

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5813 Surrey St., Chevy Chase	Meeting Date:	12/6/2017
Resource:	Secondary (Post-1915) Resource (Somerset Historic District)	Report Date:	11/29/2017
Applicant:	Dan & Aviva Rosenthal (Tahani Share, Architect)	Public Notice:	11/22/2017
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/36-17J	Staff:	Michael Kyne
PROPOSAL: Side addition and hardscape alterations			

STAFF RECOMMENDATION

Staff recommends that the HPC approve with one (1) condition the HAWP application.

1. Additional specifications will be submitted for the proposed doors, garage door, and windows, demonstrating that they are consistent with the Commission's requirements.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:	Secondary (Post-1915) Resource within the Somerset Historic District
STYLE:	Colonial Revival
DATE:	c. 1933

BACKGROUND

The applicants previously appeared before the Commission for preliminary consultations at the September 19, 2017 and October 25, 2017 HPC meetings. At the October 25, 2017 preliminary consultation, the Commission was generally supportive of the applicants' proposal, but some Commissioners expressed the following concerns:

- The proposed enlarged driveway at the front of the house was still too wide.
- The proposed casement windows on the right side and rear elevations of the proposed addition should be more consistent with the double-hung windows on the historic house and front elevation of the addition.

PROPOSAL

The applicant proposes the following work items at the subject property:

- Enlarge an existing one-story addition and below grade garage at the right side of the subject property.
- Construct a second-story expansion over the enlarged right-side addition and garage.

- Enlarge the existing driveway at the front of the subject property.
- Construct a new central walkway/steps at the front of the subject property.
- Construct an at grade flagstone patio and pergola at the right side of the property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Somerset Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicants have made the following revisions to their proposal, attempting to address the Commission's comments/concerns from the October 25, 2017 preliminary consultation:

Driveway

The width of the proposed driveway at the front of the house has been reduced from 18' to 16'. At the first

(September 19, 2017) preliminary consultation, the applicants proposed enlarging the existing 8'-4" driveway at the front of the house to 20'. Overall, the width of the proposed driveway enlargement has been reduced by 4', as the applicants now propose a 16' wide driveway. The applicants have also provided photographic examples of other driveways with a similar width in the surrounding neighborhood.

Windows

Several Commissioners expressed concerns with the proposed casement windows on the right side and rear elevations of the proposed addition at the October 25, 2017 preliminary consultation, suggesting that they should be made more consistent with the double-hung windows on the historic house and front elevation of the proposed addition; however, the general sentiment was that the proposed casement windows would be approved. While the proposed casement windows have been retained in the current proposal, the proportions of the casement windows have been altered to be more consistent with those of the double-hung windows on the historic house and front elevation of the proposed addition.

Typically, the Commission requires that any proposed SDL doors, garage doors, and windows have permanently affixed 7/8" profile muntins with internal spacer bars. Staff recommends a condition of approval, stipulating that additional specifications be submitted for the proposed doors, garage door, and windows, demonstrating that they are consistent with the Commission's requirements.

After full and fair consideration of the applicants' submission, staff finds the proposal, as modified by the condition, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, and having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with the condition specified on Circle 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal will not substantially alter the exterior features of the resource and is compatible in character with the resource and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;**

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.**



HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: tahani@landisconstruction.com Contact Person: Tahani Share/ Chris Landis
chris@landisconstruction.com Daytime Phone No.: 202-370-3410

Tax Account No.: _____

Name of Property Owner: Dan & Aviva Rosenthal Daytime Phone No.: _____

Address: _____ Street Number _____ City _____ State _____ Zip Code _____

Contractor: Landis Architects/ Builders Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Chris Landis Daytime Phone No.: 202-489-1516

LOCATION OF BUILDING/PREMISE

House Number: 5813 Street: Surrey St.

Town/City: Chevy Chase Nearest Cross Street: Surrey St. & Cumberland Ave.

Lot: 13 Block: B-3 Subdivision: _____

Liber: _____ Folia: _____ Parc: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ \$500,000

1C. If this is a revision of a previously approved active permit, see Permit #: _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tahani Share

Signature of owner or authorized agent

11/14/17

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Data Filed: _____ Data Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

819908

(5)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing house on 5813 Surrey St was built in 1937. It sits on a corner lot with an area of 11,900 SF. It's comprised of 2 1/2 brick stories. The plan is a typical colonial house with stair in the center. The house has an existing non-historic one story addition built on a garage at the basement level. The house has two front setbacks (24F & 31" F) a side setback (19F) and a rear setback (67F).

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

-- ENLARGE THE EXISTING ONE STORY ADDITION AND BELOW GRADE GARAGE AT THE RIGHT SIDE OF THE HOUSE.
-- CONSTRUCT A SECOND STORY EXPANSION OVER THE ENLARGED RIGHT SIDE ADDITION AND GARAGE.
-- ENLARGED THE EXISTING DRIVEWAY AT THE FRONT OF THE HOUSE
-- CONSTRUCT A NEW CENTRAL WALKWAY/ STEPS AT THE FRONT OF THE PROPERTY.

2. SITEPLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

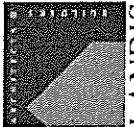
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **All** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



LANDIS

A Division of DNA
2525 BLARNEY, MD 20130
WASHINGTON, DC 20012
Phone: 301-582-5277
Fax: 301-582-5278
www.landisconstruction.com

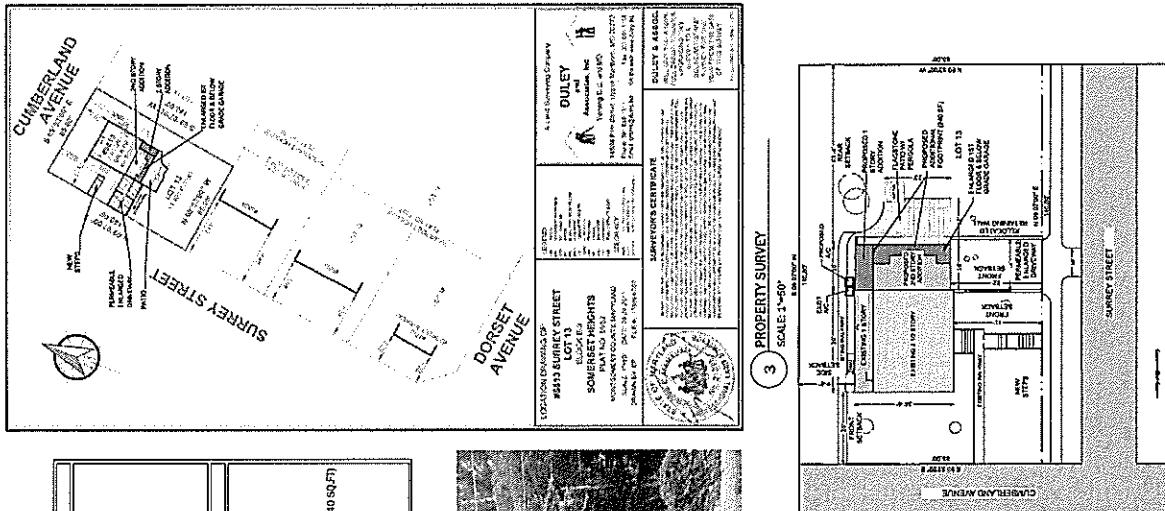
Professional Certification:
I certify that these documents were
not sent to a third party before being
submitted to the Board of Appeals on
October 22, 2015.

Project Team	Team Chair Andrew Karr Chris Lands
Associate	Chief Landis Paul Goldstein Client

ROSENTHAL
RESIDENCE
5813 Surrey Street
Chevy Chase, MD

NOVEMBER 14, 2017

A001

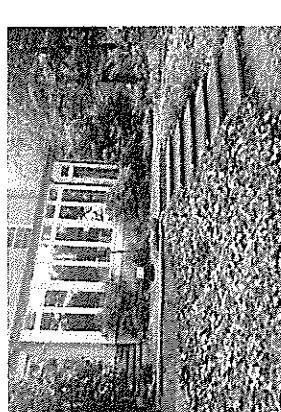


BUILDING DATA SUMMARY	
BLOCK & LOT: 3, 13	PLAT NO.: 0552
PROPERTY ADDRESS: 5813 SURREY ST	
OWNER: DAVID ROSENTHAL	
BUILDING TYPE: SINGLE FAMILY	
PROPOSED USE: SAME	
CONTACT INFORMATION: DAVID SHARL	
LANDS APPLICANT'S BUILDER	
2025 STRASBURG	

DRAWING INDEX	
40001	SITE PLAN
40002	GENERAL NOTES
40003	ENERGY SHEET
40004	STRUCTURAL ELEVATIONS
40005	PRIVACY PLANS
40007	PRIVACY PLANS 2
40008	PRIVACY PLANS 3
40009	PRIVACY PLANS 4
40010	SECTIONAL SCHEDULES
40011	DRINKWARE LAYOUT
50001	DRINKWARE LAYOUT
50002	DRINKWARE LAYOUT
50003	DRINKWARE LAYOUT
50004	WIND BRAKES
50005	STRUCTURAL DETAILS
50006	ELECTRICAL PLANS

ROSENTHAL RESIDENCE

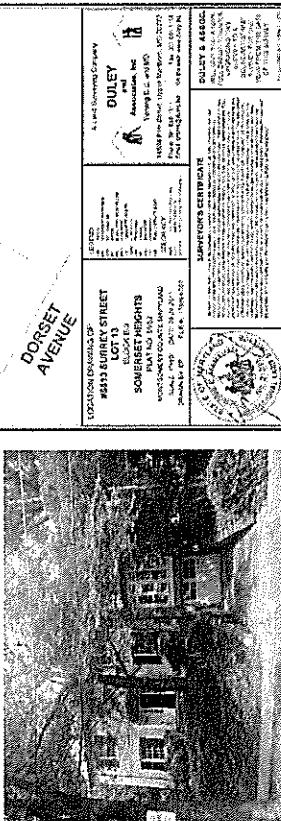
5813 Surrey Street
Chevy Chase, MD



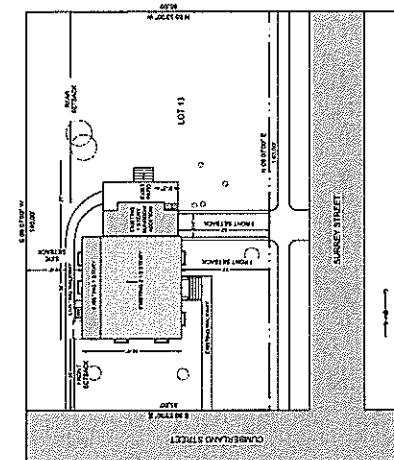
HOUSE AS SEEN FROM CUMBERLAND AVE



HOUSE AS SEEN FROM SURREY ST

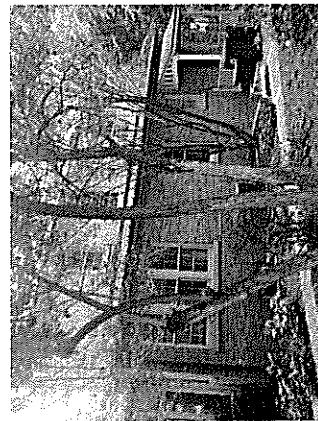


PROPERTY SURVEY

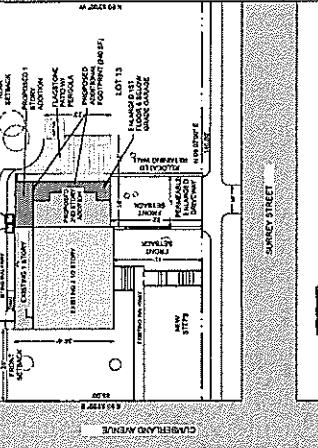


① EXISTING SITE PLAN
SCALE: 1:20'

② PROPOSED SITE PLAN
SCALE: 1:20'



HOUSE AS SEEN FROM SIDE YARD



PERMIT SET

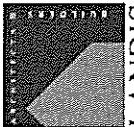
Project Team
Team Chair
Andrew Karr
Chris Lands

ROSENTHAL
RESIDENCE
5813 Surrey Street
Chevy Chase, MD

SITE PLAN

NOVEMBER 14, 2017

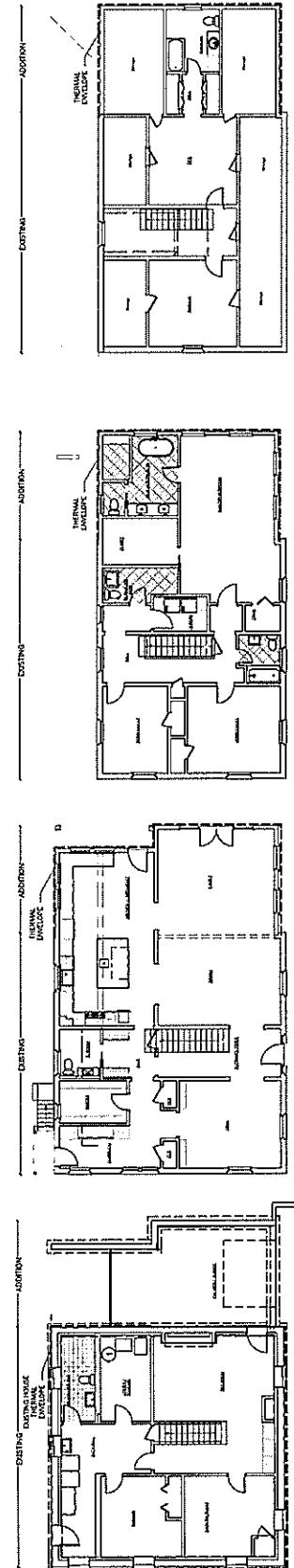
COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



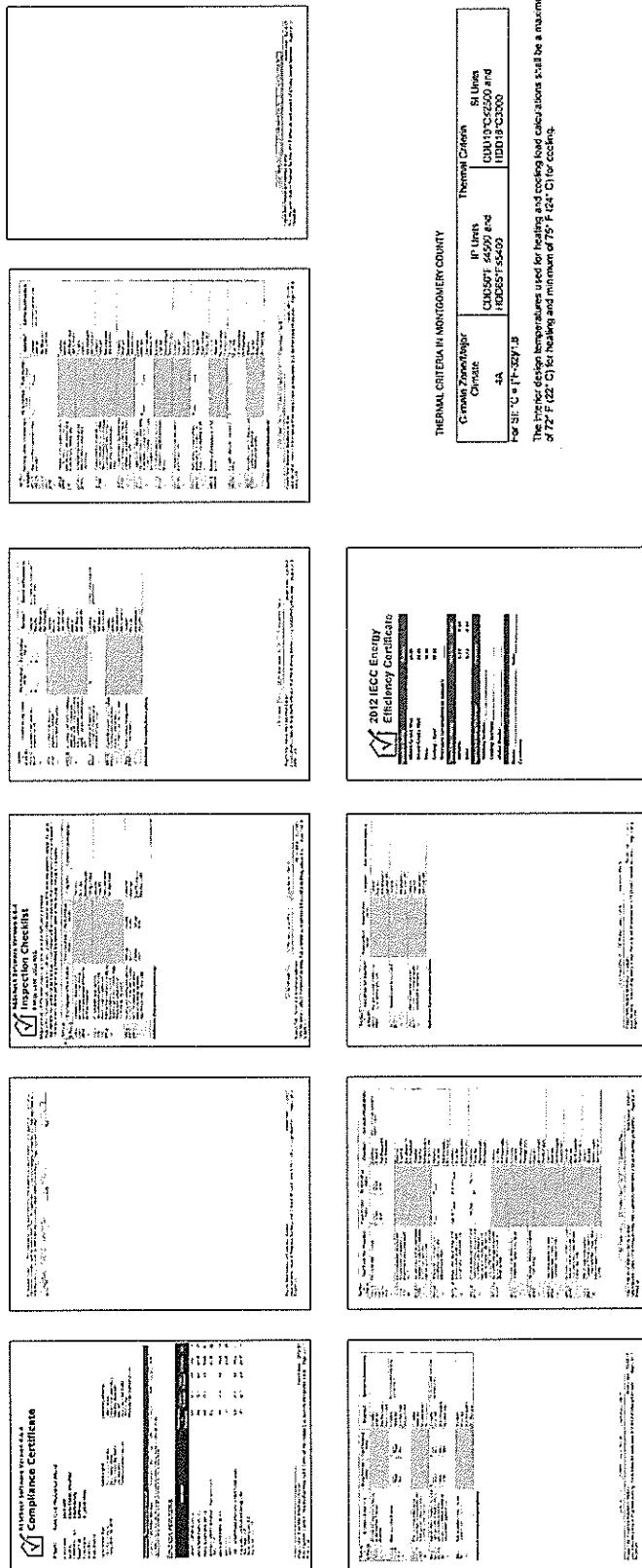
LANDIS

ASHONI LTD., INC.
7059 BLAIR ROAD, SUITE 300
WASHINGTON, DC 20012
PHONE: 202-242-5277
FAX: 202-242-5277
WWW.LANDISCONSTRUCTION.COM

Professional Certification
I, Paul Geller, have reviewed the above
drawings and find them to fully represent
the work performed to the best of my
knowledge and belief. I executed this
statement on October 12, 2014.



1. **1. BASEMENT THERMAL ENVELOPE PLAN**
2. **2. 1ST FLOOR THERMAL ENVELOPE PLAN**
3. **3. 2ND FLOOR THERMAL ENVELOPE PLAN**
4. **4. ATTIC THERMAL ENVELOPE PLAN**

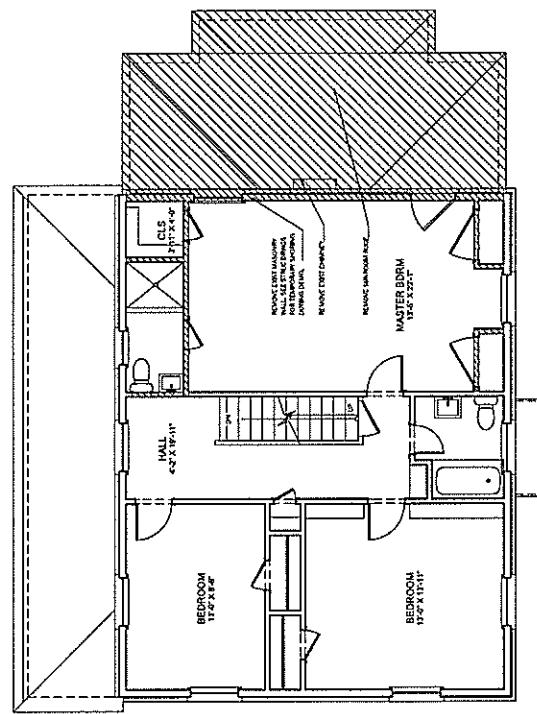




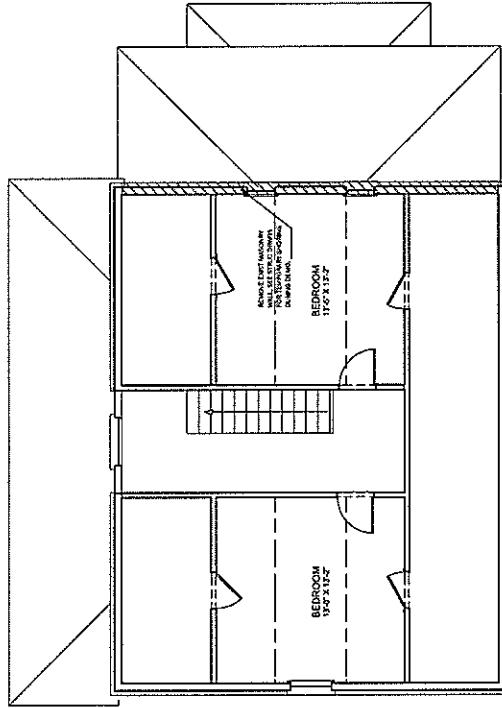
LANDIS

DESIGN AND BLDG INC.
7059 BLAIR ROAD, NW STE 300
WASHINGTON, DC 20012
PHONE: 202-293-2077
FAX: 202-293-2078
WWW.LANDISCONSTRUCTION.COM

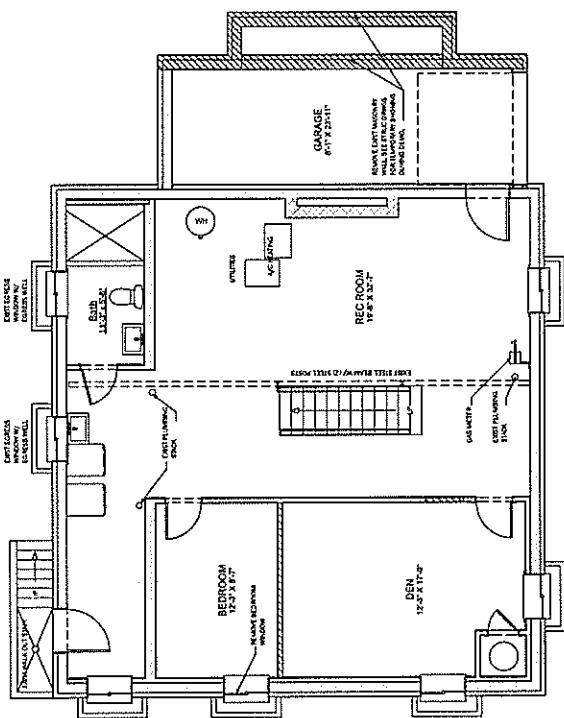
Professional Certification:
I certify that the documents
and plans hereto represent
the true and correct copy
of the original documents
submitted to the Board of
Architectural Review for
review on October 22, 2014.



