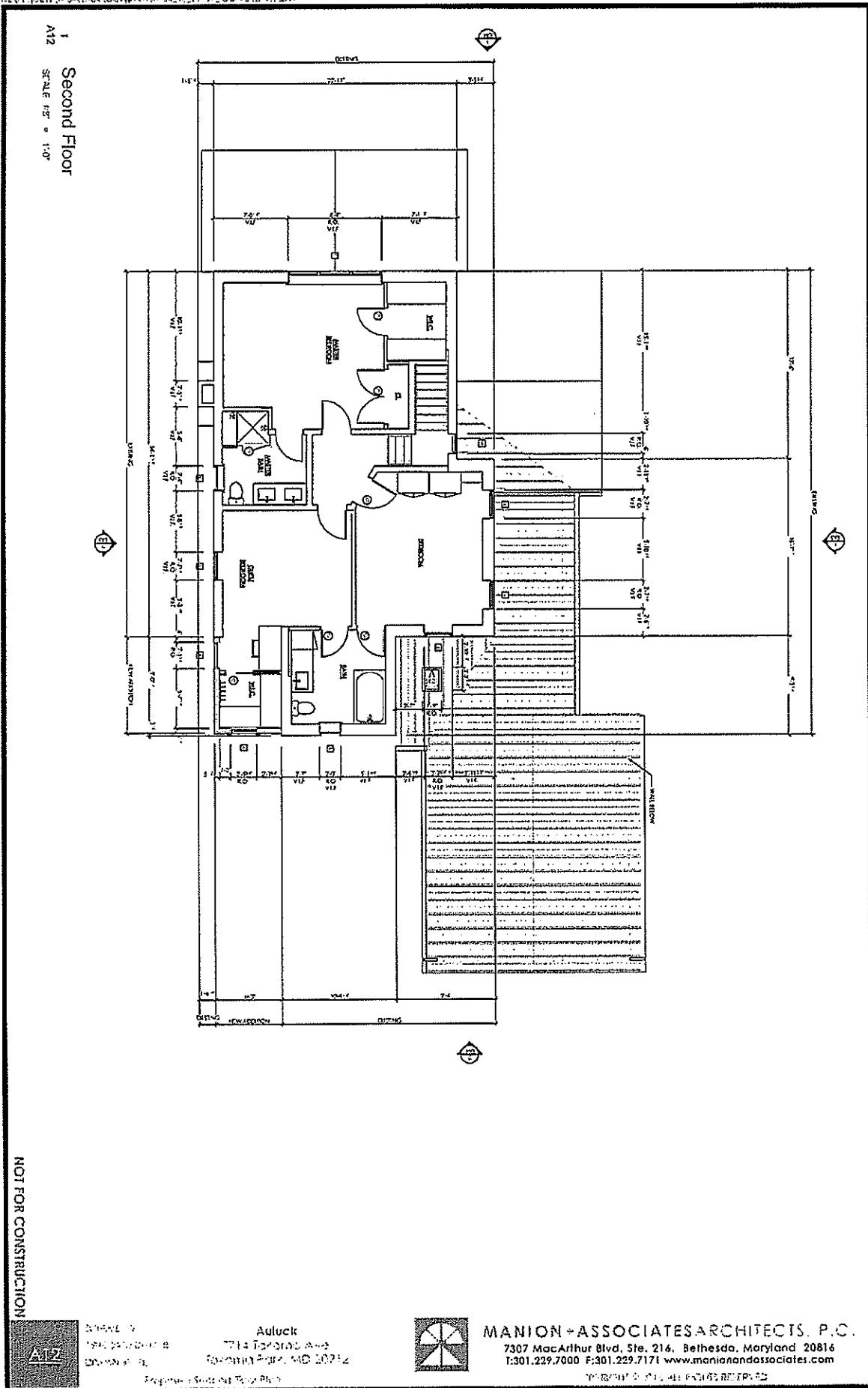


Architect: **Auluck**
111 Wisconsin Ave.
Washington, DC 20016
Phone: 202.342.1212
Fax: 202.342.1212