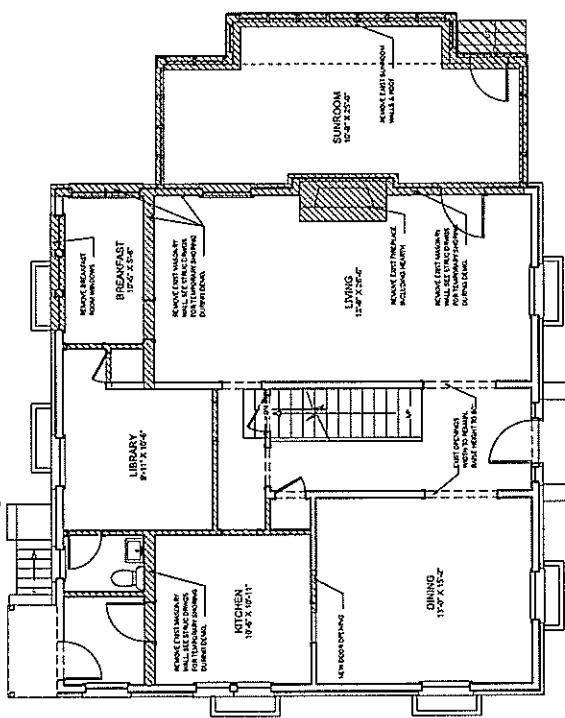
② EXISTING / DEMO 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"



④ EXISTING / DEMO ATTIC PLAN
SCALE: 1/4"=1'-0"



① EXISTING / DEMO BASEMENT PLAN
SCALE: 1/4"=1'-0"



③ EXISTING / DEMO 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

Approvals	
Chief Landa	
Paul Gruer	
Client	

Project Team	
Project Manager	Andrew Karr
Team Leader	Chris Landa

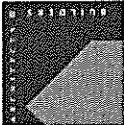
PERMIT SET

ROSENTHAL
RESIDENCE
5013 SUNSET ST.
CHEVY CHASE, MD

EXISTING PLANS

NOVEMBER 14, 2017

A004

**LANDIS**

ADISON LADD & JAM
7207 BLAIR ROAD, ALEX 20022
PHONE: 301-270-2012
FAX: 301-270-2017
www.landisconstruction.com

Professional Certification:
I certify that these drawings were prepared by me or under my supervision and were prepared from data furnished by me or under my supervision. I further certify that these drawings have been reviewed and approved by me and that they are in accordance with the applicable codes and regulations in effect at the time of preparation.
Chris Landis, Project Manager
Landis Construction Co., Inc.
October 7, 2014

Approvals	
Chris Landis	
Paul Goller	
Clark	

Project Team	
Project Designer	Tobias Sturm
Project Manager	Andrew Kim
Team Leader	Chris Landis

PERMIT SET

ROSENTHAL
RESIDENCE
5413 Surrey Street
Cherry Chase, MD

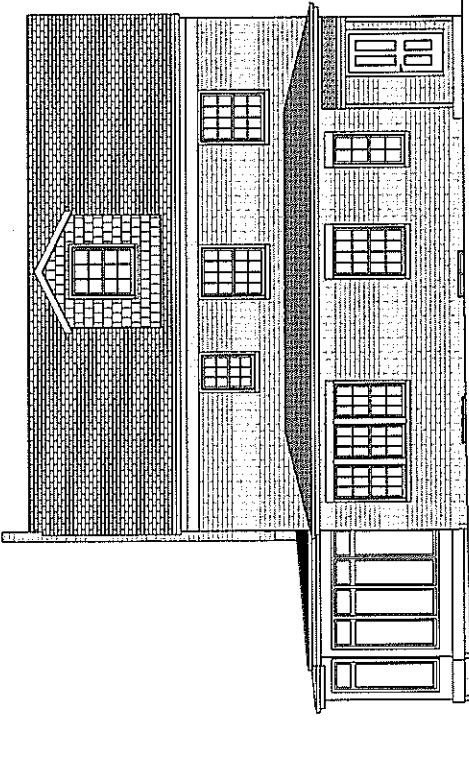
**EXISTING
ELEVATIONS**

NOVEMBER 14, 2017

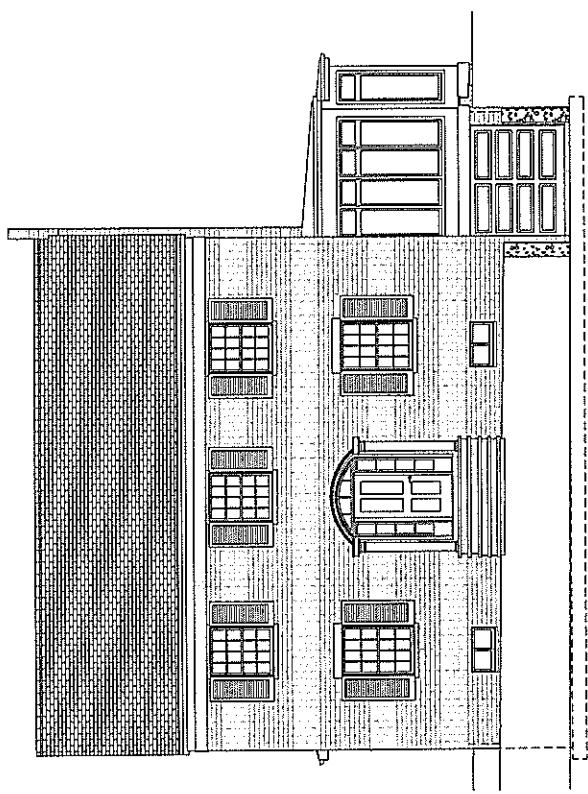
A005

EXISTING SIDE SOUTH ELEVATION

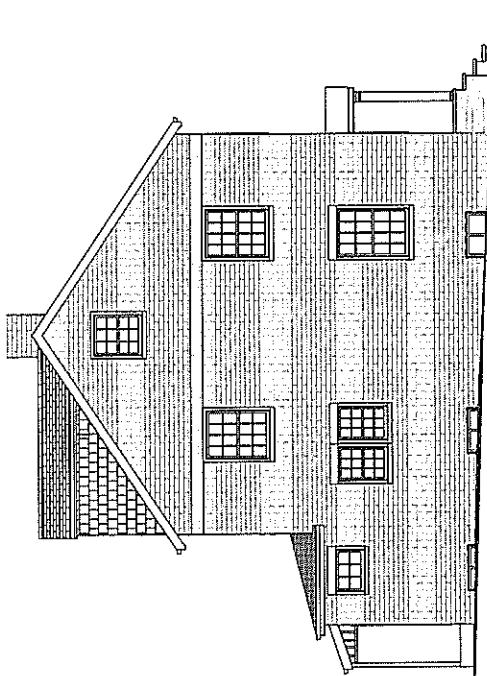
SCALE: 1/4"=1'-0"



2 EXISTING SIDE SOUTH ELEVATION
SCALE: 1/4"=1'-0"

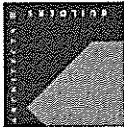


1 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 EXISTING SIDE NORTH ELEVATION
SCALE: 1/4"=1'-0"





LANDIS

Architectural Rev.
7550 Map Rd., NW, Ste. 300
Washington, DC 20012
Phone: 202.342.5200
Fax: 202.342.5205
www.landisconstruction.com

Permit of Construction
Certified by Landis Construction Company
that the above described work will be
initiated in May, 2017, subject to
the following conditions:
1. Work will be initiated no later than
May 1, 2017.
2. Work will be completed no later than
December 31, 2018.

Appendix	
Chris Linds	
Paul Oliver	
Clerk	

Project Team	
Project Manager	Tobey Stoen
Project Manager	Andrew Karr
Team Leader	Chris Linds

PERMIT SET

ROSENTHAL
RESIDENCE5613 Survey Street
Chevy Chase, MDPROPOSED
PLANS-1

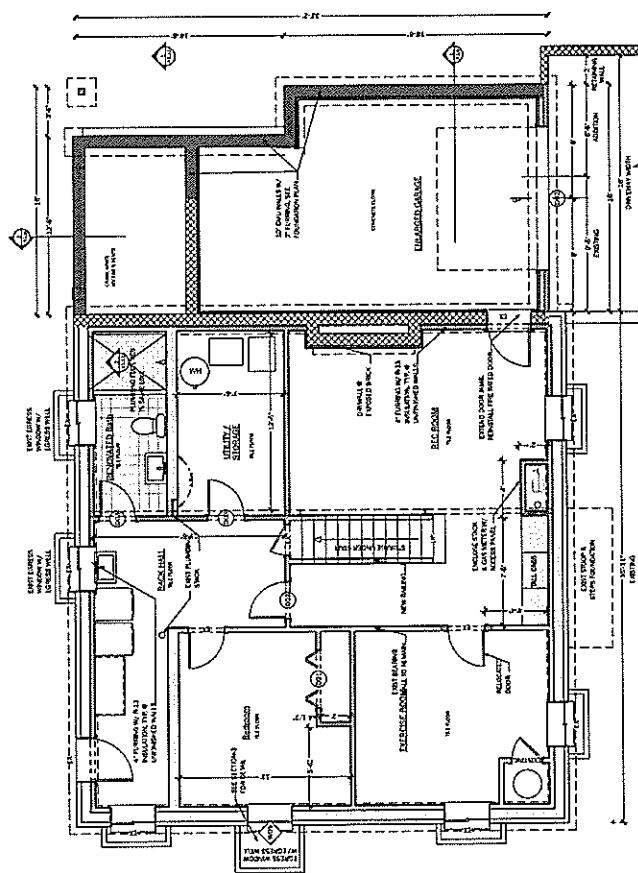
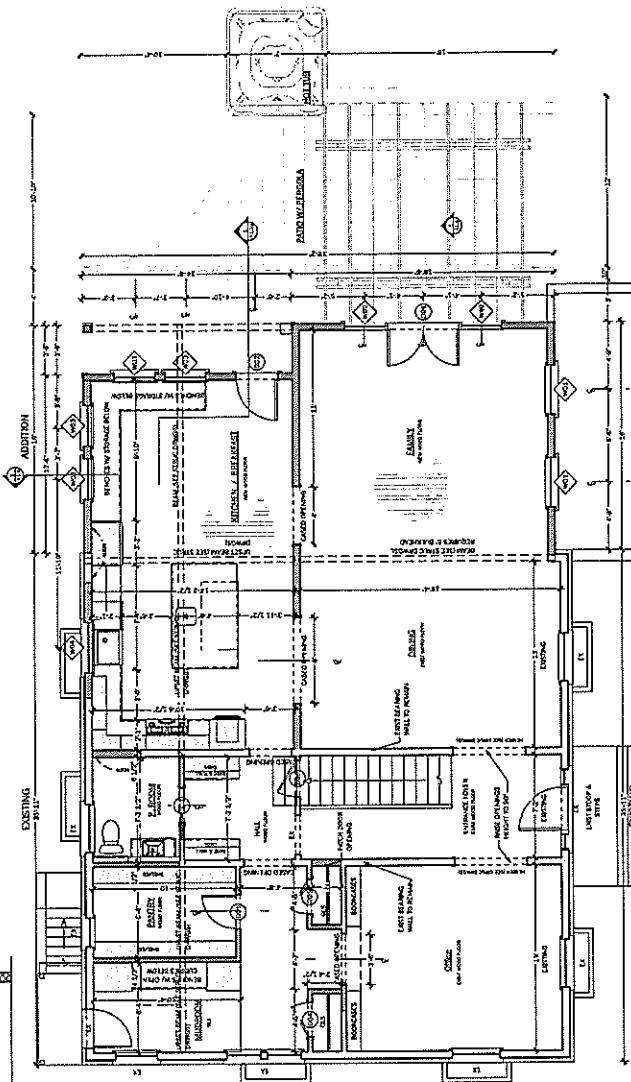
NOVEMBER 14, 2017

A006

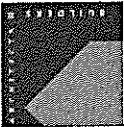
COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.

① PROPOSED BASEMENT PLAN

SCALE: 1/4"=1'-0"

② PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL TYPES	
EXISTING EXTERIOR WALL	EXISTING INTERIOR WALL
EXISTING EXTERIOR WALL	EXISTING INTERIOR WALL
NEW EXTERIOR WALL	NEW INTERIOR WALL
NON-BEARING WALL	



LANDIS

A DESIGN-BUILD FIRM
105 BLAIR ROAD, SUITE 300
WALSHINGTON, DC 20002
PHONE: 202.324.2707
FAX: 202.324.2703
WWW.LANDISCONSTRUCTION.COM

Proposed Construction Work
for Residential Project
located at 5113 Surrey Street,
Chevy Chase, MD 20815.
Architectural Drawings dated 10/24/16.
Exhibit Date October 22, 2016.

Associate	Chris Landis
Project Leader	Paul Gader
Project Manager	Andrew Katt
Team Leader	Chris Landis

Project Team	Tisha Stover
Project Leader	Paul Gader
Project Manager	Andrew Katt

PERMIT SET

ROSENTHAL
RESIDENCE5113 Surrey Street
Chevy Chase, MDPROPOSED
PLANS-2

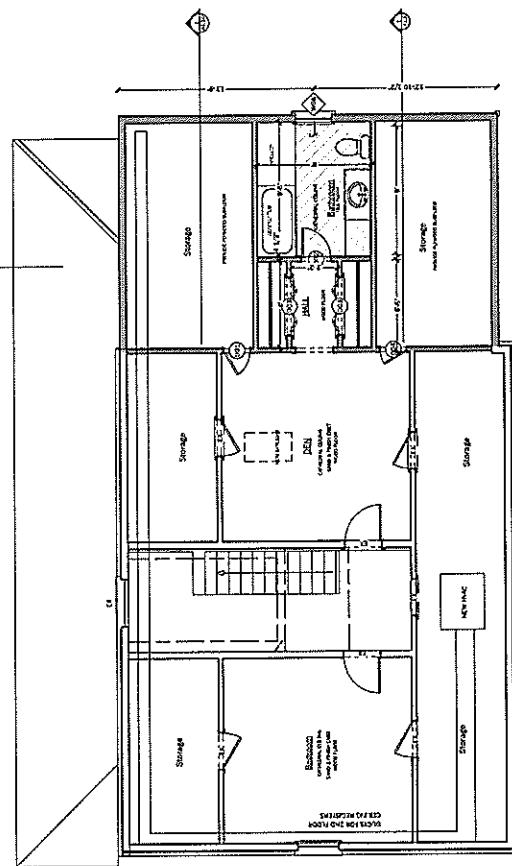
NOVEMBER 14, 2017

A007

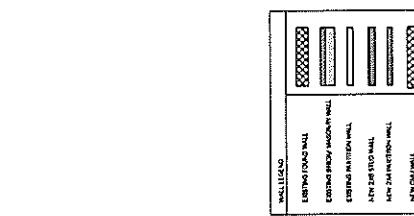
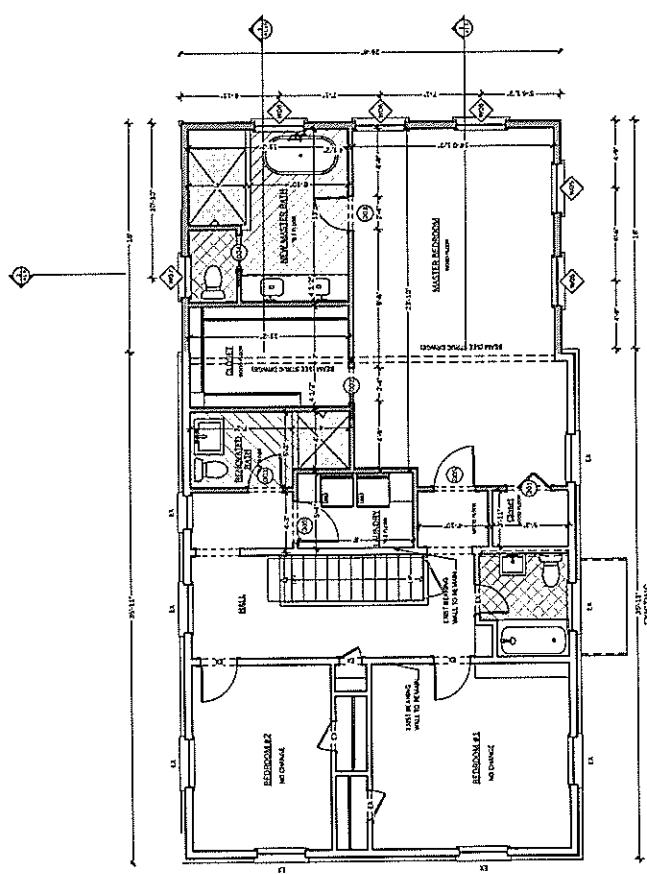
PROPOSED ATTIC PLAN

2

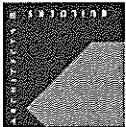
SCALE: 1/4"=10'



1 PROPOSED ATTIC PLAN
SCALE: 1/4"=10'



COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FACSIMILED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



LANDIS

A DISON LTD. INC.
7059 FAIR ROAD, NW STE 200
WASHINGTON, DC 20012
PHONE: 202-293-5177
FAX: 202-293-5178
WWW.LANDISCONSTRUCTION.COM

Professional Certifications:
Architectural Services
General Contracting Services
Interior Design Services
Landscaping Services
Project Management Services
Real Estate Services
Structural Engineering Services
Wet Weather Services

Associate
Chris Landis
Paul Grueter
Client

Project Team
Project Designer
Andrew Kier
Project Manager
Team Leader

ROSENTHAL
RESIDENCE

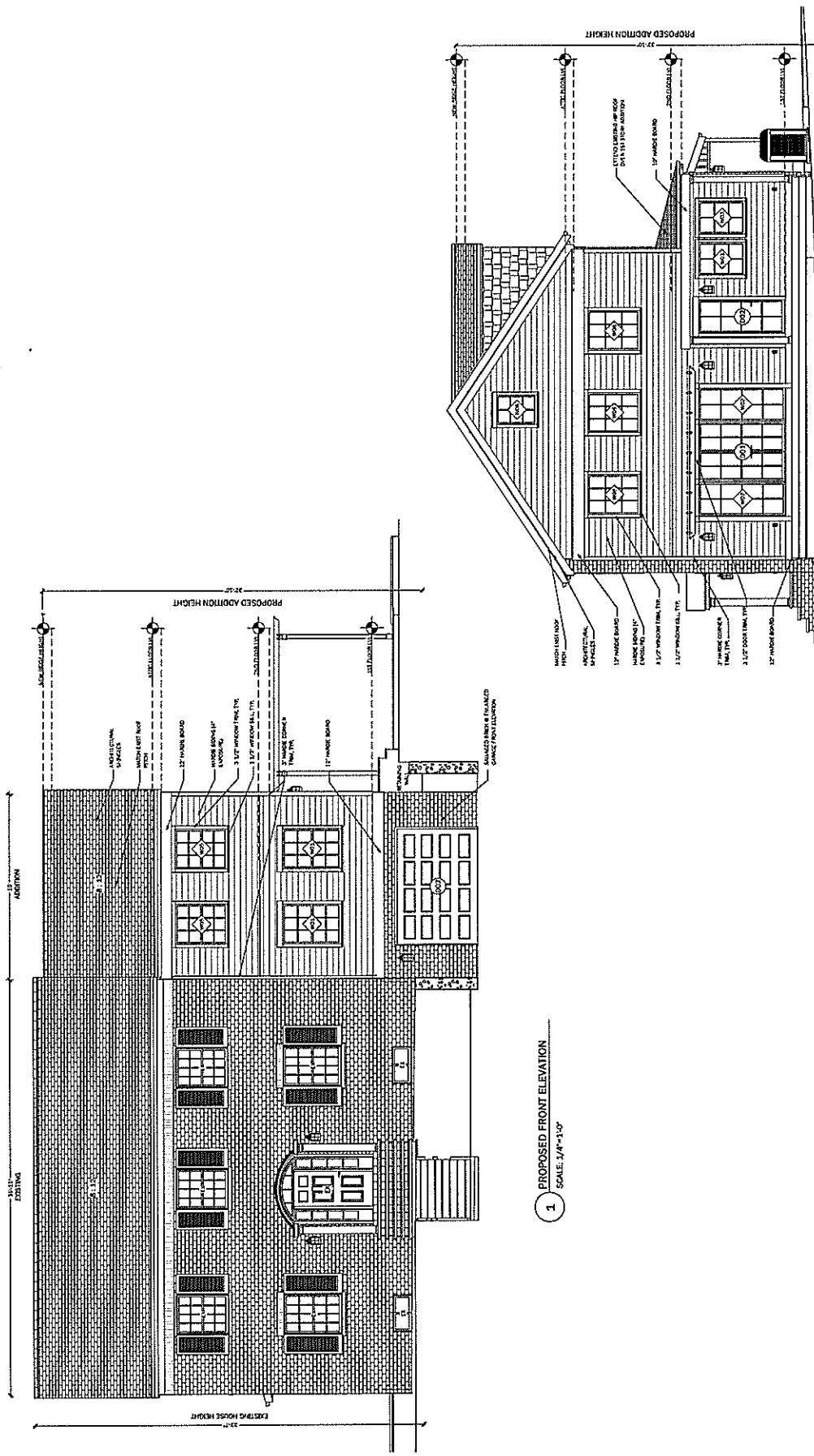
5013 Cherry Street
Chevy Chase, MD

PROPOSED
ELEVATIONS-1

NOVEMBER 14, 2017

A008

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.





LANDIS

A DESIGN-BUILD FIRM
1028 BLACK ROAD, NARREBEE, MD 20702
TELEPHONE: 301-221-2702
FAX: 301-221-2701
WWW.LAUDISCONSTRUCTION.COM

Preferred Contractors
We are a team of professionals with
experience in design-build, general
contracting, and construction management.
We have been involved in the construction
of single family homes, townhouses, and
commercial buildings throughout Maryland,
Virginia, and the District of Columbia.
Established October 22, 2008.

Associate	
Chris Lutts	
Paul Olsker	
Client	

Project Team	
Project Designer	Takao Sone
Project Manager	Andrew Kerr
Team Leader	David Landis

PERMIT SET

ROSENTHAL
RESIDENCE

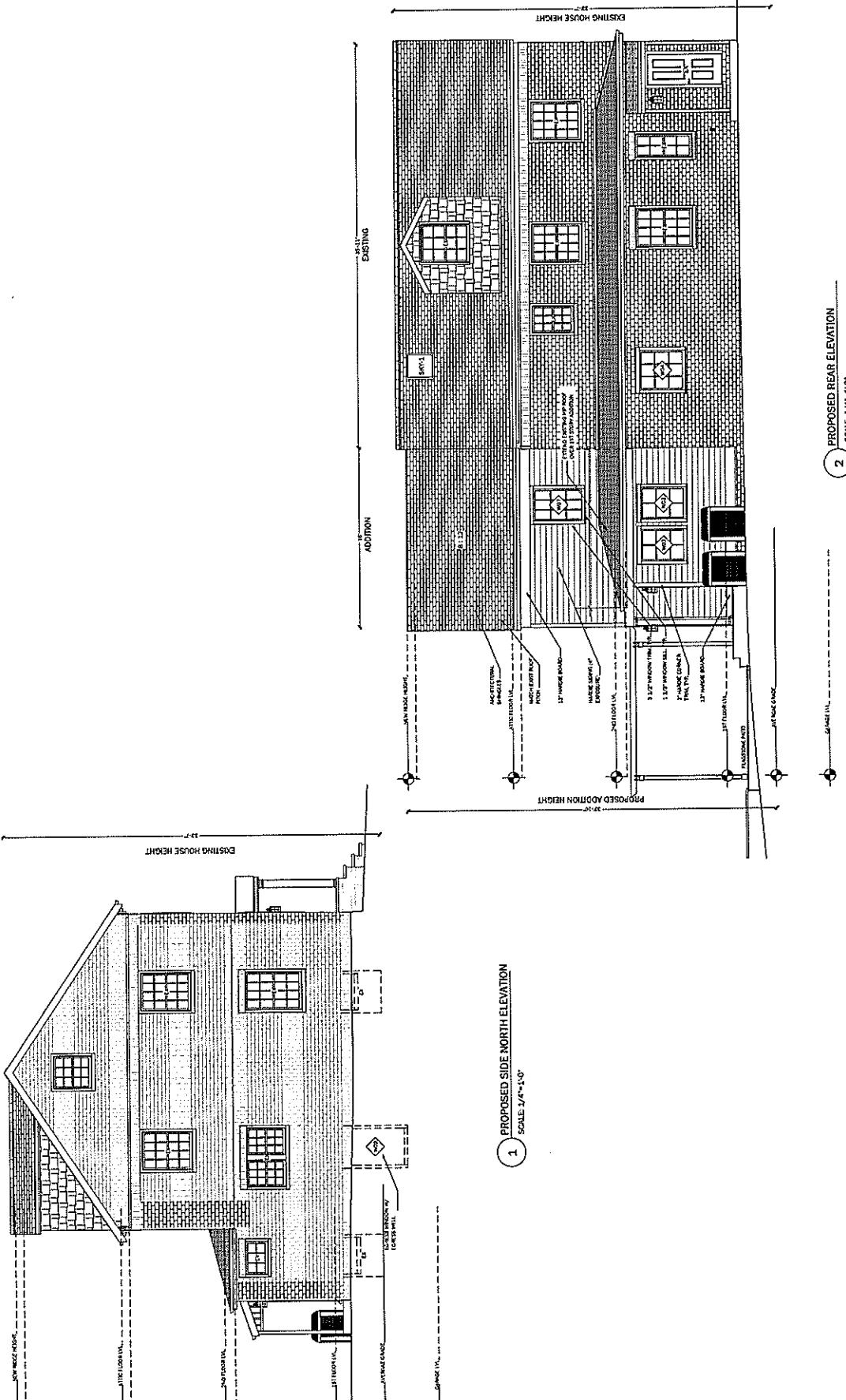
5113 Sunny Street

Cherry Chase, MD

PROPOSED
ELEVATIONS-2

NOVEMBER 14, 2017

A009



COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FACSIMILED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.

(15)



LANDIS

A DESIGN-BUILD FIRM
70059 BLAIR ROAD, NW STE 200
WASHINGTON, DC 20012
PHONE: 202-726-3777
FAX: 202-482-9703
WWW.LANDSCONSTRUCTION.COM

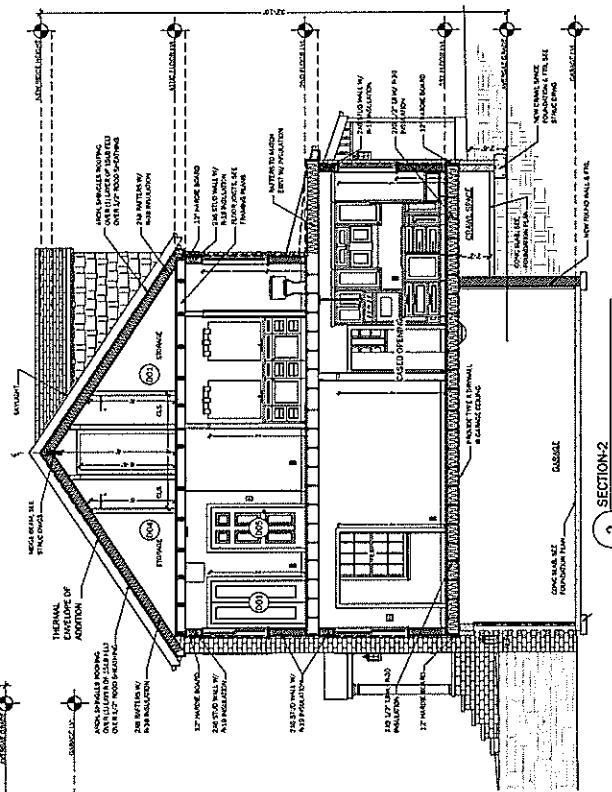
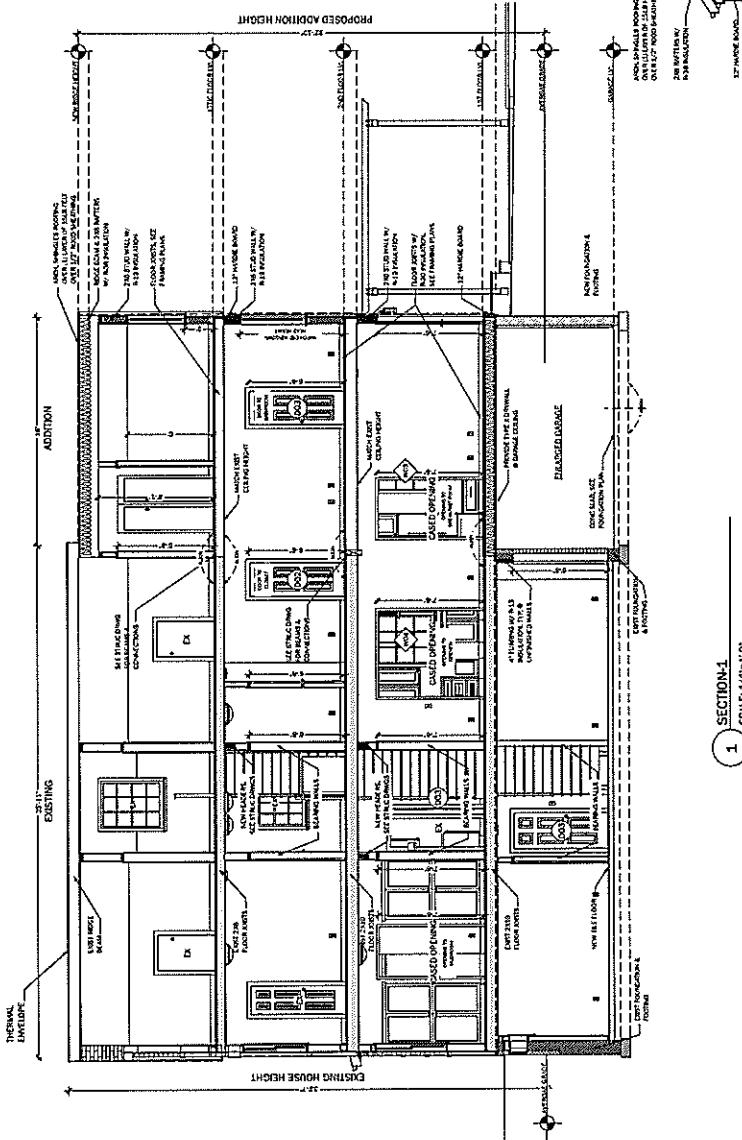
Professional Certification
I certify that these documents were
prepared or deposited by me, and
that I am a duly licensed architect
and the holder of the State of
Florida license, license number 1346,
and expiration date October 22, 2018.

Aboriginals	Chris Lands	Takao Shige
	Paul Guster	Andrew Kort
	Client	Chris Lands

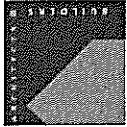
PERMIT SET

ROSENTHAL
RESIDENCE
5813 Surrey Street
Chevy Chase, MD

A0010



©LANDIS CONSTRUCTION CORPORATION 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



LANDIS

A DESIGN BUILD FIRM
7051 BLAIR ROAD, NW SUITE 200
WASHINGTON, DC 20312
PHONE: 202-726-3777
FAX: 202-842-9703
WWW.ADESIGNBUILD.COM

Photographic Certification
I certify that this document
was prepared or deposited by me
and I am a duly licensed certi-
fied public notary of the state of
Michigan. Serial number 13
Expiration date October 22, 2011.

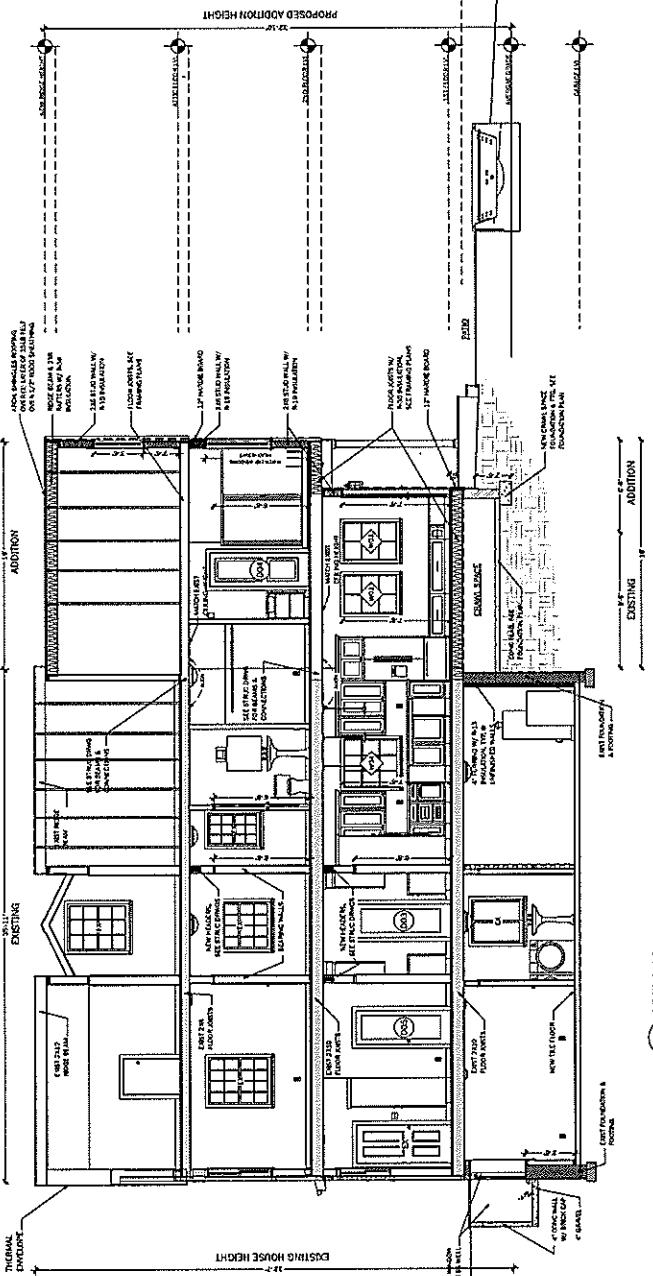
ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT
001	1/2" X 1/4" X 1/8" NICKEL COATED POLE	1	EA	002	1/2" X 1/4" X 1/8" NICKEL COATED POLE	1	EA
003	1/2" X 1/4" X 1/8" NICKEL COATED POLE	2	EA	004	1/2" X 1/4" X 1/8" NICKEL COATED POLE	1	EA

Part Number	Description	Quantity		Dimensions	Material
		Color	Qty		
001	12VDC ADAPTER	2	1	2.1x5.5mm	2.1MM BIPOLAR JACK
002	12VDC ADAPTER	2	1	2.1x5.5mm	MOLEX DOOR P09
003	12VDC ADAPTER	2	1	2.1x5.5mm	INCEDDOOR P09
004	12VDC ADAPTER	2	1	2.1x5.5mm	POCKETDOOR P04
005	12VDC ADAPTER	2	2	2.1x5.5mm	MINIDOOR P09

ITEM NUMBER	DESCRIPTION	INTERIOR DIMENSIONS			DESCRIPTION	INTERIOR DIMENSIONS	DESCRIPTION
		FLOOR	UNIT	WALL			
0001	1	1	12'4"0"0"0"	1 1/4" T.V. EX	EXT. DOUBLE HINGE DOOR GLASS	G.22	
0002	1	1	3'7"0"0"1 1/4"	1 1/4" T.V. EX	EXT. HINGE DOOR GLASS	0.32	
0003	1	1	2'8"0"0"1 3/8"	1 3/8" T.V. EX	PICKET FENCE	0.3	
0004	1	1	2'8"0"0"1 3/8"	1 3/8" T.V. EX	Hinged Panel	0.3	
0005	1	2	2'8"0"0"1 3/8"	1 3/8" T.V. EX	Hinged Panel	0.3	
0006	1	1	3'7"0"0"1 3/8"	1 3/8" T.V. EX	Hinged Panel	0.3	

ID NUMBER	DESCRIPTION	MANUFACTURER		DISPENSERS	TUBES	INCHES	IN
		NAME	ADDRESS				
901	1/4" X 1/2" X 1/2" TUBE	WILCOX FOLD COVERED	10112750704	0	1	1/16"	.0625
902	1/4" X 1/2" X 1/2" TUBE	WILCOX FOLD COVERED	10112750714	0	1	1/16"	.0625
903	1/4" X 1/2" X 1/2" TUBE	WILCOX FOLD COVERED	10112750714	0	3	1/16"	.0625

Order number	Date	Time	Description	Location
ID	Officer	Detention	Comments	
001		1	41154104H Detained	0.32
002		1	3102007K Handcuffed	0.32
003		1	312485C Sig. Statement	0.32
004		1	422485C Sig. Statement	0.32
005		2	41154104H Detained	0.32
006		2	41154104C Sig. Statement	0.32
007		2	314445C Sig. Statement	0.32
008		3	304445C Sig. Statement	0.32
009		0	312485C Sig. Statement	0.32



SCALE: 1/4" = 1'-0"

SCALE: 1/4"=1'-0"

A0011

©LANDIS CONSTRUCTION CORPORATION 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FACSIMILED, COPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



LANDIS

A DEPENDABLE FIRM
7029 BLAIR ROAD, NH 37E 300
WASHINGTON, DC 20017
PHONE: 202-226-5277
FAX: 202-226-5277
WWW.LANDCONSTRUCTION.COM



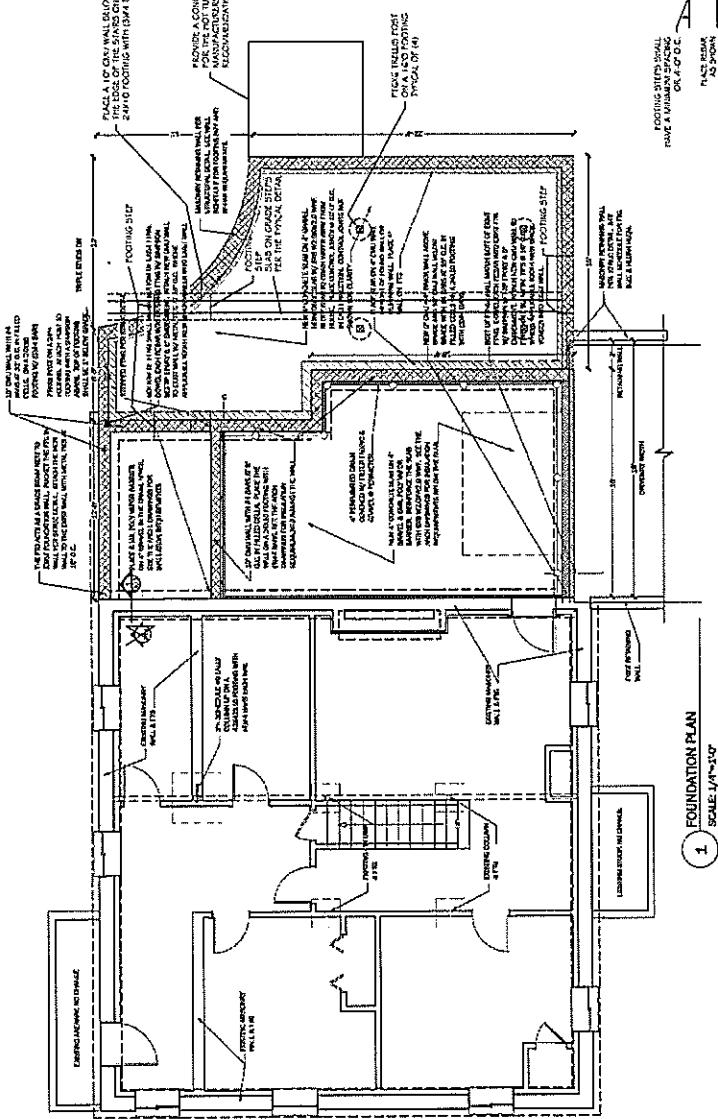
PERMIT SET

**ROSENTHAL
RESIDENCE**

FOUNDATION
PLAN

201

NOVEMBER 14, 2017



FOUNDATION PLAN

Winnipeg

1

Typical Footing Step Detail

Typical Lally Column to Footing Detail

Technical drawing of a typical footing step detail for a 2A-WAK foundation. The drawing shows a cross-section of a stepped foundation with dimensions: width 1000 mm, height 1000 mm, and thickness 400 mm. It includes labels for "TYPICAL FOOTING STEP DETAIL" and "2A-WAK". A note specifies "Base T = 1°C". A legend at the bottom left lists materials: C40-45 C50, H240, L240, S240, and D240.