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53



ADLUCK
7314 TERRACEWOOD DR.
GLENDALE, MD 20812
301.229.7000 F:301.229.7171
E:ADLUCK@MANIONANDASSOCIATES.COM

ADLUCK STUDIO PHOTOGRAPHY

ADLUCK

7314 TERRACEWOOD DR.
GLENDALE, MD 20812



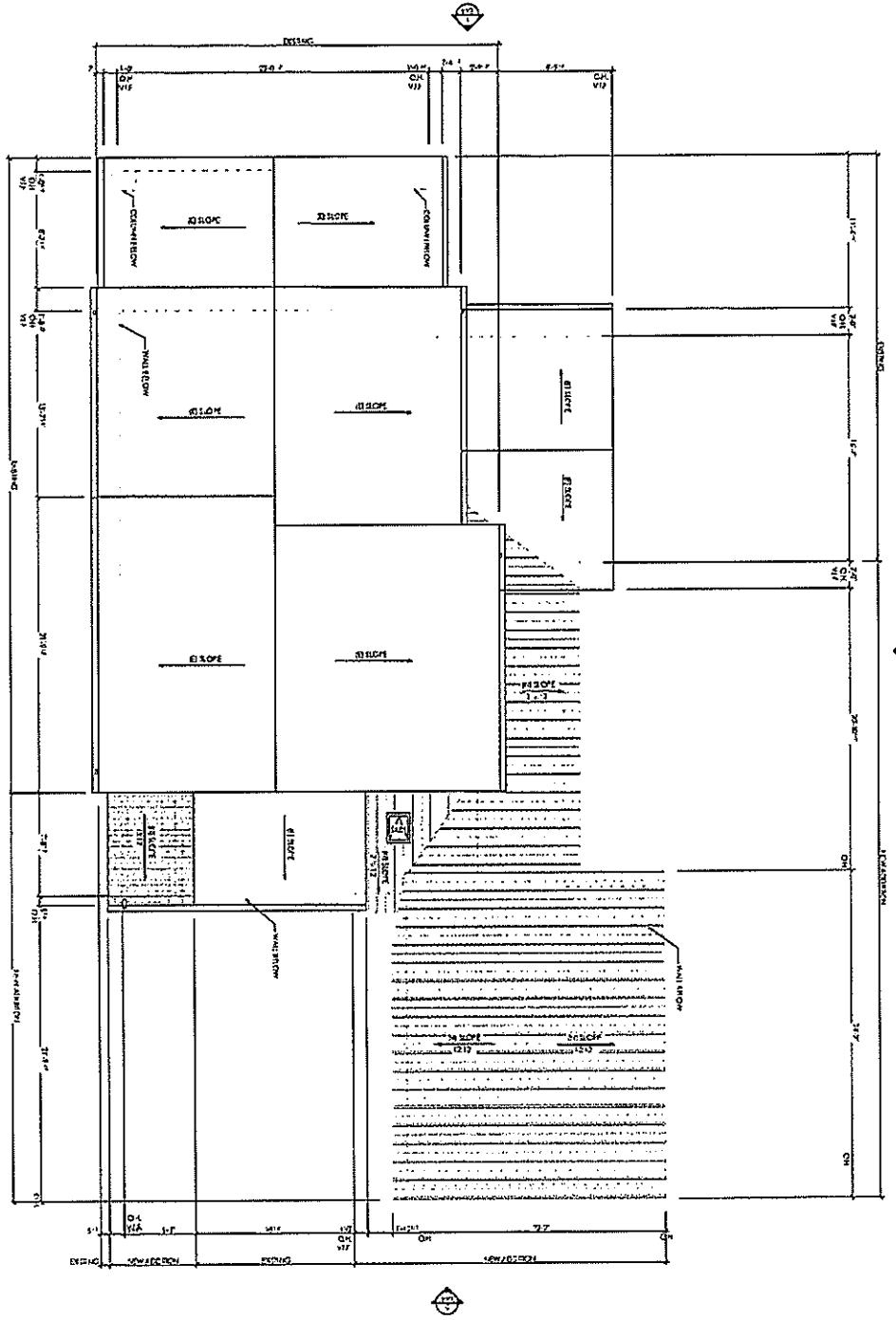
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Root

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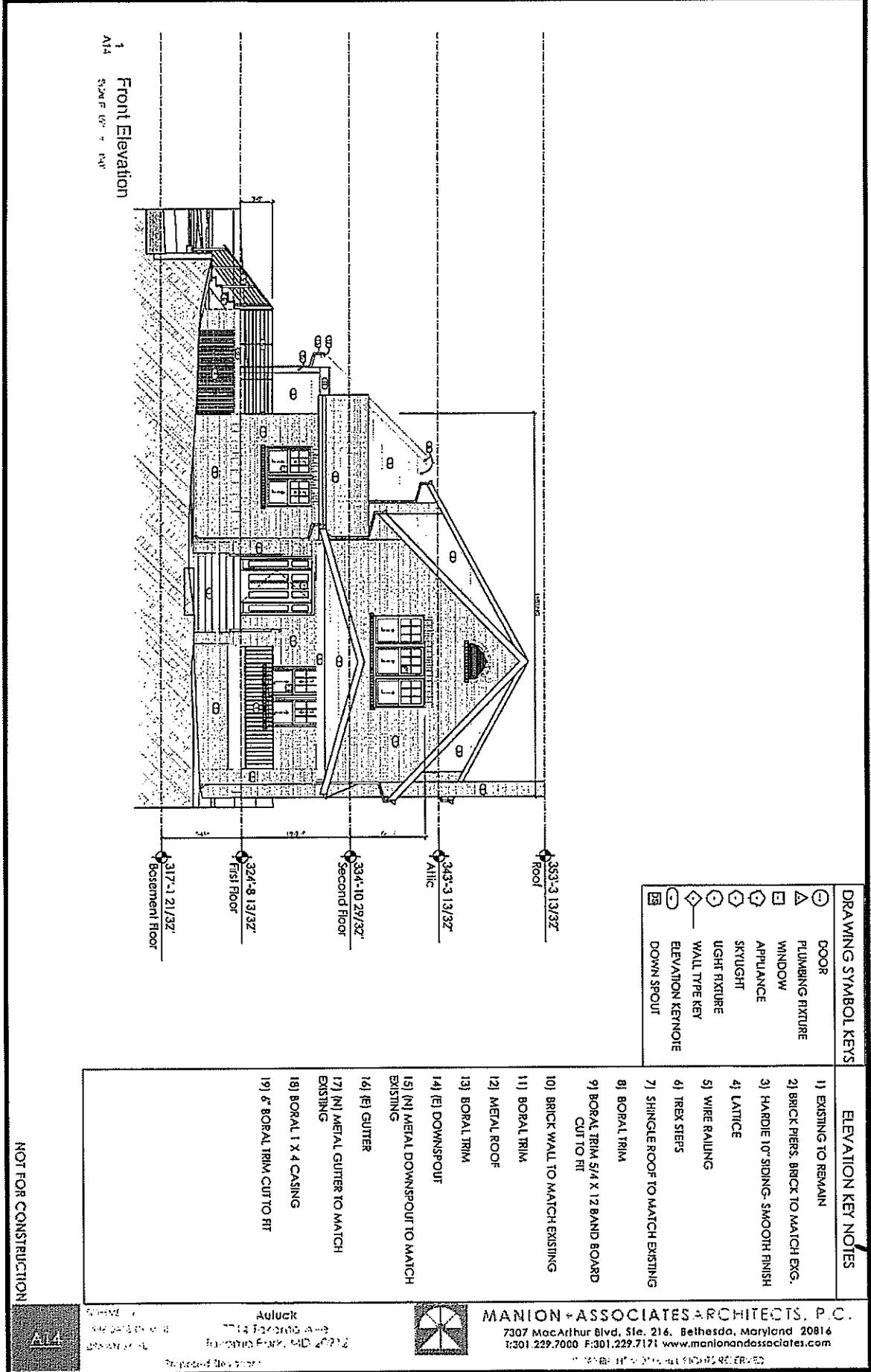
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98-247425-0-3
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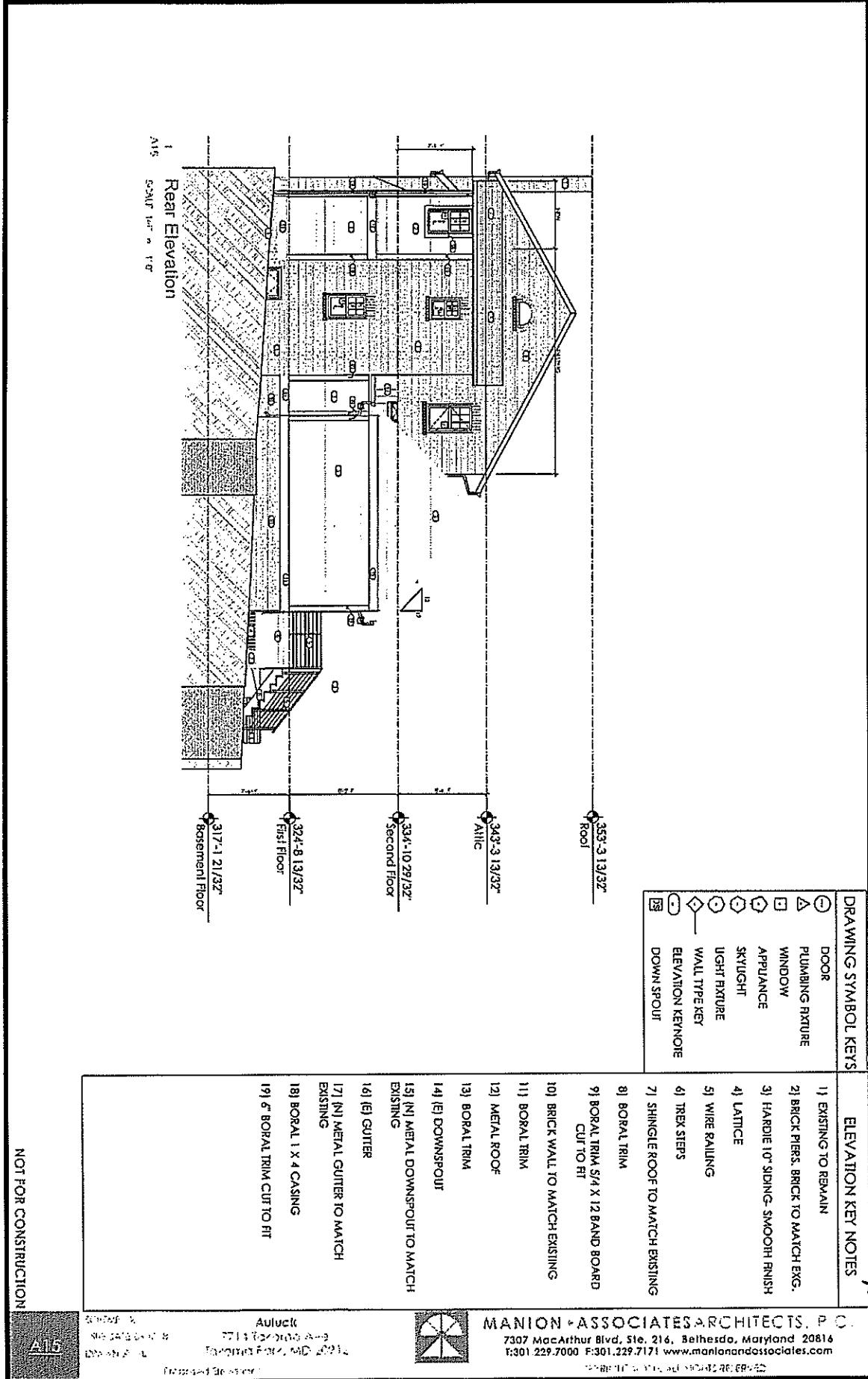
Auluck
7714 Tropicana Blvd.
Las Vegas, NV 89118