PERMIT SET

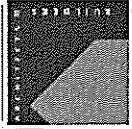
**ROSENTHAL
RESIDENCE**

FOUNDATION
PLAN

NOVEMBER 14, 2017

201

200

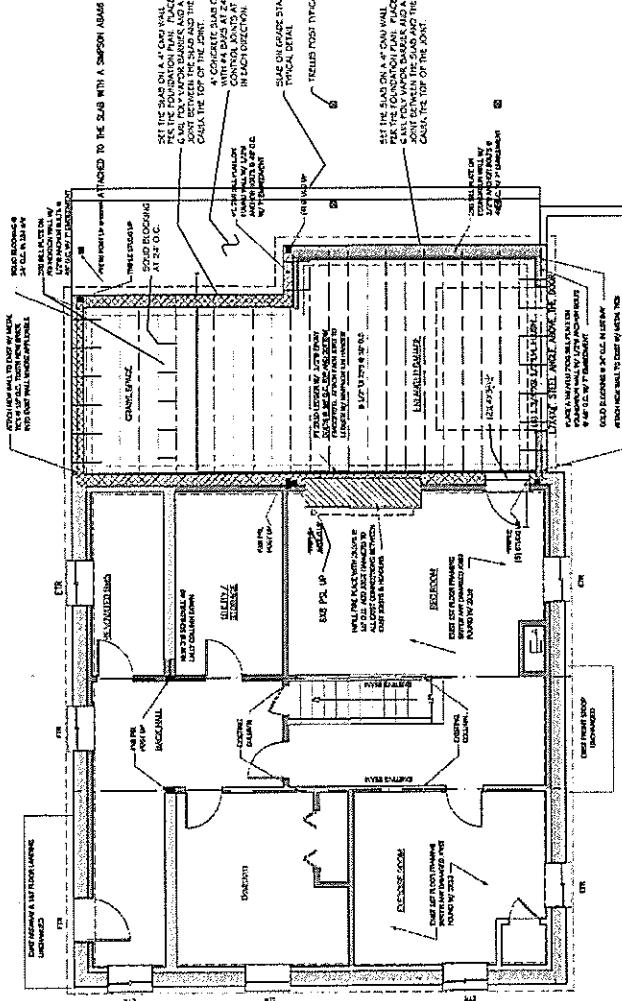


LANDIS

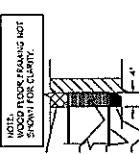
A DESIGN BUILT FIRM
2027 W AIR ROAD, NW STE. 300
WASHINGTON, DC 20012
PHONE: 202-726-3777
FAX: 202-332-9703
WILANDSCONSTRUCTION.COM



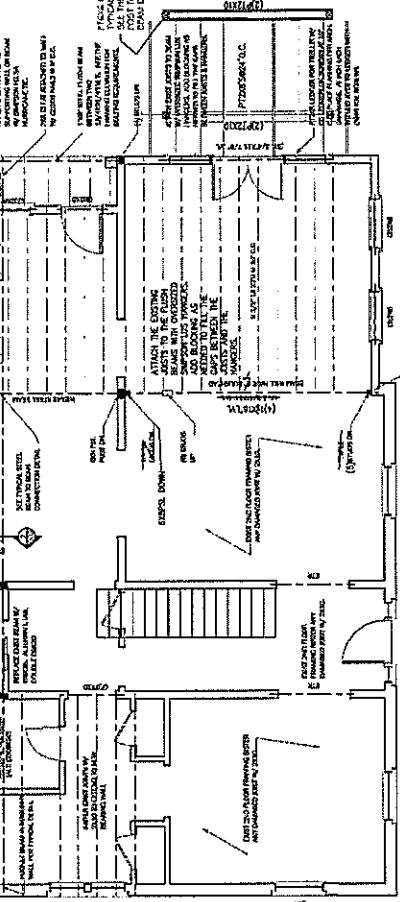
৩২৪



1ST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



Typical Steel Beam to



00 45 1000
SPECIAL ATTACHMENT
SPECIAL ATTACHMENT
SPECIAL ATTACHMENT

Paul Glew	Tel: 01234 567890
Clerk	Project Designer

Andrew Kerr	Project Manager
Dave Londo	Tel: 01234 567891

PERMIT SET

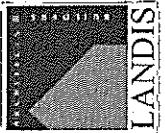
ROSENTHAL
RESIDENCE

FRAMING PLANS

602

SCENE 25

SOLAR X-RAY



LANDIS

DOOR COUNTY, WISCONSIN
TWO MILE ROAD, UNIT 200
WASHINGTON, D.C. 20222
PHONE: 202-223-2277
WWW.LANDISCONSTRUCTION.COM



STATE OF WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
DIVISION OF ENVIRONMENTAL
QUALITY
WATER POLLUTION
CONTROL
SECTION 1
PERMIT

Applicant:	Chris Lands
Permit Type:	Industrial
Project Manager:	Paul Collier
Client:	Landis Construction
Project Leader:	Chris Lands

PERMIT SET

ROSENTHAL RESIDENCE

5413 SUNNY Street
Chevy Chase, MD
20815

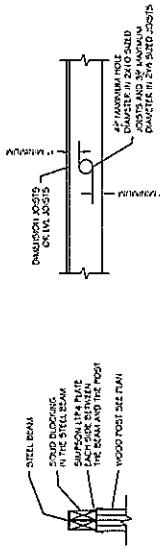
FRAMING PLANS

NOVEMBER 14, 2017

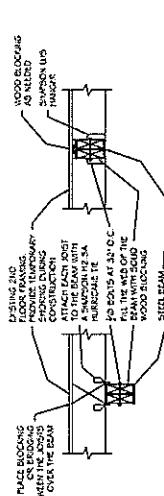
S003

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.

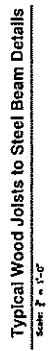
(20)



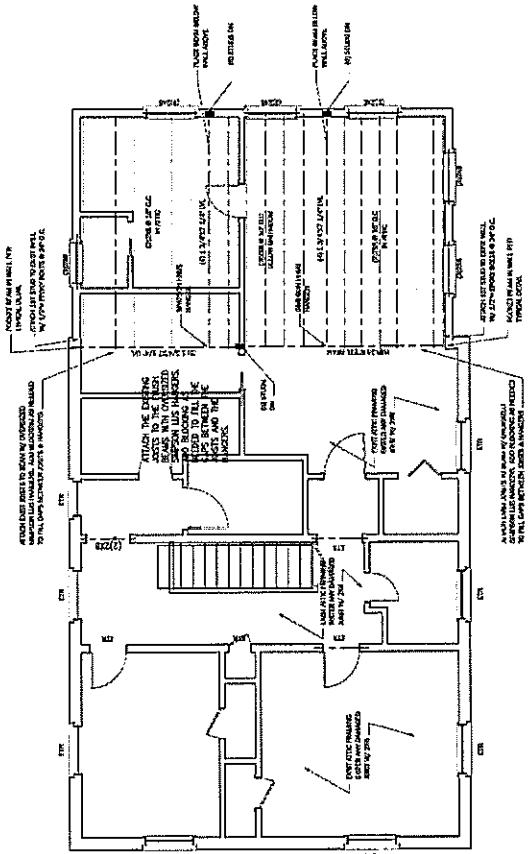
Typical Steel Beam
to Wood Post Detail
Scale: T = 1'-0"



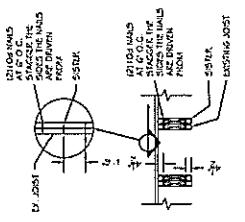
Typical Detail at Floor Joist Holes
Scale: T = 1'-0"



Typical Wood Joists to Steel Beam Details
Scale: T = 1'-0"

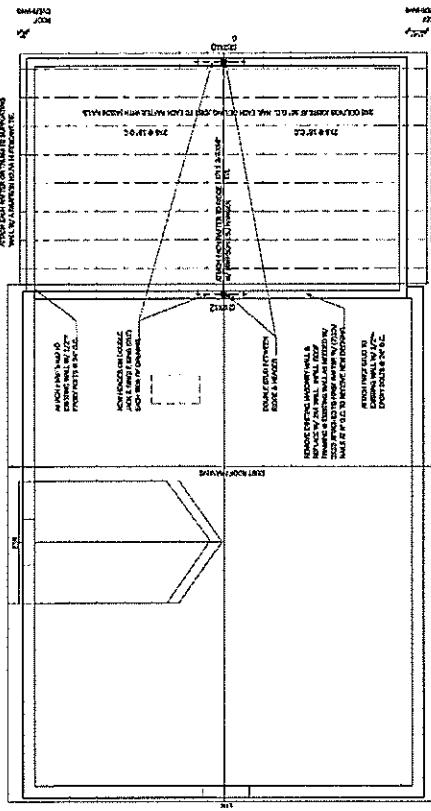


1 ATIC FRAMING PLAN
Scale: 1/4"=1'-0"



Typical Sistering Detail
Scale: 1/8"

- GENERAL NOTES:**
1. THE DEPTH OF ALL EAVES SHALL BE 30'.
 2. ALL ROOFERS ARE ASSUMED TO BE SUPPORTED BY A SAWZALL AND SPACER STICKS AND STAPLED TO THE SHEATHING.
 3. PROVIDE SCAFFOLDING AS STATED BELOW ALL POTS, COLUMNS, AND MAJOR STUCCO, ROOFING, ROOFERS, TROWELERS, AND ALL OTHER EXPOSED SURFACES.
 4. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE GROUND TO THE BASE OF THE ROOF.
 5. EXPORT BOLTS SHALL BE SHOWN SEPARATELY. FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION.
 6. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE GROUND TO THE BASE OF THE ROOF.
 7. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE GROUND TO THE BASE OF THE ROOF.
 8. ATTACH ROOFING TO THE ROOF IN A SAWTOOTH PATTERN. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE GROUND TO THE BASE OF THE ROOF.
 9. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE GROUND TO THE BASE OF THE ROOF.
 10. PROVIDE 4' OF SCAFFOLDING ON SOLID WALKWAY FLOOR.
 11. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE GROUND TO THE BASE OF THE ROOF.
 12. THE CONTRACTOR SHALL ENSURE ALL EXPOSED WOODWORK IN THE EAVES, RAFTER, AND FASCIA IS PAINTED WITH A QUALITY PAINT THAT WILL NOT PEEL OR SPONGE.
 13. ALL SUB-COMPONENTS SHALL HAVE A 25 DAY EXHIBITION PERIOD ON SITE.
 14. LALLY COLUMNS SHALL BE BY THE FLOOR BEAM JACK POST COMPANY (OR EQUIVALENT).



2 ROOF FRAMING PLAN
Scale: 1/4"=1'-0"



ALISON KERIN
202 BLACK ROAD, PRIVATE 300
WASHINGTON, DC 20122
PHONE: 202.347.2007
FAX: 202.347.2008
WWW.LANDISCONSTRUCTION.COM



MASSACHUSETTS
DEPARTMENT OF
ENVIRONMENT
WIND BRAKING
AND
STRUCTURAL
DETAILS
PERMIT SET

Applicant	Chris Landis	Project Manager	Paul Giesler
Client	Chris Landis	Architect	Paul Giesler

ROSENTHAL
RESIDENCE

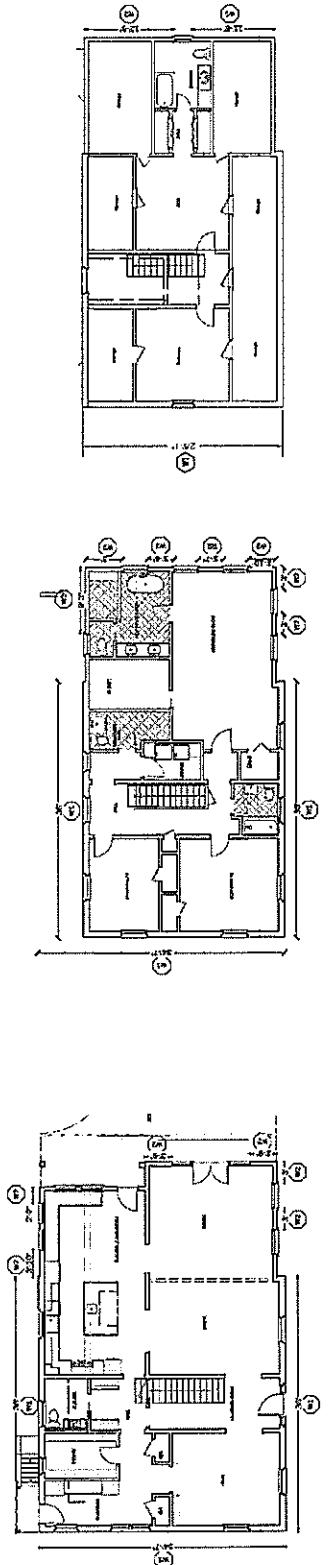
1613 Cherry Street, MD
Cherry Chase, MD

WIND BRAKING &
STRUCL DETAILS

NOVEMBER 14, 2017

S004

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FACSIMILED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



3 ATTIC WIND BRAZING PLAN
SCALE: 1/8"=1'-0"

2 2ND FLOOR WIND BRAZING PLAN
SCALE: 1/8"=1'-0"

1 1ST FLOOR WIND BRAZING PLAN
SCALE: 1/8"=1'-0"

- WALL BRACING NOTES:
- WALLS BACLD FOR 1ST FLOOR AND POSS. 2ND FLOOR DESIGN.
 - APPLY 7/16" GUS SHEATHING TO ALL EXTERIOR WALLS.
 - ATTACH GUS TO WOOD FRAMING WITH 16d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE.
 - EDP BEADES EXPOSED DECORATED PANEL.
 - ATTACH THE TOP PLATE OF THE WALL TO THE POSTS OR BLOCKING WITH 16d NAILS AT 16" O.C. AND 5 1/2" C.C. AND 16d NAILS AT 16" O.C. AND 5 1/2" C.C. ON THE BOTTOM PLATE TO THE RIM BOARD.
 - ATTACH RIM BOARD TO THE TOP PLATE OF THE WALL WITH 2-1/8" (10.325) 7/16" TEC NAILS.
 - ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (10.325) 1/2" TEC NAILS AT 12" O.C.
 - ATTACH RIM BOARD TO SILL PLATE WITH 16d (10.325) 7/16" TEC NAILS AT 12" O.C.

W1 Existing perforated masonry shear wall

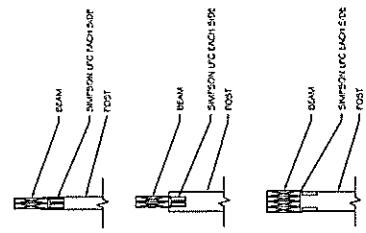
W2 EDP wind bracing panel

(2)



LANDIS

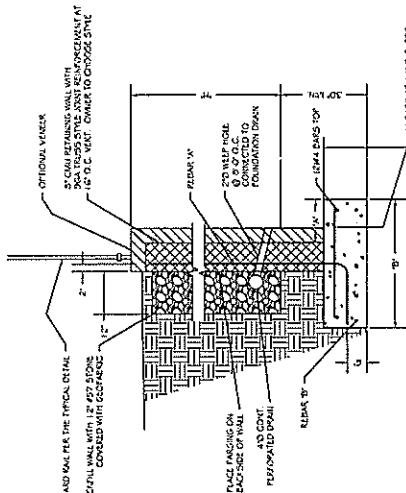
A Division of HJM
7020 Blair Road, #100
Washington, DC 20027
Phone: 202.293.0700
Fax: 202.293.0701
www.landisconstruction.com



SHAKE TREATED
2X6 POST
12 1/4" O.C. NAILS
NAILS NOT SHOWN FOR CLARITY

@ Trellis

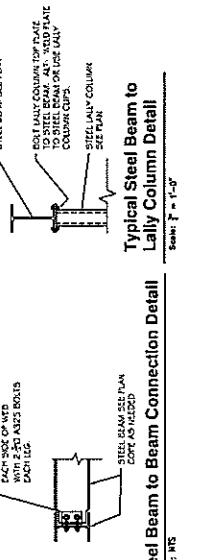
Typical Retaining Wall Detail
Scale: 1'-0"



RETAINING WALL SCHEDULE					
TYP.	W'	T'	EDIM. IN	STAKE TO WALL	STAKE TO POST
2'-0"	2'	2'-0"	44" DIMS 2" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
3'-0"	3'	2'-4"	44" DIMS 2" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
4'-0"	4'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
5'-0"	5'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
6'-0"	6'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
7'-0"	7'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
8'-0"	8'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
9'-0"	9'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
10'-0"	10'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
11'-0"	11'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims
12'-0"	12'	2'-0"	44" DIMS 1" OC. INFIELD CELLS	3/4" Dims	3/4" Dims

@ Simpson LPC Connectors

Typ. Wood Post To Exterior Beam Details
Scale: 1'-0"



PERMIT SET

ROSENTHAL RESIDENCE

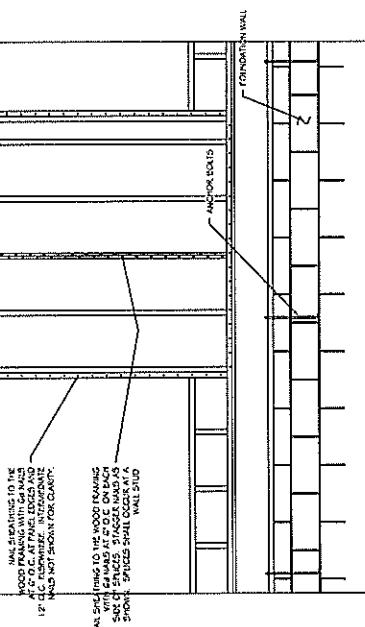
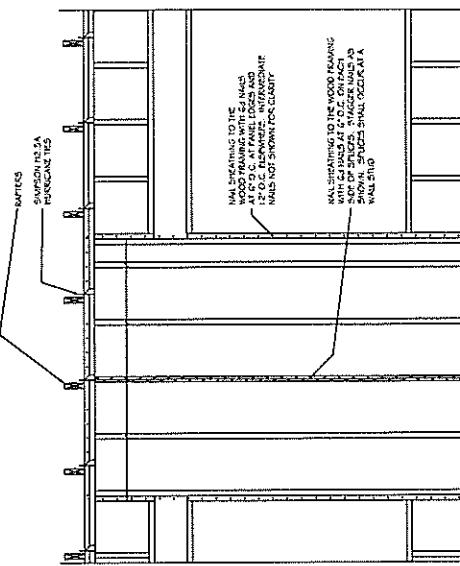
500 Summer Street
Cherry Creek, CO

STRUCTURAL DETAILS

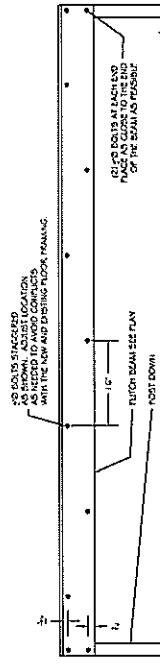
NOVEMBER 14, 2017

S005

COPYRIGHT 2016. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



Typical Framing Elevation at EDP Panels
Scale: 1'-0"



Typical Litchibeam Framing Elevation
Scale: 1'-0"

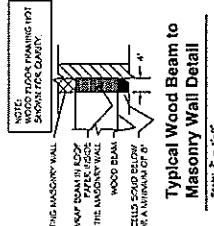
ROSENTHAL RESIDENCE

500 Summer Street
Cherry Creek, CO

STRUCTURAL DETAILS

NOVEMBER 14, 2017

S005



Typical Wood Beam to Masonry Wall Detail
Scale: 1'-0"

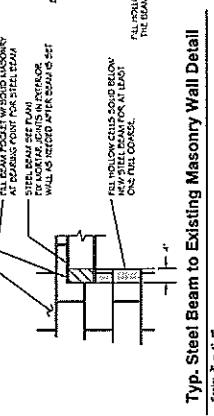
ROSENTHAL RESIDENCE

500 Summer Street
Cherry Creek, CO

STRUCTURAL DETAILS

NOVEMBER 14, 2017

S005



Typical Steel Beam to Existing Masonry Wall Detail
Scale: 1'-0"

ROSENTHAL RESIDENCE

500 Summer Street
Cherry Creek, CO

STRUCTURAL DETAILS

NOVEMBER 14, 2017

S005



LANDIS

A DESIGN-BUILD FIRM
7639 BLAIR ROAD, NEW SITE, 300
WASHINGTON, DC 20012
PHONE: 202-726-3777
FAX: 202-482-9703
WWW.LAZ883CONSTRUCTION.COM

Professional Certification
Initially no three documents were
submitted or approved by me, and
I am not a duly licensed architect
in the State of
Michigan. I am number 13463.
Last issued date October 22, 2018.