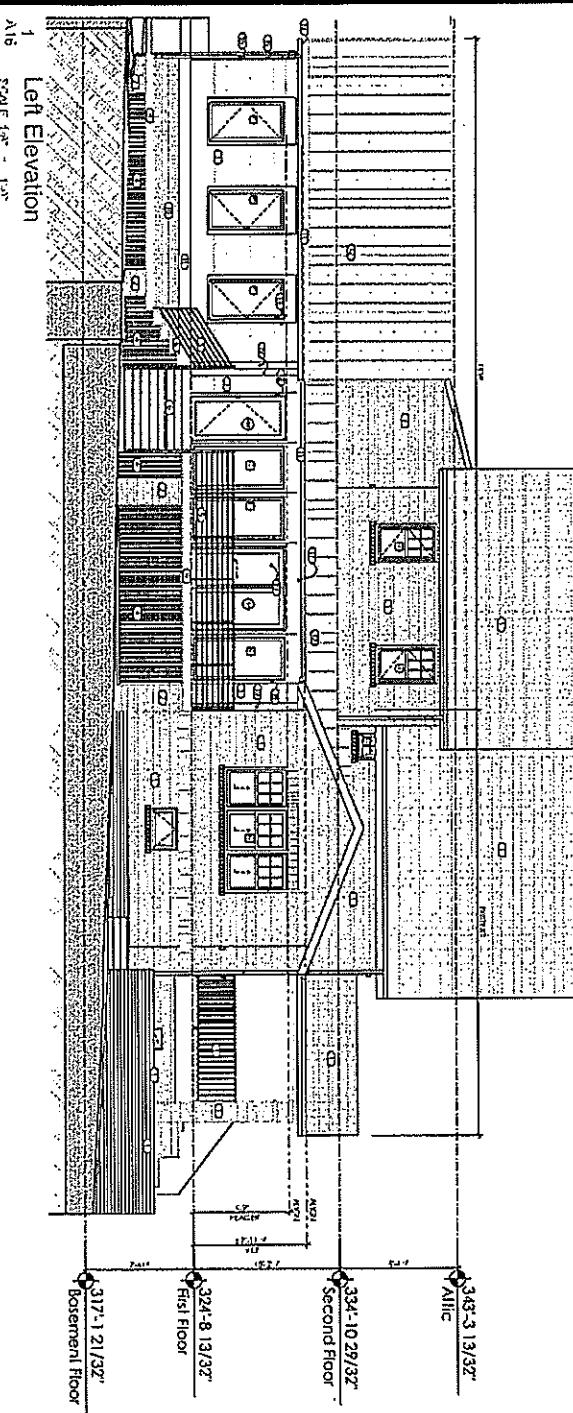


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| DRAWING SYMBOL KEYS | ELEVATION KEY NOTES |
|---|---------------------|
| (○) | DOOR |
| △ | PLUMBING FIXTURE |
| □ | WINDOW |
| ◊ | APPLIANCE |
| ◇ | SKYLIGHT |
| ○ | LIGHT FIXTURE |
| ○ → | WALL TYPE KEY |
| ○ ↓ | ELEVATION KEYNOTE |
| ○ ↘ | DOWN SPOUT |
| 1) EXISTING TO REMAIN | |
| 2) BRICK PIERS, BRICK TO MATCH EXG. | |
| 3) HARDE TO SIDING, SMOOTH FINISH | |
| 4) LATTICE | |
| 5) WIRE RAILING | |
| 6) TREX STEPS | |
| 7) SHINGLE & ROOF TO MATCH EXISTING | |
| 8) BORAL TRIM | |
| 9) BORAL TRIM 5/4 X 12 BAND BOARD CUT TO FIT | |
| 10) BRICK WALL TO MATCH EXISTING | |
| 11) BORAL TRIM | |
| 12) METAL ROOF | |
| 13) BORAL TRIM | |
| 14) (E) DOWNSPOUT | |
| 15) (N) METAL DOWNSPOUT TO MATCH EXISTING | |
| 16) (E) GUTTER | |
| 17) (N) METAL GUTTER TO MATCH EXISTING | |
| 18) BORAL 1 X 4 CASING | |
| 19) 6' BORAL TRIM CUT TO FIT | |

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A16

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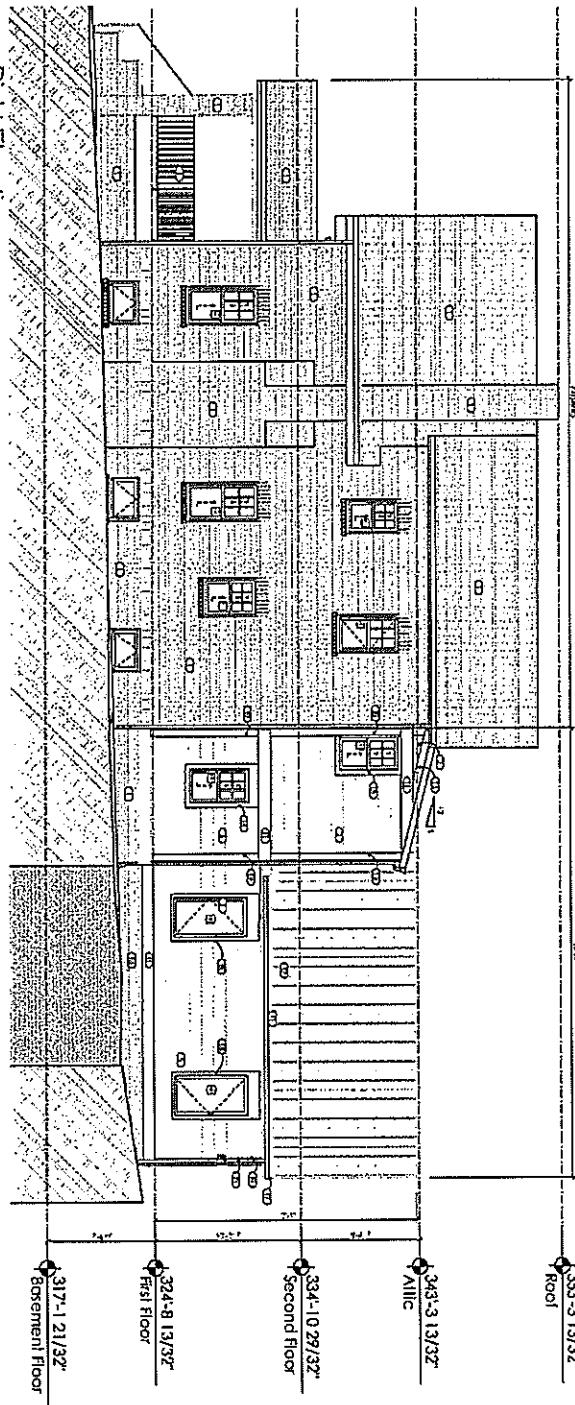
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A17
Right Elevation
Scale 1/8" = 1'



| DRAWING SYMBOL KEYS | ELEVATION KEY NOTES |
|-----------------------|-------------------------------------|
| (○) DOOR | 1) EXISTING TO REMAIN |
| (△) PLUMBING RUSTURE | 2) BRICK PIERS, BRICK TO MATCH EXG. |
| (□) WINDOW | 3) HARDE TO SIDING-SMOOTH FINISH |
| (◊) APPLIANCE | 4) LATTICE |
| (◎) SKYLIGHT | 5) WIRE RAILING |
| (○) LIGHT FIXTURE | 6) TREK STEPS |
| (○) WALL TYPE KEY | 7) SHINGLE ROOF TO MATCH EXISTING |
| (○) ELEVATION KEYNOTE | 8) BORAL TRIM |
| (□) DOWN SPOUT | |

9) BORAL TRIM 5in x 12 BAND BOARD
CUT TO 5ft

10) BRICK WALL TO MATCH EXISTING

11) BORAL TRIM

12) METAL ROOF

13) BORAL TRIM

14) (E) DOWNSPOUT

15) (N) METAL DOWNSPOUT TO MATCH
EXISTING

16) (E) GUTTER

17) (N) METAL GUTTER TO MATCH
EXISTING

18) BORAL 1 x 4 CASING

19) C BORAL TRIM CUT TO RT

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301.229.7000 F.301.229.7171 www.manionandassociates.com

NOT FOR CONSTRUCTION

A17

Architect
Audubon
7307 MacArthur Blvd, Ste. 214
Bethesda, MD 20816
301.229.7000 F.301.229.7171
www.manionandassociates.com



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5

A18

Philadelphia Ave View

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A18

07/07/16
ISSUE DATE 03/07/16
DRAWN BY: RL

Avlucky
7714 Takoma Ave.
Takoma Park, MD 20912

Views



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CO

1
Neighbors View
A19

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A19

SCHEM: 12
ISSUE DATE 03/07/16
DRAWN BY: RL

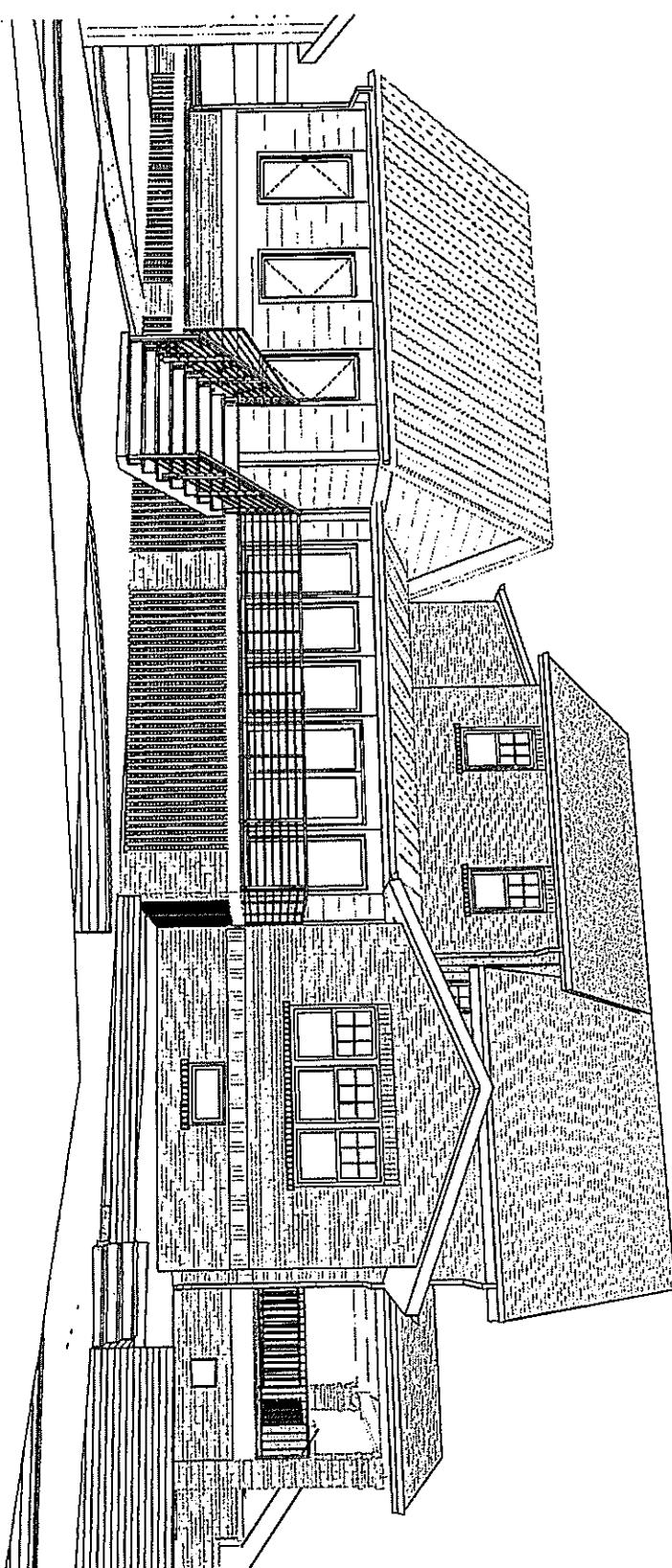
Auluck
7714 Takoma Ave.
Takoma Park, MD 20912
Views