PERMIT SET

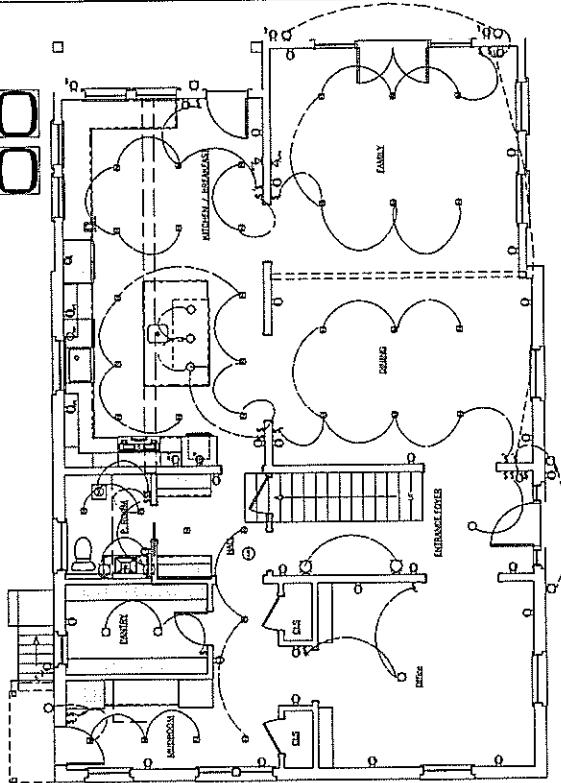
Project Team	Project Designer	Team Share	Author ID
Customer Manager	Customer Manager	Customer Manager	Customer Manager

ROSENTHAL
RESIDENCE

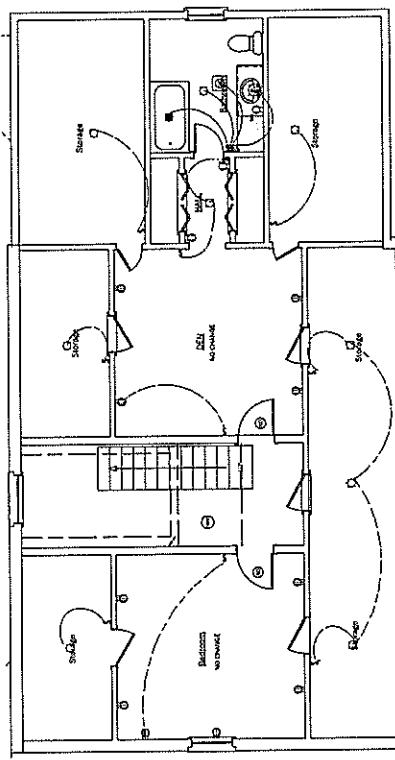
ELECTRICAL PLANS

NOVEMBER 14, 2017

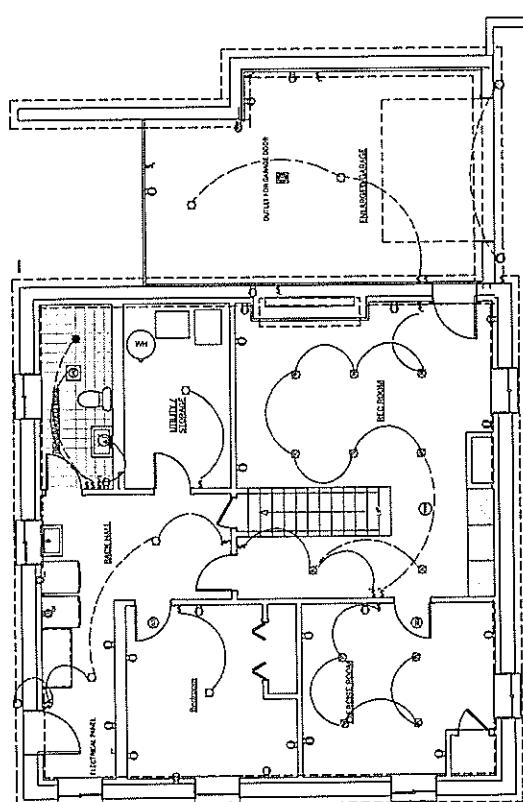
E001



1ST FLOOR ELECTRICAL PLAN

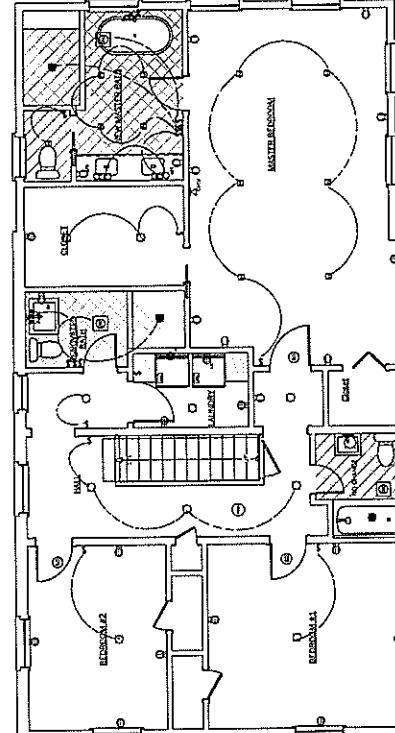


ATTIC ELECTRICAL PLAN



ELECTRICAL NOTES:
1. ALL NEW ELECTRICAL, BOX & LOCATIONS TO BE FIELD
VERIFIED WITH THE CLIENT. ALL RELOCATED IN REASONABLE WORK.
2. RELOCATED APPLIANCES ARE REQUIRED TO BE SHARER OF
EASING. SHARING PLATES & COUTERS AS
EASING.
3. PROVIDE ELECTRICAL FROG IN HVAC. APPLIANCES AS
EQUIPPED.
4. PROVIDE SERVICES TO BE AS A.P.S.
5. PROVIDE SERVICES TO BE AS A.P.F.
6. BATHROOM OUTLETS TO BE AS 42" A.P.F.
ALL OTHER OUTLETS TO BE AS 30" A.P.F.
7. TELECOMMUNICATION OUTLETS TO BE DETERMINED IN FIELD WITH
THE CONTRACTOR.
8. AIR CONDITIONING UNITS TO BE BY OTHERS.
9. AIR EXHAUST VENTING TO BE BY OTHERS.

BASEMENT ELECTRICAL PLAN

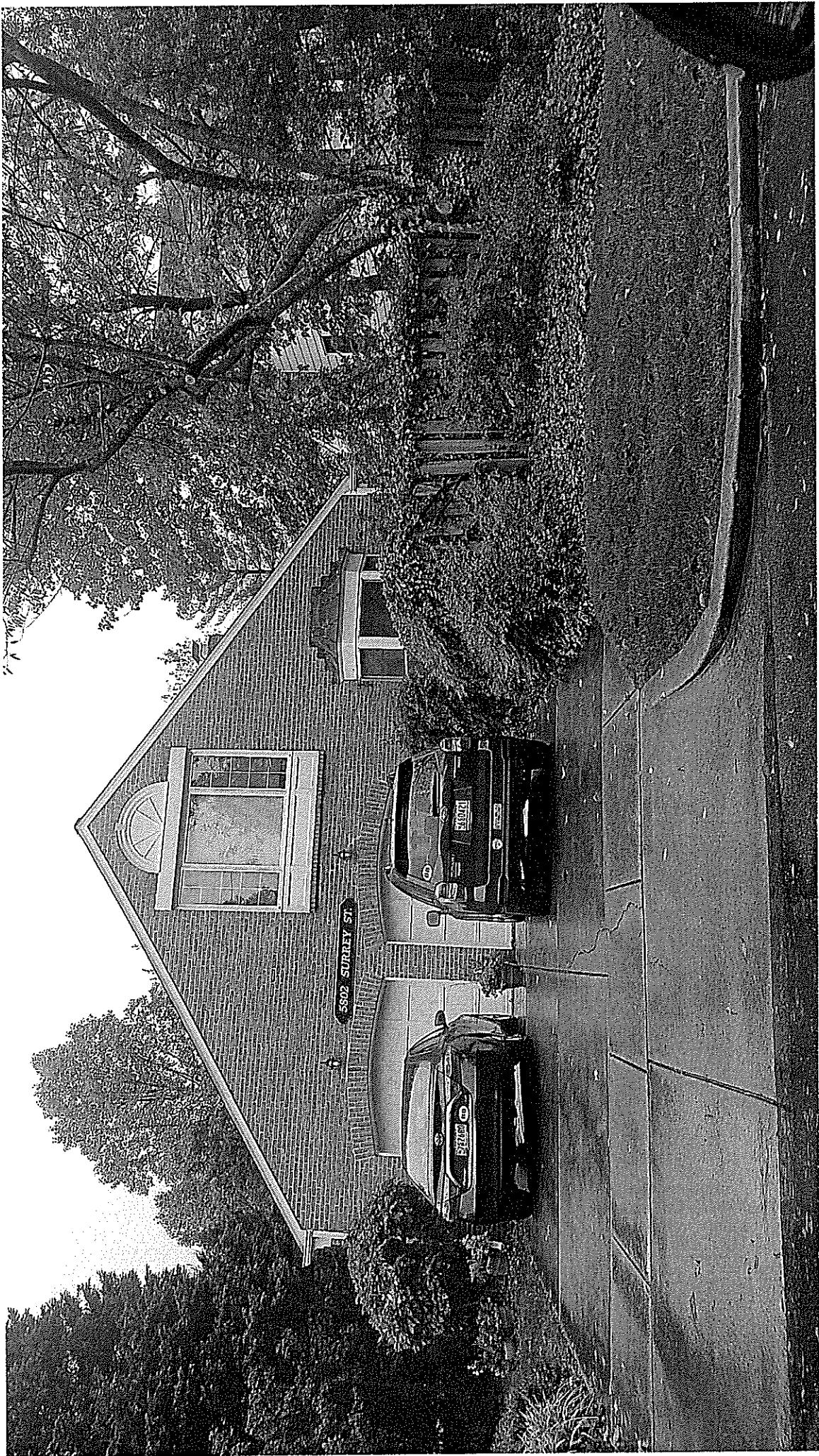


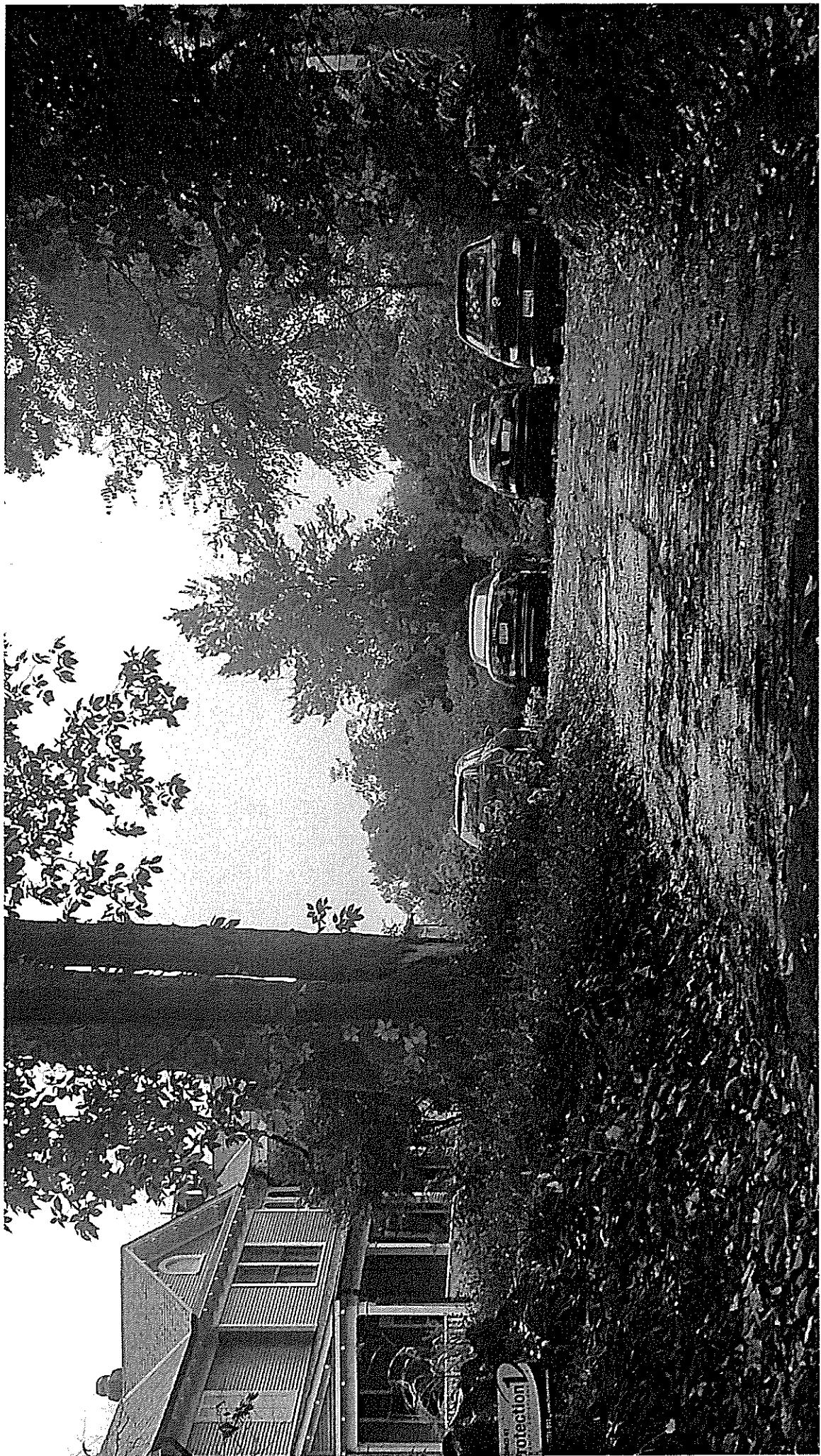
2ND FLOOR ELECTRICAL PLAN

RECORDED IN THE RECORDS OF THE STATE OF NEW YORK











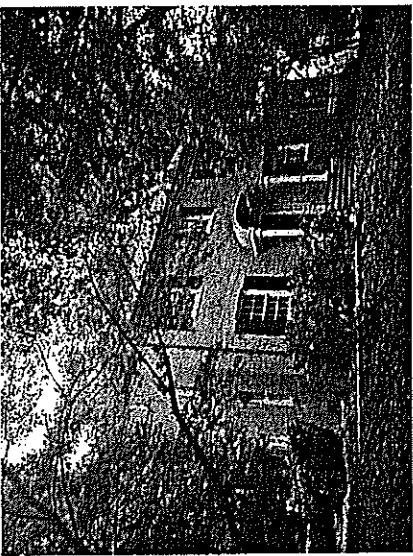
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Aviva and Dan Rosenthal	Landis Architects/ Builders
5813 Surrey St.	7059 Blair Road, NW #300
Chevy Chase, MD	Washington, DC
Adjacent and confronting Property Owners mailing addresses	
James Regan & Sandra Riley 5809 Surrey St. Chevy Chase, MD	Agnes Holland & Matthew Grolowski 47722 Cumberland Ave Chevy Chase, MD

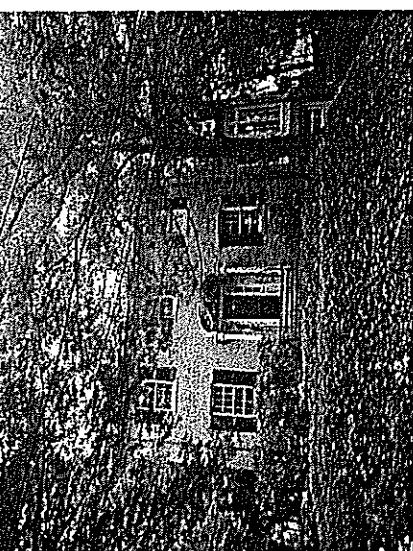
PREVIOUS PROPOSAL

ROSENTHAL RESIDENCE

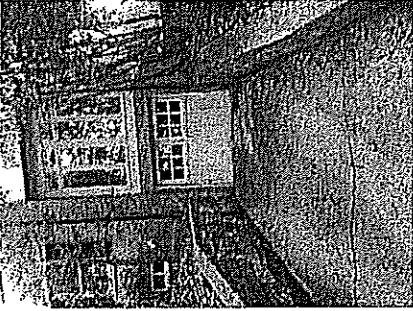
5813 Surrey Street Chevy Chase, MD



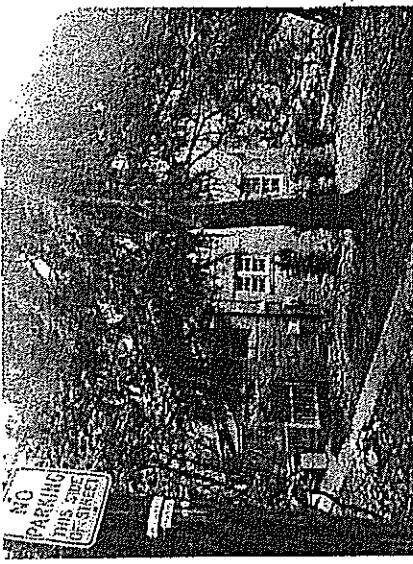
HOUSE AS SEEN FROM CUMBERLAND & SURREY STREETS