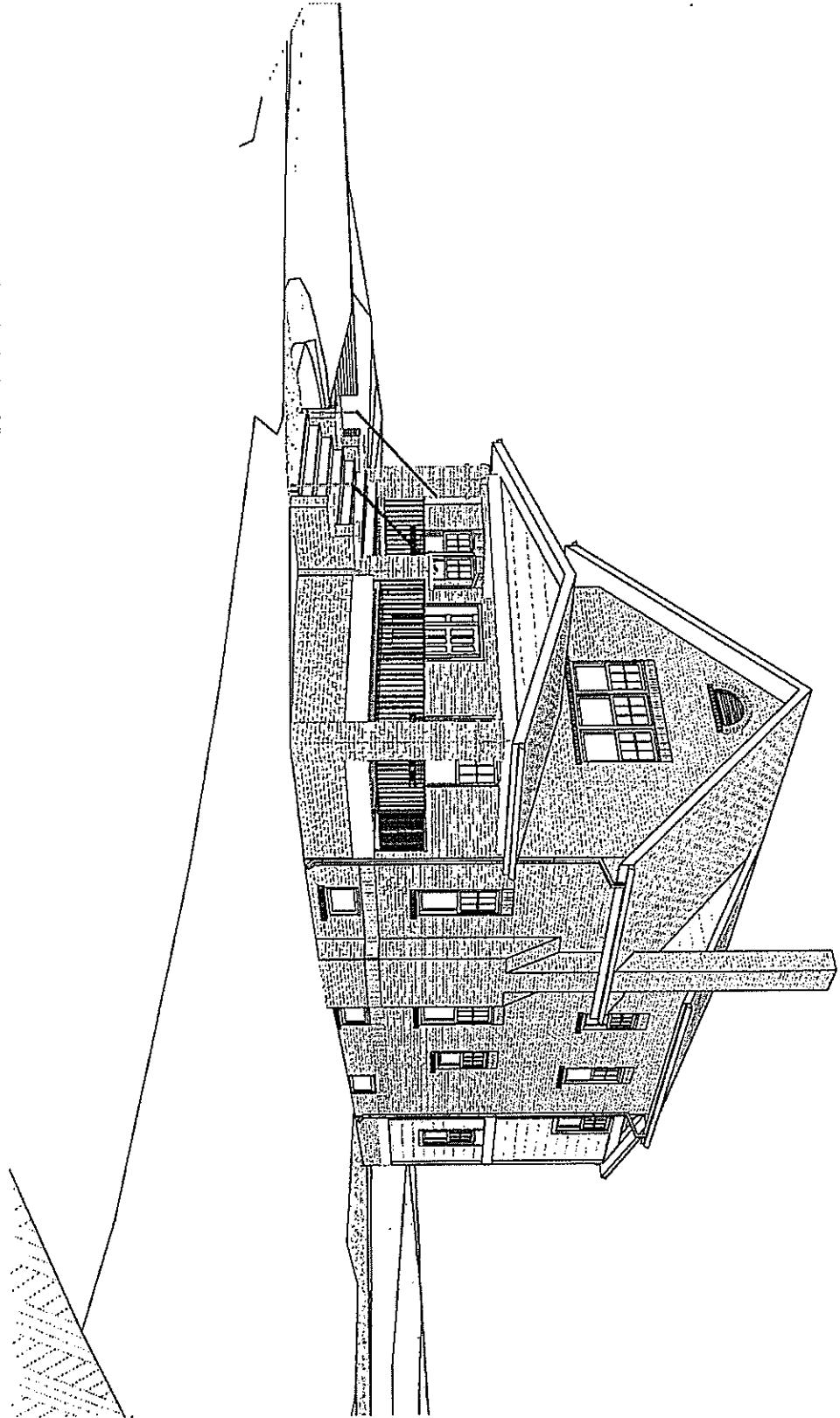
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(1)
8



A20 1 Corner of Takoma & Philadelphia Ave View



(2)
~~1~~

NOT FOR CONSTRUCTION

A20

SCHEM: 12
 ISSUE DATE 03/07/16
 DRAWN BY: RL

Auluck
7714 Takoma Ave.
Takoma Park, MD 20912
Views



MANION + ASSOCIATES ARCHITECTS, P.C.
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WINDOW SCHEDULE

| Story | Mark | Model # | Unit Size Width | Unit Size Height | R.O. Size | Type | Temper | Egress | Notes |
|---------------------|---------------|------------|--------------------|-----------------------|-----------------------|-------------|--------|--------|-----------------|
| First Floor | | | | | | | | | |
| A | 29' 53 | 2'-5" | 4'-5" | 2'-5 3/4"-4'-4 5/34" | 2'-5 3/4"-4'-4 5/34" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| B | 35' 65 | 2'-1" | 5'-2" | 2'-11 3/4"-5'-5 3/4" | 2'-11 3/4"-5'-5 3/4" | CASEMENT | YES | YES | PELA 450 SERIES |
| C | 37' 80 | 3'-0 1/2" | 6'-7 1/2" | 3'-1 1/2"-6'-8" | 3'-1 1/2"-6'-8" | CASEMENT | YES | NO | PELA 450 SERIES |
| D | | 2'-0" | 6'-0 1/2" | 2'-0 3/4"-6'-1 1/2" | 2'-0 3/4"-6'-1 1/2" | CASEMENT | NO | | PELA 450 SERIES |
| D | | 2'-5" | 1'-6" | 2'-5 3/4"-4'-6 3/4" | 2'-5 3/4"-4'-6 3/4" | CASEMENT | NO | | PELA 450 SERIES |
| D | | 2'-5" | 5'-5" | 2'-5 3/4"-5'-5 3/4" | 2'-5 3/4"-5'-5 3/4" | CASEMENT | NO | | PELA 450 SERIES |
| D | | 5'-10" | 1'-6" | 6'-0 1/4"-8'-4 3/4" | 6'-0 1/4"-8'-4 3/4" | CASEMENT | NO | | PELA 450 SERIES |
| D | | 5'-10" | 5'-5" | 6'-0 1/4"-5'-5 3/4" | 6'-0 1/4"-5'-5 3/4" | CASEMENT | NO | | PELA 450 SERIES |
| F | 2-UNIT CUSTOM | 5'-7 1/2" | 5'-1 1/2" | 5'-7 3/4"-5'-1 3/4" | 5'-7 3/4"-5'-1 3/4" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| G | CUSTOM | 2'-8" | 5'-1 1/2" | 2'-8 3/5"-1 1/2" | 2'-8 3/5"-1 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| H | CUSTOM | 2'-8" | 3'-9 1/2" | 2'-8 3/5"-3'-9 1/2" | 2'-8 3/5"-3'-9 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| I | CUSTOM | 2'-4" | 3'-9 1/2" | 2'-4"-3'-9 1/2" | 2'-4"-3'-9 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| N | 3-UNIT CUSTOM | 8'-9" | 4'-5 1/2" | 8'-9 3/4"-5'-1 1/2" | 8'-9 3/4"-5'-1 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| O | 2-UNIT CUSTOM | 5'-7 1/2" | 4'-5 1/2" | 5'-7 1/2"-4'-5 1/2" | 5'-7 1/2"-4'-5 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| Second Floor | | | | | | | | | |
| A | 20' 3 | 2'-5" | 4'-5" | 2'-5 3/4"-4'-5 3/4" | 2'-5 3/4"-4'-5 3/4" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| J | CUSTOM | 2'-7 1/2" | 4'-4 1/2" | 2'-7 3/4"-4'-4 3/4" | 2'-7 3/4"-4'-4 3/4" | CASEMENT | NO | YES | PELA 450 SERIES |
| K | CUSTOM | 2'-4" | 3'-9 1/2" | 2'-4"-3'-9 1/2" | 2'-4"-3'-9 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| L | CUSTOM | 2'-0" | 3'-0" | 2'-0 3/4"-3'-0" | 2'-0 3/4"-3'-0" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| M | CUSTOM | 1'-10 1/2" | 1'-10 1/2" | 1'-10 3/4"-1'-10 1/2" | 1'-10 3/4"-1'-10 1/2" | DOUBLE HUNG | NO | NO | PELA 450 SERIES |
| P | 3-UNIT CUSTOM | 8'-9" | 4'-5 1/2" | 8'-9 3/4"-9 3/4" | 8'-9 3/4"-9 3/4" | DOUBLE HUNG | NO | YES | PELA 450 SERIES |

WINDOW GENERAL NOTES:

- WINDOWS SPECIFIED ARE BY PELLA 450 SERIES.
- WINDOWS ARE ALUMINUM CLAD WOOD FRAME & SASH COLOR AUBURN BROWN LOW-E ARGON GLASS. WITH 3/4" SOL GRILLES. CASING TO BE FIELD APPLIED UNLESS NOTED OTHERWISE. SEE ELEVATIONS FOR GRILLE PATTERNS AND DIRMING DIRECTIONS.
- PROVIDE ALL NECESSARY HARDWARE - SATIN NICKEL FINISH, WEATHER STRIPPING, TRIM PIECES, ETC./
- PROVIDE INSECT SCREENS FOR ALL OPENABLE WINDOWS (UNLESS NOTED OTHERWISE) COLOR TO BE WHITE.
- REFER TO PLANS AND ELEVATIONS FOR WINDOW LOCATIONS, VERIFY SIZES AND QUANTITIES PRIOR TO ORDERING.
- APPLY SEALANT AROUND EXTERIOR PERIMETER BEHIND WINDOW TRIM AND SET INTO OPENING.
- APPLY FOAM BACKER ROD AND SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
- APPLY LOW EXPANSION SPRAY FOAM AROUND ALL WINDOW JAMSBS.
- WINDOWS LISTED AS TEMPERED ARE FOR REFERENCE ONLY. COORDINATE WITH WINDOW SUPPLIER AND APPLICABLE CODES TO VERIFY REQUIRED LOCATIONS/ WINDOW TO BE TEMPERED PRIOR TO BIDDING/ PURCHASING.
- ALL WINDOWS TO HAVE JAMB EXTENDERS AS NECESSARY FOR 4'-9 1/2" & 6'-9'-1 1/2" JAMSBS. COORDINATE REQUIRED DEPTHS WITH PLAN.
- FIELD VERIFY WINDOW HEIGHTS AND CLEARANCES PRIOR TO PURCHASING.
- WINDOWS TO HAVE ADHESIVE FLASHING & SIL PANS. INSTALL PER MRS'S RECOMMENDATIONS.

SKYLIGHT SCHEDULE

| Mark | Model # | Rough Opening / Finished Frame | | Notes |
|------|---------|--------------------------------|-----------|---------------------------|
| | | Width | Height | |
| SK01 | C01 | 1'-9" | 2'-2 1/2" | VELUX DECK MOUNTED. FIXED |

SKYLIGHT GENERAL NOTES:

- SKYLIGHTS SPECIFIED ARE BY VELUX.
- DECK MOUNTED INSTALLATION.
- TYPE EDL FLASHING.
- INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

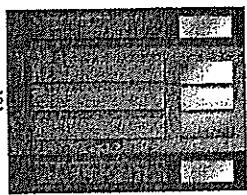


DOOR SCHEDULE

| Story | Mark | Model # | Unit Size Width | Unit Size Height | R.O. Size | Left Sidelight Width | Right Sidelight Width | Notes |
|---------------------|------|-------------|--------------------|---------------------|----------------------|----------------------|-----------------------|---|
| First Floor | | | | | | | | |
| | 101 | 6863 / 6175 | 3'-0" | 6'-8" | 5'-6"x6'-10 1/2" | 1'-0" | 1'-0" | SIMPSON 6863 CRAFTSMAN THREE PANEL-THREE LITE, WITH 6175 CRAFTSMAN SIDELIGHTS |
| | 102 | | 3'-0" | 6'-8" | 3'-2"x6'-9" | | | |
| | 103 | | 3'-0" | 6'-8" | 3'-2"x6'-9" | | | |
| | 103 | | 4'-0" | 6'-8" | 4'-0"x6'-8" | | | |
| | 104 | 7280 | 5'-7 1/2" | 6'-8" | 6'-0"x6'-8" | | | FIXED-VENT (TOP) |
| | 104 | 7280 | 6'-0" | 6'-8" | 6'-4 1/2"x6'-10 1/4" | | | FIXED-VENT (TOP) |
| | 106 | | 3'-0" | 6'-8" | 3'-5"x6'-9" | | | |
| | 107 | | 6'-0" | 6'-8" | 6'-4 1/2"x6'-10 1/4" | | | |
| | 107 | | 6'-0" | 6'-8" | 6'-4 1/2"x6'-10 1/4" | | | |
| | 107 | | 6'-0" | 6'-8" | 6'-4 1/2"x6'-10 1/4" | | | |
| | 108 | 3680 | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | HINGED LEFT, IN-SWING |
| | 108 | 3680 | 3'-0" | 6'-8" | 3'-0 3/4"x6'-8" | | | HINGED LEFT, IN-SWING |
| | 109 | 3690 | 3'-0" | 6'-8" | 3'-2"x6'-9" | | | HINGED LEFT, IN-SWING |
| | 109 | | 2'-4" | 6'-8" | 2'-6"x6'-9" | | | |
| Second Floor | | | | | | | | |
| | 200 | | 2'-4" | 6'-8" | 2'-6"x6'-9" | | | |
| | 201 | | 2'-4" | 6'-7 1/2" | 2'-10"x6'-8 1/2" | | | |
| | 202 | | 5'-0" | 6'-8" | 5'-2"x6'-9" | | | |
| | 203 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |
| | 205 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |
| | 206 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |
| | 207 | | 2'-6" | 6'-8" | 2'-8"x6'-9" | | | |