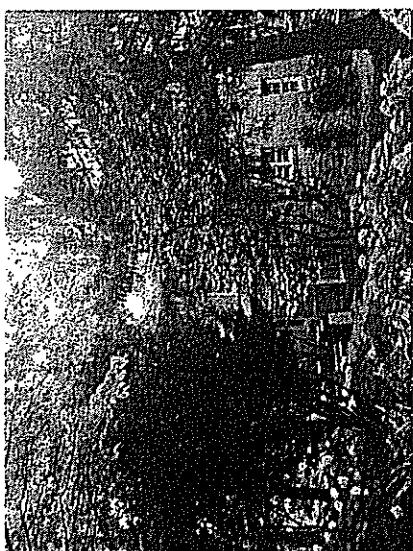
HOUSE AS SEEN FROM SURREY STREET



DRIVEWAY AS SEEN FROM SURREY STREET



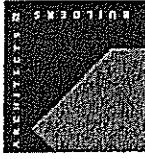
HOUSE AS SEEN FROM CUMBERLAND STREET



HOUSE AS SEEN FROM SIDE YARD



HOUSE AS SEEN FROM SIDE YARD



LANDIS

DESIGN-BUILD-FINISH
725½ MARQUETTE AVENUE, SUITE 300
WASHINGTON, DC 20012
PHONE: 202-262-6377
FAX: 202-262-2703
WWW.LANDISCONSTRUCTION.COM

Associate	Client
Chris Landis	
Paul Givett	
Carol	

Project Team	Team Site
Project Manager	T.B.O.
Team Leader	Chris Landis

HISTORIC REVIEW

ROSENTHAL RESIDENCE

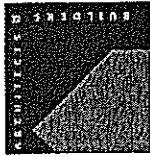
5813 Surrey Street
Chevy Chase, MD

COVER SHEET

OCTOBER 3, 2017

A1.1

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



LANDIS

DESIGN-BUILD-FPMA
205 L'Enfant Plaza SW, STE 300
WASHINGTON, DC 20024
PHONE: 202-772-4277
FAX: 202-772-4700
WWW.LANDISCONSTRUCTION.COM

Approvals	Checklist

Project Team	Team Member
Project Designer	Takao Shiozaki
Project Manager	T.B.D.
Team Leader	Chris Landis

HISTORIC
REVIEW

ROSENTHAL
RESIDENCE

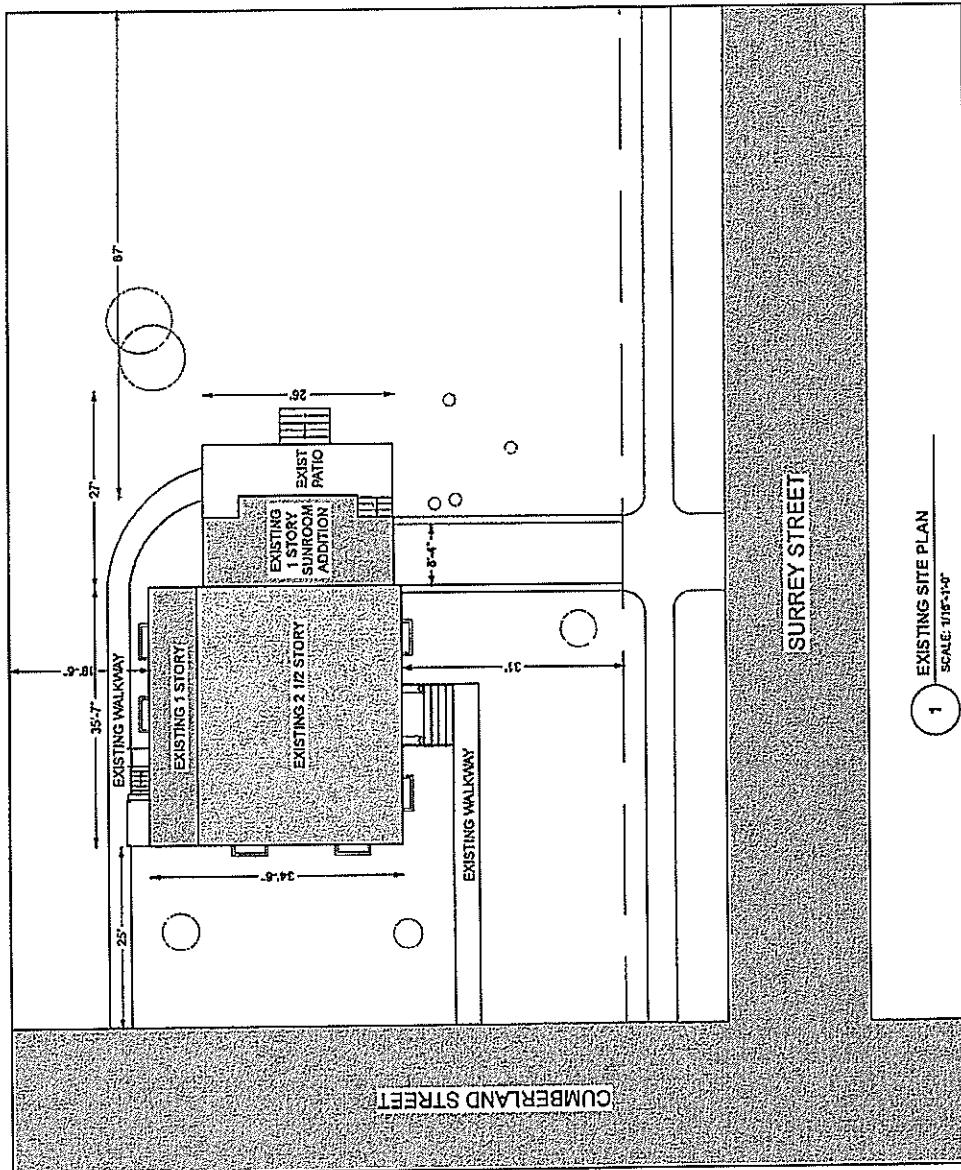
5613 Surrey Street
Cherry Chase, MD

SITE PLAN

OCTOBER 3, 2017

A1.2

Copyright 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FACSIMILED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.





LANDIS

A DESIGN AND BUILD
GENERAL CONTRACTOR
7000 PARK LANE, SUITE 300
WASHINGTON, DC 20012
PHONE: 202-375-2777
FAX: 202-375-2973
WWW.LANDISCONSTRUCTION.COM

Associate	Client Landis	Project Dates	Client

Project Team	Project Manager	Team Lead
	T.B.O.	Chris Landis

**HISTORIC
REVIEW**

**ROSENTHAL
RESIDENCE**

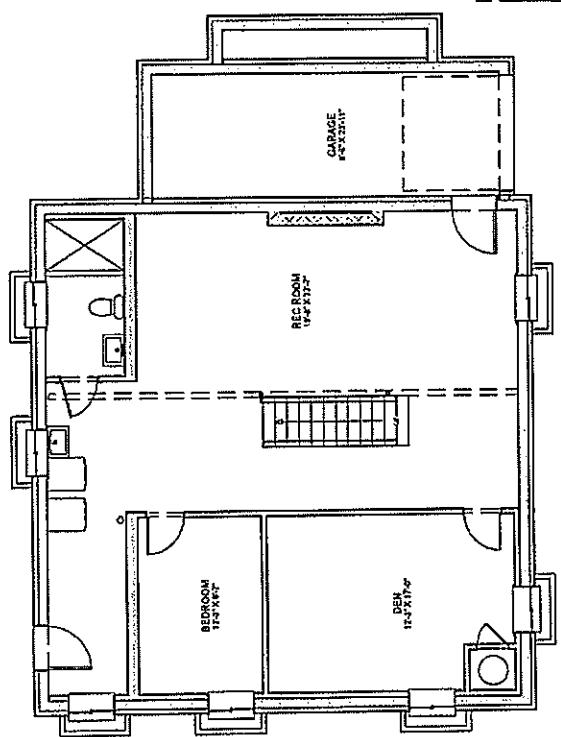
5813 Sunray Street
Chevy Chase, MD

EXISTING PLANS

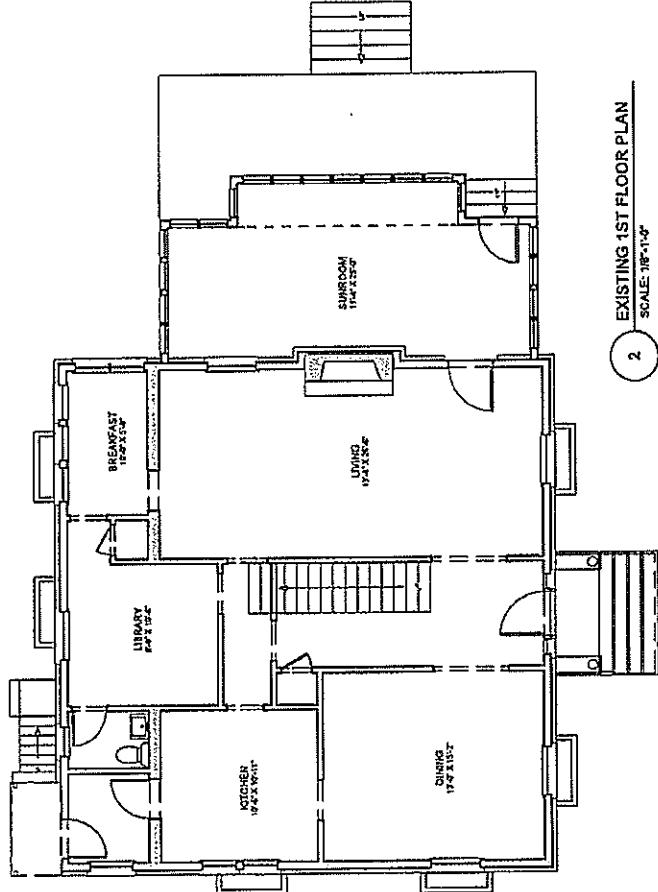
OCTOBER 3, 2017

A1.3

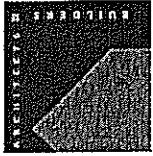
COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



1 SCALE: 1/8"=1'-0"



2 EXISTING 1ST FLOOR PLAN
SCALE: 1/8"=1'-0"



LANDIS

A DESIGN-BUILD FIRM
725 1/2 LABY RD, NW, SUITE 300
WASHINGTON, DC 20012
PHONE: 202-292-3222
FAX: 202-292-3703
WWW.LANDISCONSTRUCTION.COM

Associate	Chris Landis
Park Greiner	
Claire	

Project Team	Team Lead
Project Delays	TBD
Project Manager	Chris Landis
Team Leader	Chris Landis

HISTORIC
REVIEW

ROSENTHAL
RESIDENCE

5613 SUNNY STREET
CHEVY CHASE, MD

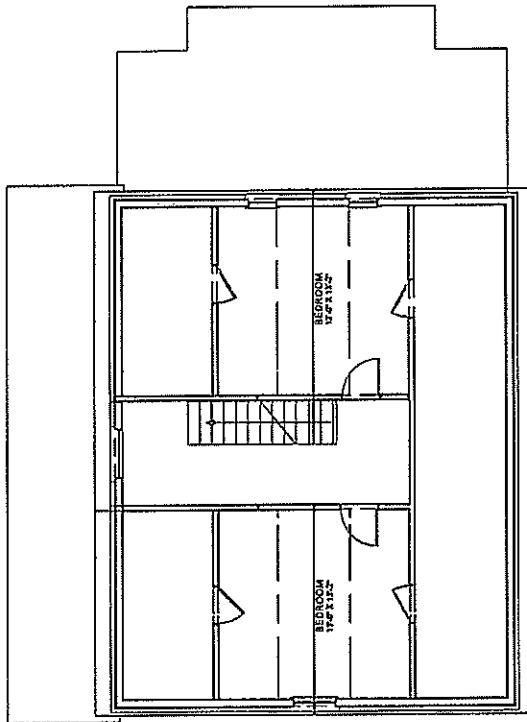
EXISTING PLANS

OCTOBER 3, 2017

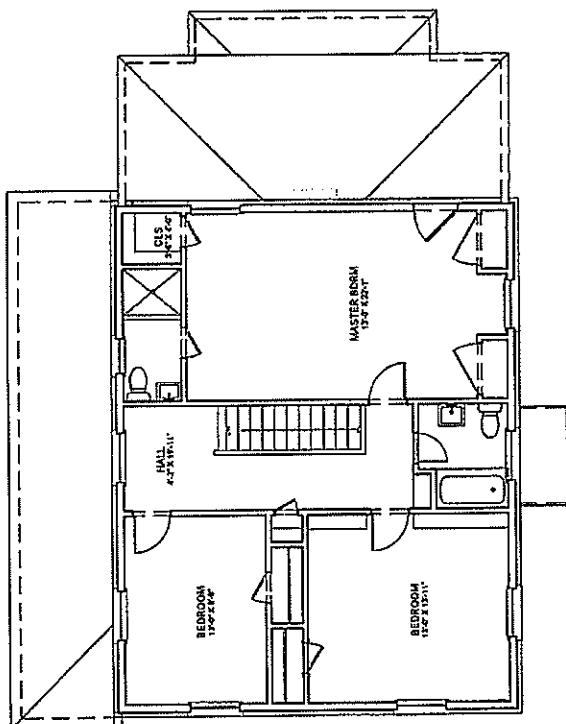
A1.4

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE-NAMED PROJECT.

EXISTING ATTIC PLAN
SCALE: 1/8"=1'-0"



1 EXISTING 2ND FLOOR PLAN
SCALE: 1/8"=1'-0"





LANDIS
CONSTRUCTION
A DESIGN-BUILD FIRM
7500 B LEE ROAD, NW STE 300
WASHINGTON, DC 20012
PHONE: 202-726-9777
FAX: 202-685-4753
WWW.LANDISCONSTRUCTION.COM

Associate	
Civie Landis	
Paul Gister	
Chair	

Project Team	
Project Designer	Tahani Sharif
Project Manager	T.B.D.
Team Leader	Civie Landis

HISTORIC
REVIEW

ROSENTHAL
RESIDENCE

5893 Surrey Street
Chevy Chase, MD

EXISTING
ELEVATIONS

OCTOBER 3, 2017

A1.5

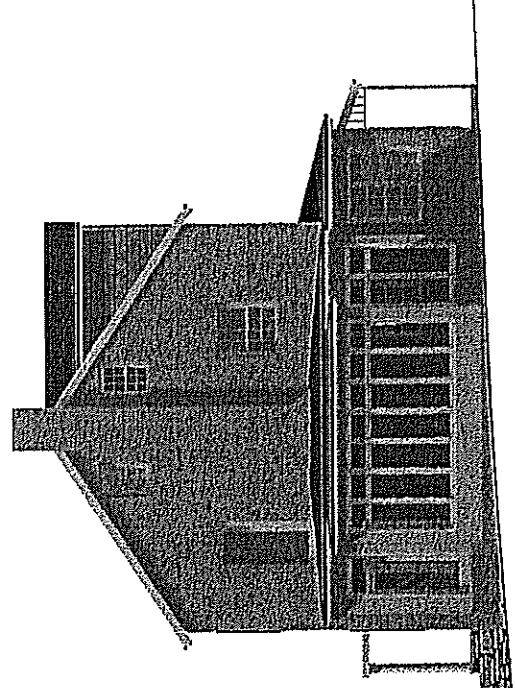
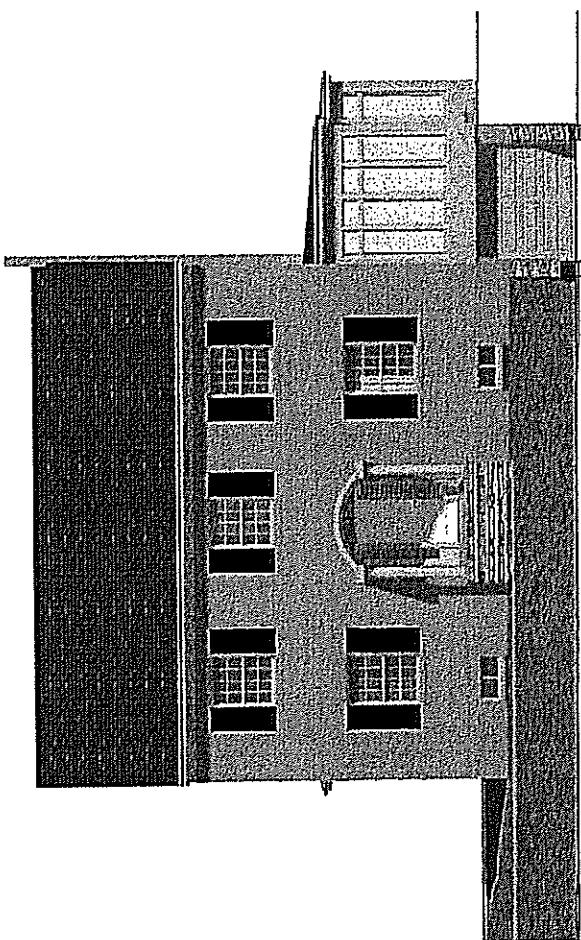
COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.

EXISTING SOUTH SIDE ELEVATION

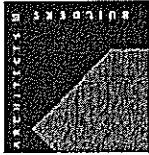
2

SCALE: 1/8"=1'-0"

1 EXISTING FRONT ELEVATION
SCALE: 1/8"=1'-0"



12



LANDIS

A DESIGN-BUILD FIRM
1011 K STREET, NW, SUITE 300
WASHINGTON, DC 20004
PHONE: 202-524-3777
FAX: 202-524-2703
WWW.LANDISCONSTRUCTION.COM

Attachment	
Child Landis	
Paul Landis	
Chim	

Project Team	
Project Designer	Todd Sharpe
Project Manager	T.B.D.
Team Leader:	Chris Landis

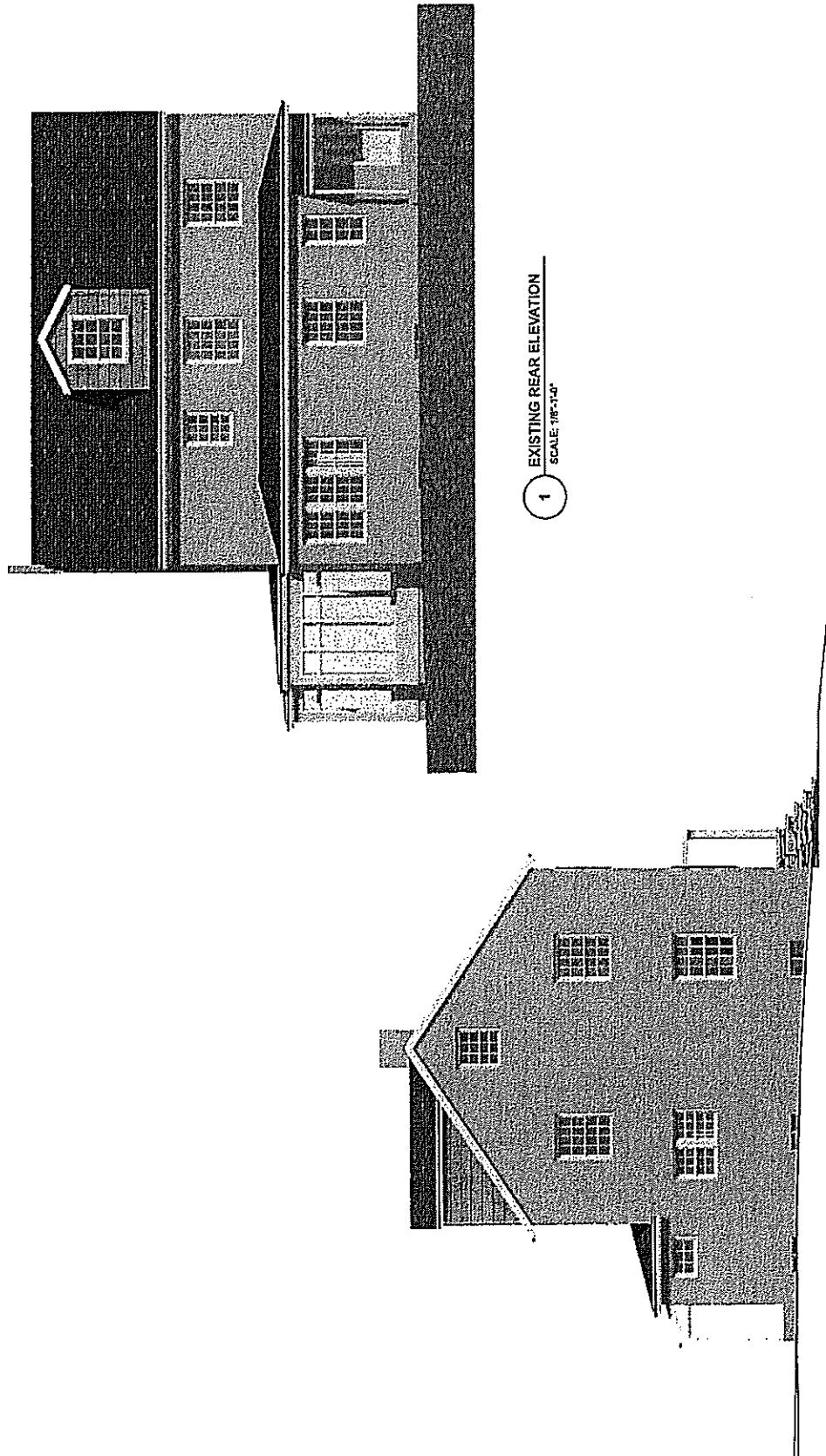
**HISTORIC
REVIEW**

ROSENTHAL
RESIDENCE
5613 Surrey Street
Chevy Chase, MD

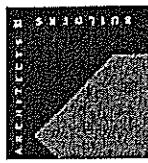
EXISTING
ELEVATIONS

OCTOBER 3, 2017

A1.6



COPYRIGHT 2015, THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, COPIED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



LANDIS

A DESIGN BUILD FIRM
2059 BLAIR ROAD, NW STE 300
WASHINGTON, DC 20012
PHONE: 202-726-3777
FAX: 202-381-9703

Approvals	
Chris Landis	
Paul Gossel	
Clerk	

Project Team	Timeline Status	Budget Status	Risk Level
Project Designer	On Track	Under Budget	Low
Project Manager	On Track	Under Budget	Low
Team Leader	On Track	Under Budget	Low

HISTORIC REVIEW

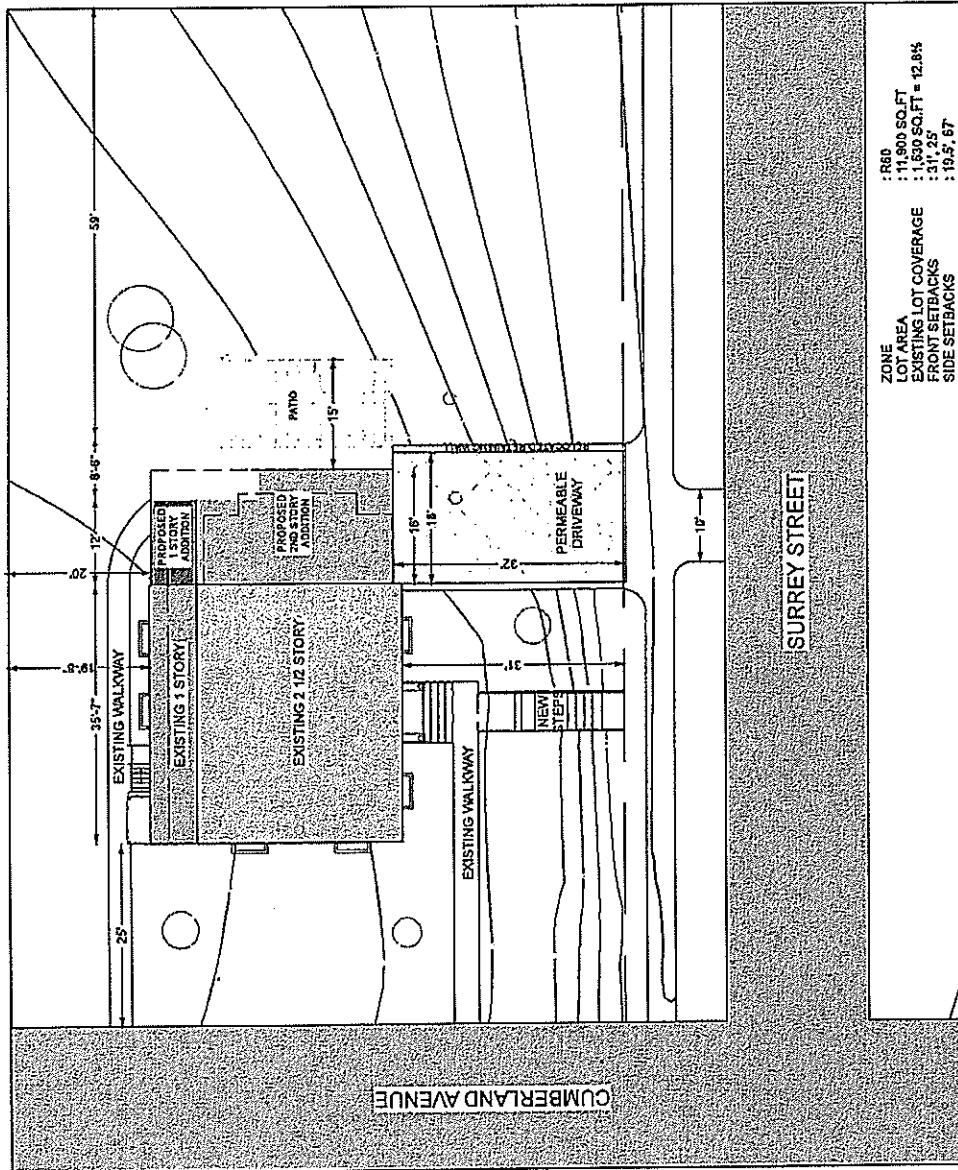
ROSENTHAL
RESIDENCE

5813 Surrey Street
Fairfax Chase MD

PROPOSED SITE
PLAN

OCTOBER 3, 2017

A1.7



©LANDIS CONSTRUCTION CORPORATION 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



LANDIS

A DESIGN BUILD FIRM
2001 M STREET NW STE 300
WASHINGTON, DC 20037
PHONE: 202/224-5777
FAX: 202/224-7723
WWW.LANDISCONSTRUCTION.COM

Approvals	Comments
C&H Landis	
Paul Glaser	
Chair	

Project Team	Team Status
Project Designer	TBD
Project Manager	Chevy Landis
Team Leader	Chevy Landis

**HISTORIC
REVIEW**

**ROSENTHAL
RESIDENCE**

8613 Surrey Street

Chevy Chase, MD

**PROPOSED
PLANS**

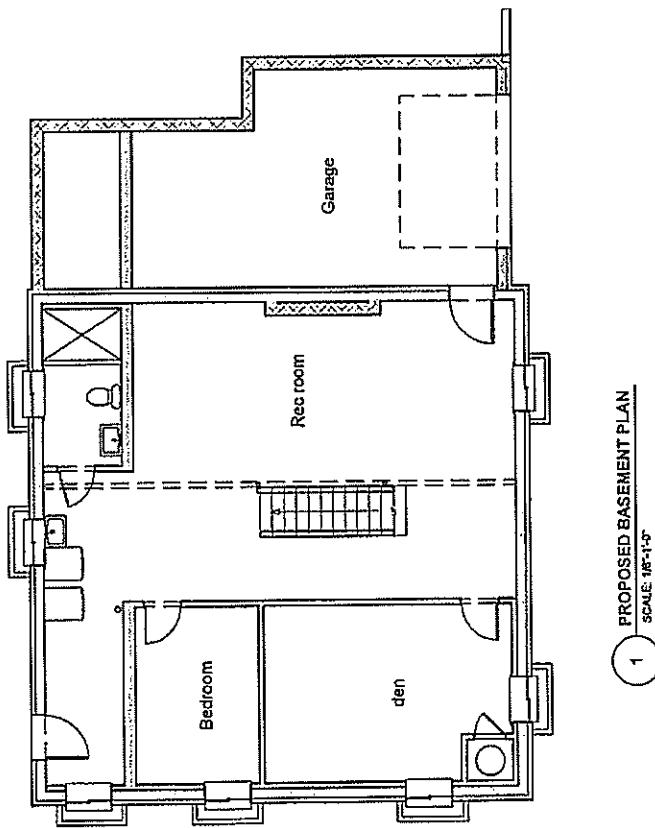
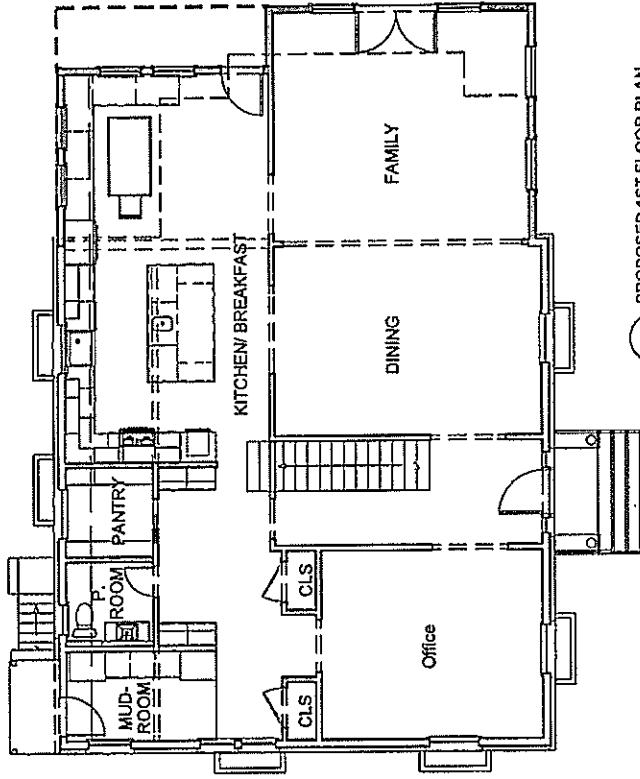
OCTOBER 3, 2017

A1.8

PROPOSED 1ST FLOOR PLAN

2

SCALE: 10'-0" X 14'-0"



1 PROPOSED BASEMENT PLAN

SCALE: 10'-0" X 14'-0"

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.

[Handwritten signature]



LANDIS

A DESIGN AND BLDG. FIRM
LANDIS CONSTRUCTION CORP.
10111 LEE ST., SUITE 100
WILMINGTON, DE 19803
PHONE: 302-424-5277
FAX: 302-424-2279
WWW.LANDISCONSTRUCTION.COM

Architects

Chris Landis

Paul Gobet

Client

Project Team

Team Lead:

T.B.D.

Project Manager:

Chris Landis

Team Leader:

**HISTORIC
REVIEW**

**ROSENTHAL
RESIDENCE**

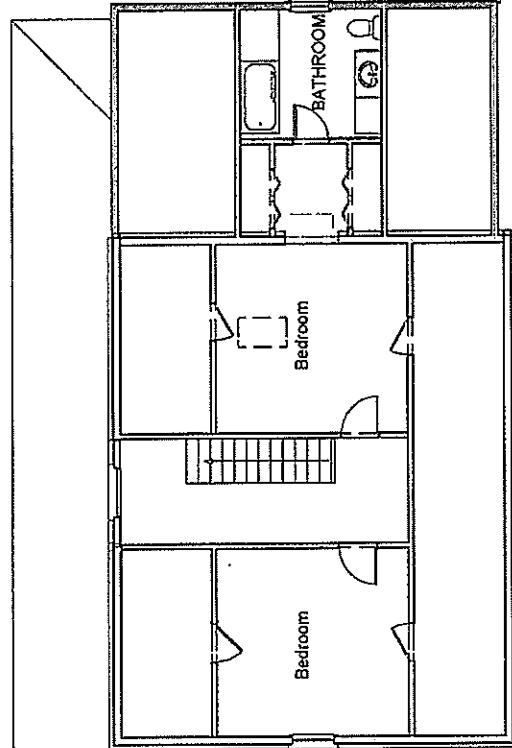
5013 Surrey Street
Chevy Chase, MD

**PROPOSED
PLANS**

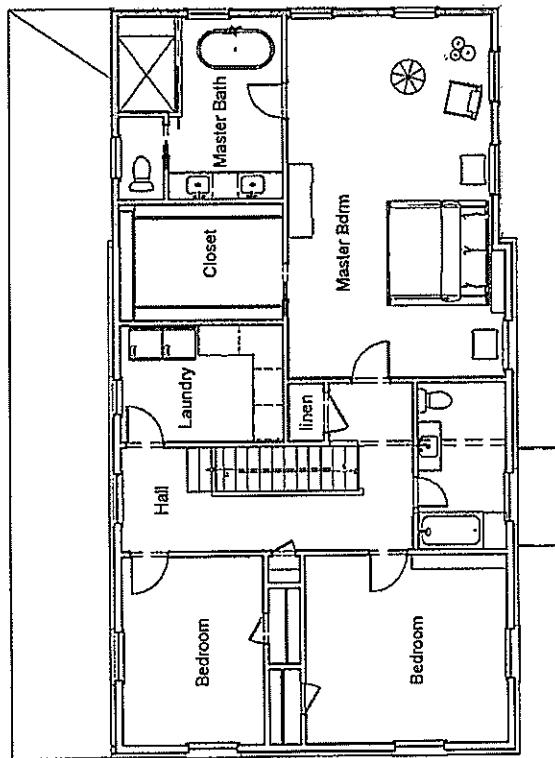
OCTOBER 3, 2017

A1.9

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.

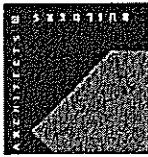


2
PROPOSED ATTIC PLAN
SCALE: 1/8"-1'-0"



1
PROPOSED 2ND FLOOR PLAN
SCALE: 1/8"-1'-0"

(Signature)



LANDIS

A DESIGN AND FIRM
1109 MARQUETTE, NW STE 300
WASHINGTON, DC 20012
PHONE: 202-324-0377
FAX: 202-324-2120
WWW.LANDISCONSTRUCTION.COM

Associate	Chris Landis
	Paul Geller
	Cheet

Project Team	Tanvir Shah
Project Manager	T&D
Team Leader	Chris Landis

HISTORIC
REVIEW

ROSENTHAL
RESIDENCE

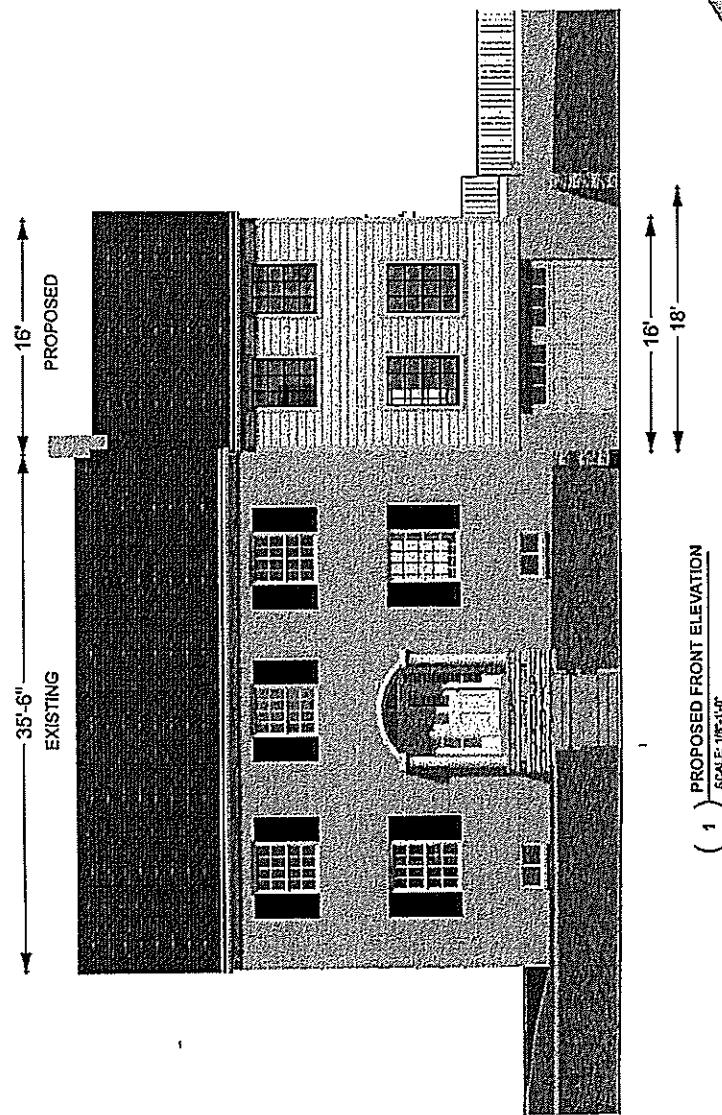
5613 Sumney Street
Chevy Chase, MD

PROPOSED
ELEVATIONS

OCTOBER 3, 2017

A1.10

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAXED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



1 PROPOSED FRONT ELEVATION
SCALE: 1/8"=1'-0"

2 PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/8"=1'-0"



LANDIS

A DESIGN-BUILD FIRM
2011 SURREY STREET, SUITE 200
WALNUTON, MD 20934-2772
PHONE: 301-274-3777
FAX: 301-274-2703
WWW.LANDISCONSTRUCTION.COM

Address:	
Chris Landis	
Paul G. Gabel	
Chair	

Project Team:	
Project Designer	Tahari Shire
Project Manager	T.B.D.
Team Leader	Chris Landis

HISTORIC
REVIEW

ROSENTHAL
RESIDENCE

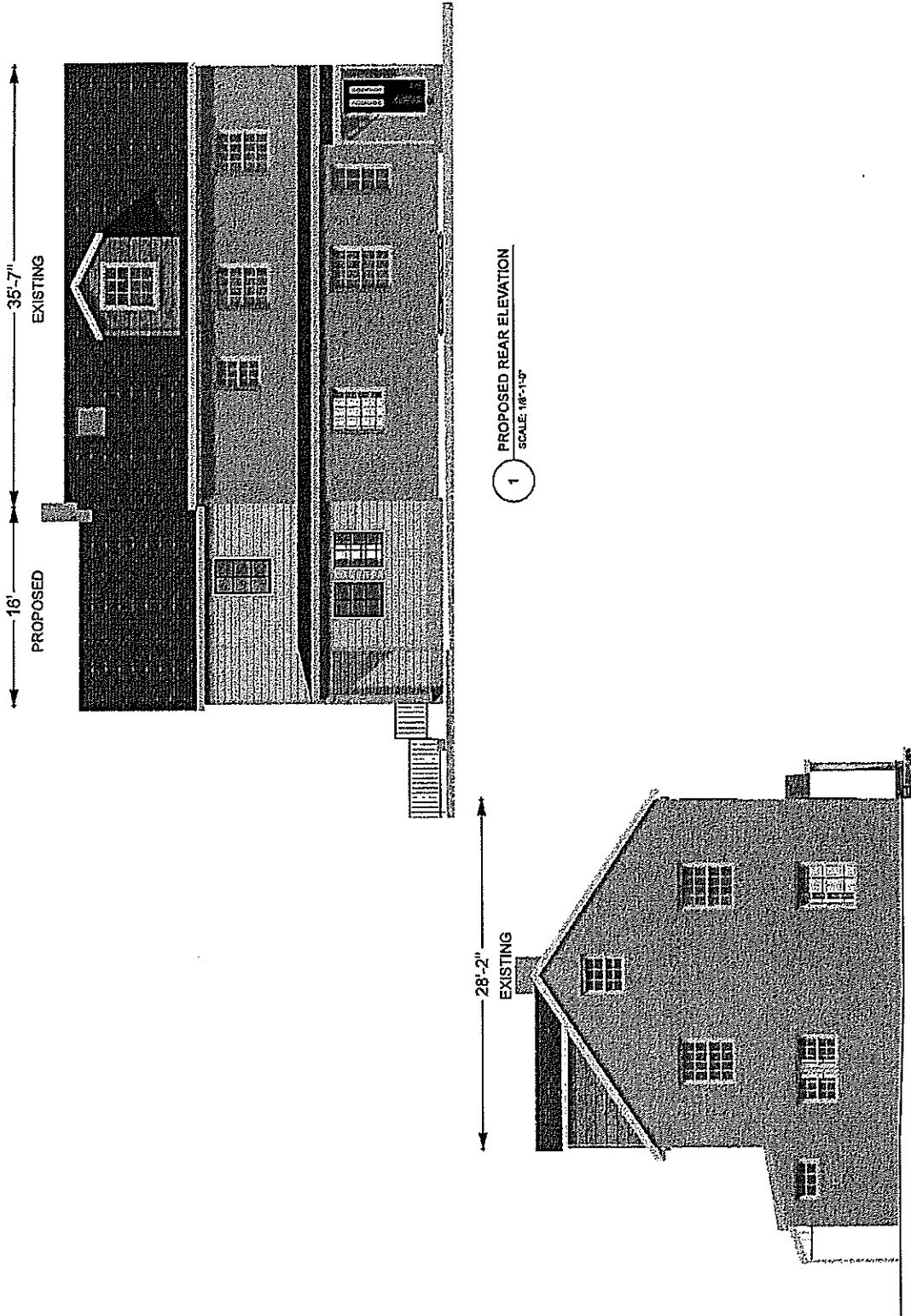
8813 Surrey Street
Chevy Chase, MD

PROPOSED
ELEVATIONS

OCTOBER 3, 2017

A1.11

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FAKED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.