DOOR GENERAL NOTES:

1. CHECK DRAWINGS FOR SWING DIRECTIONS AND LOCATIONS.
2. PROVIDE ALL NECESSARY HARDWARE, HEATHER STRAPPING, TRIM PIECES, ETC.
3. EXTERIOR DOORS ARE PELLA, AUBURN BROWN, ARCHITECT SERIES, ALUMINUM CLAD WOOD HINGED PATIO DOORS, INSWING. SEE ELEVATIONS FOR GRILLE PATTERNS, WITH 3/4" SOL GRILLE.
4. HARDWARE-SAIN NICKEL - CONFIRM WITH OWNER PRIOR TO ORDERING.
5. INSEAL OR DOOR TO BE SLOWEN, LENIVEK, REEF, OR SIMSON.
6. INSEAL OR DOOR TO BE SLOWEN, LENIVEK, REEF, OR SIMSON.
7. APPLY SEALANT AROUND EXTERIOR PERIMETER ISLAND DOOR TRIM/ FLANGE AND SET INTO OPENING.
8. APPLY FOAM BACKER ROD & SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
9. BEDROOM, BATHROOM, AND ENTRY DOORS TO BE SOLID.
10. GLASS TO BELOW ARGON TEMPERED GLASS.
11. ALL DOORS IN HALLS OTHER THAN 24" WALLS TO HAVE JAMB EXTENDERS AS NECESSARY.
12. FIELD VERIFY EXISTING DOOR OPENING SIZES AND COORDINATE AS REQUIRED.
13. EXTERIOR DOORS NOTED TO HAVE RETRACTABLE SCREENS SHOULD BE SITE MEASURED AND THE SCREENS CUSTOM SIZED FOR EACH DOOR USED. MANUFACTURER TO BE LIBERTY SCREENS, PHANTOM SCREENS OR ARCHITECT/OWNER APPROVED ALTERNATE COLOR TO MATCH DOORS.



101

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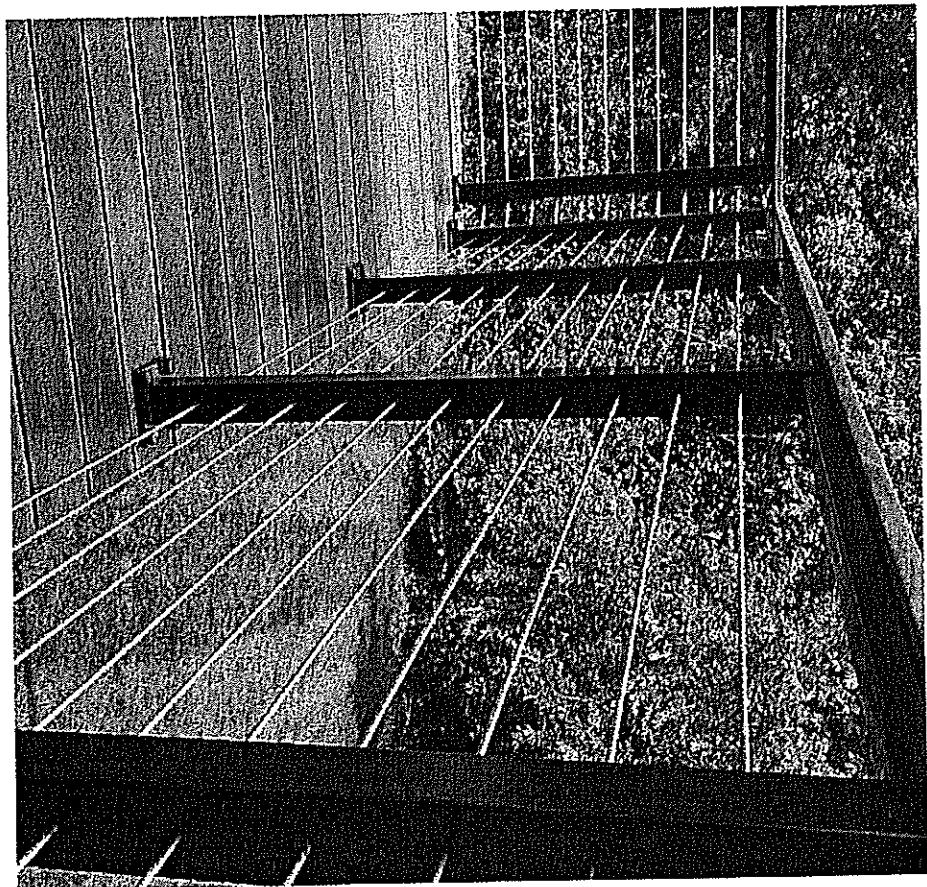
SCHEM: 12
ISSUE DATE 03/07/15
DRAWN BY: RL

Door Schedule

Autuck
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1 WIRE RAILING



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SCHEM: I2
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Rating Detail



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