LANDIS

A DESIGN-BUILD FIRM
701A LARK ROAD, SUITE 300
WILMINGTON, NC 28402
PHONE: 704.274.3772
FAX: 704.274.2470
WWW.LANDISCONSTRUCTION.COM

Associate	
Chris Landis	
Paul Gitter	
Chad	

Project Team	
Project Director	TBD
Project Manager	TBD
Team Leader	Chris Landis

HISTORIC
REVIEW

ROSENTHAL
RESIDENCE

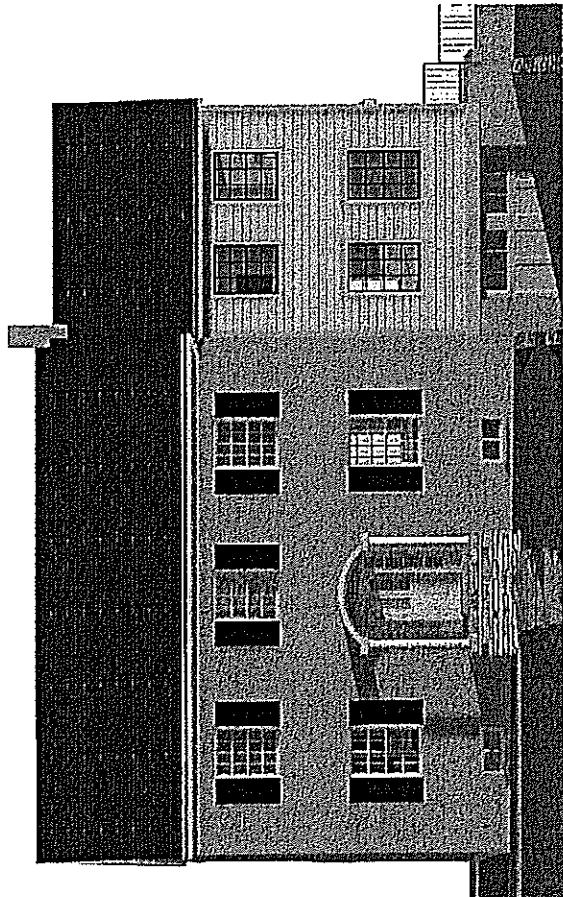
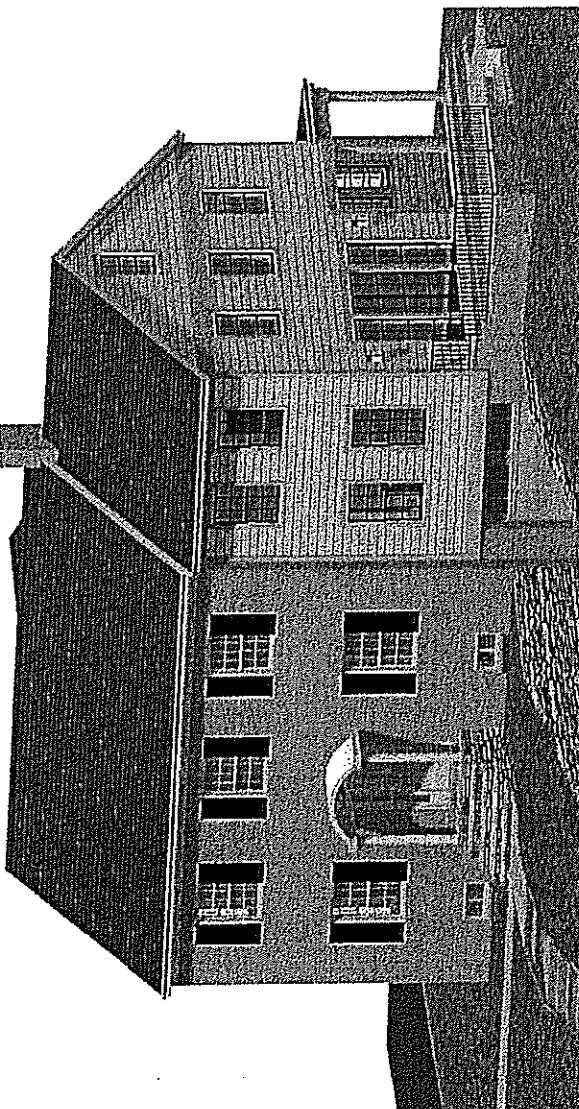
5813 Surrey Street
Chevy Chase, MD

3D VIEWS

OCTOBER 3, 2017

A1.12

COPYRIGHT 2015. THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF LANDIS CONSTRUCTION CORPORATION, AND ARE NOT TO BE REPRODUCED, FADED, PHOTOCOPIED, SCANNED OR OTHERWISE USED FOR ANY OTHER PURPOSE THAN THE CONSTRUCTION DOCUMENTS FOR THE ABOVE NAMED PROJECT.



1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

2

3

4 - - - - - X
5 :
HISTORIC AREA WORK PERMIT :
10201 Menlo Avenue : HPC Case No. 31/07-17G

6 :
7 :
PRELIMINARY CONSULTATION :
5813 Surrey Street :
8 :
9 :
PRELIMINARY CONSULTATION :
7400 Wisconsin Avenue :
10 :
11 :
12 :
13 :
14 :
15 :
16 :
17 :
18 :
19 :
20 :
21 :
22 :
23 :
24 :
25 :
A meeting in the above-entitled matter was held on
October 25, 2017, commencing at 7:49 p.m., in the MRO
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
20910, before:

16 COMMITTEE MEMBERS

17 Bill Kirwan, Chair
18 Sandra Heiler
18 Marsha Barnes
19 Kenneth Firestone
20 Richard Arkin
20 Eliza Voigt
21 Robert Sutton

25 **Deposition Services, Inc.**

12321 Middlebrook Road, Suite 210

Germantown, MD 20874

Tel: (301) 881-3344 Fax: (301) 881-3338

info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Phillip Estes

Michael Kyne

Daniel Bruechert

APPEARANCES

STATEMENT OF:

	<u>PAGE</u>
Minter Farnsworth	17
Jennie Ritchie	20
Tori Lehmanz	23
Kerstin Florian-Staguhn	25
Harry Volce	28
Lynn Bush	31
Emily Volce	33
Johannes Staguhn	35
Catherine Lowry	40
Diane Cameron	42
Mike Livermore	44
Tahani Share	67
Dan Rosenthal	68
Brian Detweiler	81
John Porter	85

TABLE OF CONTENTS

	<u>PAGE</u>
I. <u>HISTORIC AREA WORK PERMITS</u>	
Case B	5
Case D	5
Case E	5
Case F	5
Case G	5
Case H	5
Case I	5
Case J	5
Case L	5
Case N	5
Case O	5
Case A	5
II. <u>PRELIMINARY CONSULTATIONS</u>	
Case A	62
Case B	72
III. <u>MINUTES</u>	
A. June 14, 2017	114
IV. <u>OTHER BUSINESS</u>	
A. Commission Items	115
B. Staff Items	115

1 MR. FARNSWORTH: Yeah. And actually, when I
2 submitted this, I didn't know if I should go as a
3 preliminary or as a application. And, it was kind of left
4 to Staff, and Staff was like, you know, go that route. So
5 that's the reason that I'm down that road. So, I think,
6 is it a continuance, is that what it is?

7 MR. KIRWAN: Yes, we'll continue this matter at
8 a future hearing and based on your deadline, so you can
9 get things into Staff.

10 MR. FARNSWORTH: Yeah, I think I'll do the
11 continuance.

12 MR. KIRWAN: Okay, great. Thank you very much,
13 I appreciate that. We look forward to seeing you come
14 back. Sorry, we don't take any questions. Okay. We're
15 going to move on to the next item on our agenda, which are
16 the preliminary consultations. The first of which is II.A
17 at 5813 Surrey Street in Chevy Chase. Do we have a Staff
18 Report?

19 MR. KYNE: Yes, we do have a Staff Report. And
20 I guess I can start over here since we don't have the
21 microphones. As noted, this is 5813 Surrey Street, Chevy
22 Chase. A secondary post-1915 resource within the Somerset
23 Historic District, colonial revival style, circa 1933.
24 The Commission saw this at the September 19th meeting, and
25 at that time expressed the following concerns.

1 The Commission did not support the proposed rear
2 extension or addition, finding that the rear
3 (indiscernible) of the house was likely historic and that
4 due to the visibility of the rear from Cumberland Avenue,
5 the proposal had the potential to detract from the
6 character of the house. The Commission expressed general
7 support for the proposed side addition, finding that that
8 was the best location for an addition at this property.
9 However, the Commission found that the proposed side
10 addition must take more visual cues from the historic
11 house. Specifically, the side addition was too complex
12 with too many roof forms, and needed to be more
13 symmetrical.

14 The Commission supported slightly enlarging the
15 existing driveway at the front, but found that the
16 proposed expansion from 8 feet, 4 inches to 20 feet wide
17 was inconsistent with the character of the streetscape.
18 And the Commission found that the proposed front stairs
19 and walkway were too substantial and suggested that the
20 perceived massing should be minimized.

21 So the current proposal, the revised proposal is
22 to enlarge an existing one-story addition and below grade
23 garage at the right side of the house. Construction a
24 second-story expansion over the enlarged right side
25 addition and garage, enlarge the existing driveway at the

1 front of the property, and construct a new central walkway
2 and steps at the front. And, we'll just walk around the
3 property starting at the front, and moving around to the
4 right. And I can come back to any of these if we need to
5 later.

6 Just looking at the space at the right side of
7 the property. Back toward the house. And then moving
8 around toward the rear. Looking towards Cumberland
9 Avenue. And then standing on Cumberland Avenue looking
10 back at the house. And I do have the plans, both of the
11 existing structure and the proposed, if we need to
12 reference those later.

13 And the applicable guidelines here are the
14 Secretary of Interior Standards for Rehabilitation. And
15 the applicant has made some revisions based upon the
16 Commission's previous comments. The previously proposed
17 rear extension and addition has been removed from the
18 proposal. The proposed side addition has been simplified
19 and made more symmetrical. The windows on the front
20 elevation of the proposed side addition take more cues
21 from the historic house with double hung divided light
22 windows, matching head heights, similar muntin patterns,
23 and a stacked appearance.

24 The width of the proposed expanded driveway has
25 been reduced from 20 feet to 18 feet. From the submitted

1 plans and elevation it appears that the width of the
2 proposed front stairs and walkway has been decreased, and
3 it appears that the materials for the front stairs and
4 walkway have also been made -- have been simplified, and
5 they are proposing concrete in lieu of the previously
6 proposed stone.

7 Staff is generally supportive of the revisions,
8 finding that most of the Commission's concerns have been
9 addressed. However, I ask for your guidance regarding the
10 following: because they are located on secondary
11 elevations, are the proposed casement windows on the side
12 and rear of the proposed side addition appropriate, or
13 should they be more consistent with the windows of the
14 historic house?

15 Has the width of the proposed driveway been
16 reduced enough, or should it be reduced further? Because
17 materials have not been specified on the proposed plans
18 and elevations, Staff asks the Commission's guidance
19 regarding the appropriateness or regarding appropriate and
20 compatible materials for all aspects of the proposed
21 project. And, with that, I will conclude. I do recommend
22 at this point that the applicants listen to the
23 Commissions concerns and suggestions, and return with a
24 HAWP application. And I can take any questions the
25 Commission might have for me.

1 MR. KIRWAN: Any questions? Yes, Commissioner
2 Arkin?

3 MR. ARKIN: Thank you, Mr. Chairman. You
4 mentioned that most of the concerns expressed by the
5 Commission had been addressed. Could you outline those
6 that were not addressed.

7 MR. KYNE: Oh, I'm sorry. If I did say that, I
8 misspoke. Most of the concerns have been addressed. And
9 the concerns were the ones that I mentioned at the
10 beginning of the presentation which I can reiterate now.

11 MR. ARKIN: Well, I'm asking the negative side
12 of that. Were there suggestions that were made by the
13 Commission that were not incorporated into this design?

14 MR. KYNE: Oh sorry, I misunderstood. I don't
15 believe that there were any specific suggestions that
16 weren't incorporated. I know that there was specific
17 mention of reducing the driveway, I think, to a max of 14
18 feet by at least one Commissioner. And, as noted, they're
19 proposing 18 feet, so that's probably why I stated that
20 most of the concerns have been addressed.

21 MR. ARKIN: Thank you.

22 MR. KIRWAN: Any other questions for Staff? All
23 right, if not, welcome the applicant to please come
24 forward. We can give you seven minutes for your testimony
25 and please state your name for the record before you

1 speak, and be mindful of the little mouse there in the
2 middle. That's the microphone tonight.

3 MS. SHARE: Hello, my name is Tahani Share. I'm
4 here representing Landis Architects Builders, and I'm here
5 with the homeowner, Dan Rosenthal.

6 MR. ARKIN: Could you speak up, please, I can't
7 -- I'm having trouble hearing you.

8 MS. SHARE: I introduced myself. I'm Tahani
9 Share from Landis Architects Builders, and I'm here with
10 Dan Rosenthal, the owner of the property. So, at this
11 point actually, we would like to hear if the Commission
12 has any other concerns that you would like us to address.
13 Just wanted to address the driveway width. And again,
14 this is an issue with the parking, limitations of parking
15 in Somerset Town. Eighteen feet would actually allow for
16 two cars, which is what the homeowners are hoping for.
17 Two cars, and maybe another car in the garage would solve
18 the problem. And actually, this is something that the
19 neighbors were very happy with when we showed them the
20 plans because that is also something that can help the
21 neighbors solve the limitation of parking in the area.

22 The other comment is on the materials.
23 Actually, we are proposing Hardi siding with Hardi band
24 boards that will be painted in a color that is
25 complimentary to the existing brick house. And, we're

1 taking cues, as Michael said, so the band boards and
2 windows. As far as the side windows being casements or
3 double hung, I think we are open. At this point we just
4 think that the side elevation with the side lights next to
5 the door just make the casement windows appear more
6 appropriate. But we are willing to listen to your
7 comments on that.

8 MR. ROSENTHAL: Good evening, I'm Dan Rosenthal,
9 the homeowner. I have really nothing to add. I
10 appreciate the work of Staff and the Commission up to this
11 point.

12 MR. KIRWAN: Thank you. Any questions for the
13 applicant? All right, if not, we don't have any
14 witnesses, so we'll move into deliberations. Anybody want
15 to kick things off with our comments. I think it'll be
16 helpful for them to hear from all of us and our views on
17 what they propose since there may be a different
18 composition to the Commission when they come back for a
19 HAWP.

20 MS. BARNES: First, I want to say that I
21 appreciate the changes you've made to the design of the
22 house. I think it's a better outcome, and I also
23 appreciate the reduction of attention you gave to the
24 steps and the walk. I think this is more compatible. The
25 only thing that is an issue for me still is the width of

1 the driveway and how that compares with other homes in the
2 neighborhood. But, I'm grateful that you took on board
3 the suggestions that were made about the addition when you
4 came for the first preliminary. And with regard to the
5 casement windows on the side, I would be comfortable with
6 those.

7 MR. SUTTON: I agree that I like the changes
8 you've made. I think the -- one of the concerns I had, I
9 think, was that the addition looked a little bit too
10 historic, and I think you have delineated that it's a
11 modern addition, and I appreciate that. We have friends
12 that live in the neighborhood, and I understand the
13 parking issue. And I understand that to get two cars you
14 really have to have that width. So, that was a concern of
15 mine originally. I appreciate that you've cut it down a
16 little bit, and I think you've addressed most of our
17 issues.

18 MR. KIRWAN: Commissioner Arkin, you want to
19 wrap up that side of the?

20 MR. ARKIN: Thank you. I agree. I think this
21 is -- I do appreciate the additional work that you have
22 put into this. And I would agree that I think this is
23 much improved. It is much simpler, and I think reflects
24 the neighborhood so much better. And as was previously
25 stated, the addition is clearly something newer, but also

1 is very respectful of the historic part of the house and
2 the surrounding.

3 I would prefer windows that are more historic in
4 design where you are using casement windows. I think it's
5 more important on the side than on the back. But, the
6 casement windows would not be a deal killer for me. And,
7 because I think there is a necessity to try to squeeze as
8 many parking spaces as possible onto the lot with this
9 house to lighten the parking load on the streets, I could
10 accept an 18-foot wide driveway. Thank you.

11 MR. FIRESTONE: I'm going to concur with the
12 other Commissioners who've spoken so far. This plan is
13 definitely an improvement. I guess I would be a little
14 concerned about the driveway, but sometimes there's a
15 necessity for it, and it is something that could
16 conceivably be reversed at some point. You know, with new
17 construction in the future you could make a narrower
18 driveway when the need for cars decreases. And, I guess
19 at this point, I'm ready for you to come back with an
20 actual application.

21 MS. HEILER: I would agree with the previous
22 comments as well. The one thing I think you could do that
23 might minimize the width of the driveway is to delineate
24 the end of the house, or the end of the addition where it
25 meets that wall of the lower level. Since that's 16 feet,

1 if there were a way to continue that line, I think it
2 would make the very large width of the driveway less
3 obvious. Otherwise, I have no objection to the casement
4 windows, and I think this is a big improvement to the
5 design of the front of the addition.

6 MR. KIRWAN: I generally concur with the other
7 Commissioners. I remain concerned about the 18 foot width
8 of the driveway. I had wanted, if my schedule had
9 allowed, I wanted to drive through the neighborhood and
10 just get a sense of whether there were other driveways of
11 similar width. It would be very helpful for me when you
12 come back for a HAWP if you have comparisons and you can
13 provide evidence that this is not, you know, grossly
14 unusual in the district. I will, before you come back for
15 a HAWP, make sure I do go by and try and do that myself.
16 But I think that would be very helpful for me when you
17 come back for a HAWP is to see some sort of driveway
18 comparison, so we can make a better assessment.

19 MS. VOIGT: Yeah, I'm okay with this. Thank
20 you. Appreciate it.

21 MR. KIRWAN: All right. So, I think you heard
22 general appreciation and acceptance of the addition
23 proposal with just possibly me in the minority as the one
24 concerned about the driveway. But, that may be relieved
25 when I go by the neighborhood next time before you come

1 back. So we look forward to seeing you for a HAWP.

2 MS. SHARE: Thank you.

3 MR. KIRWAN: All right, thank you. The next
4 last preliminary consultation tonight is II.B at 7400
5 Wisconsin Avenue, Bethesda. The former Bethesda Post
6 Office site.

7 MR. KYNE: Yes. And we do have a presentation.

8 So, 7400 Wisconsin Avenue, Bethesda. This is a Master
9 Plan Site, the Bethesda Post Office. This is a second
10 preliminary consultation. The site, again it's a Master
11 Plan site, classical revival style, circa 1938. And the
12 applicants appeared for a prelim at the August 16th
13 meeting. At that time, the applicant proposed four
14 different options for sign installation that ranged from
15 one to four, 9 to 19 feet tall freestanding figures at the
16 front of the property. And the Commission did not support
17 any of these options, finding that they overwhelmed and
18 detracted from the building.

19 So we have a new proposal for sign installation
20 at the front and left side tonight. And just to
21 familiarize you with the site a bit, we have some
22 photographs. The same photographs from back in the Summer,
23 as you can maybe tell. And again, plans for reference.
24 And the Commission did request in the worksession that I
25 get copies of the -- color copies of the plans. And I do