

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
PRELIMINARY REVIEW

Address:	7304 Willow Ave., Takoma Park	Meeting Date:	03/22/17
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	03/08/17
Applicant:	Gregory Castano & Erin Holve	Public Notice:	03/01/17
Review:	Preliminary Review	Staff:	Dan Bruechert
Proposal:	Garage Demolition and New Construction		

RECOMMENDATION

Staff recommends that the applicants make any revisions based on the HPC's recommendations and return for a second preliminary consultation

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Bungalow
DATE: 1923

The subject property is one-and-a-half story tall, wood frame bungalow. The side-gable roof has a front gable dormer and extends to cover the full-length front porch. On the left side of the house, to the rear is a one-story garage. The garage, built at the same time as the house, is constructed using cast concrete block, has an asphalt-shingled, front-gable roof with a pair of half-lite swinging garage doors.

PROPOSAL

The proposal calls for demolishing the historic detached garage building and constructing a rear addition in its place.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A).

Montgomery County Code; Chapter 24A-8(b)

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
4. The proposal is necessary in order that unsafe conditions or health hazards be remedied;

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required,

While additions should be compatible, they are not required to be replicative of earlier architectural styles,

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition,

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

STAFF DISCUSSION

Garage Demolition

The Garage at 7304 Willow Ave. was constructed at the same time as the historic house and adds to the site's character. There are several trees at the property boundary and close to the garage. Over time tree roots have extended and infiltrated the garage masonry and have eroded the mortar joints. The weakened and lost mortar has created a situation where the wall's strength is not sufficient to hold back the force of the tree roots and the weight of the soil and the garage wall has developed significant bowing. There is

additional damage to both the front and rear wall. Additionally, the door jamb is no longer plumb and has caused damage to the doors.

Based on the photos presented by the applicant and Staff's observations at a site visit, the building is in a condition where it has degraded to the point that three of the garage walls will likely need to be completely replaced. The demolition of this resource can be supported by 24A-8(b)(4).

Additionally, as this is an accessory structure, located behind the main building, its removal will have a minimal impact on the surrounding streetscape. Passers-by would need to be directly in front of either the subject building or 7306 Willow Ave. to see the garage or the proposed rear addition. This is in keeping with the broad guidance found in the Takoma Park Historic District Design Guidelines.

Rear Addition

The proposed construction at the rear is a one-and-a-half story front gable addition that will read like a garage from the surrounding district, but will function as a one bedroom in-law suite.

The addition will be constructed in the general vicinity of the removed garage, however, the setback from the property line will be extended from the current 3' 6" to the current code complaint 7'. Additionally, the addition will be moved 7'6" to the rear of the property.

- Massing will be bigger than garage
 - Height of 18' vs. 11'8"
- Placement will minimize the visibility of the addition from the street.
- Will still read as an outbuilding.
 - Doors
 - Foundation, walls, roof
 - Placement
- Connection to house will not be visible

The applicant has not completed a tree protection plan with input from the City of Takoma Park. Staff recommends that the applicant consult with the City of Takoma Park and submit documentation from the city arborist that there will be no impact on trees or that a tree protection plan is required.

STAFF RECOMMENDATIONS

Staff recommends that the applicant make any changes recommended by the HPC to bring the project in compliance with the Secretary of the Interior's Standards for Rehabilitation, Montgomery County Code 24A-8, and the relevant Takoma Park Historic District Guidelines, and return for a HAWP.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Brian @ bfmararch.com Contact Person: Brian McCarthy
Daytime Phone No.: 301.585.2222
Tax Account No.: 13-01069420
Name of Property Owner: Gregory Castano & Erin Holve Daytime Phone No.: ✓ 301.437.9442
Address: 7304 Willow Avenue Takama Park MD 20912
Street Number City State Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Brian McCarthy Daytime Phone No.: 301.585-2222

LOCATION OF BUILDING/PREMISE

House Number: 7304 Street: Willow Avenue
Town/City: Takama Park Nearest Cross Street: _____
Lot: 12 Block: 9 Subdivision: L+E
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable.

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ ✓ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

✓ _____
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edt 5/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See addendum a.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See addendum b.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addressees, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

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BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

1 March 2017

To: Historic Preservation Commission (HPC)
Maryland-National Capital Park & Planning Commission
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit for the Contributing Resource at 7304 Willow
Avenue in the Takoma Park Historic District.
Addenda to HAWP: **Written Description of Project**

Addendum a.

The house is a 1-½ story wood frame bungalow in the Takoma Park historic district, sited on a sloping lot on a residential street with mature trees. The house, which includes a one-story one-car garage, was built in 1923 and is registered as a Contributing Resource.

A one-story addition - built in the 1990's - expanded the rear of the house to the point of connecting it to the previously detached garage. A partially finished basement is located under the original portion of the house while a shallow crawlspace extends under the rear addition.

The front façade is dominated by a covered porch, accessed by a eight wood steps down to a concrete lead walk. The main roof, which slopes up and away from the street, is punctuated by a modest central dormer. An old photograph of Willow Avenue suggests the gabled dormer is not original – a replacement of a shed dormer similar to 7302 Willow. There is a second gable dormer at the rear roof, which is extended as a low slope shed roof over the one-story addition. The main body of the house has a stucco finish, with some modest use of painted cedar shingles. The dormers are finished in aluminum siding.

The garage, accessed from the driveway at the left side of the lot, is of rusticated concrete block construction with non-original, rounded cedar shakes at the gable end. The garage entrance consists of a pair of 4 ft wide, side hinged, half-lite doors. The garage sits 3.5 feet off the side property line and is partially submerged into the hillside. The existing structure is in general disrepair. The most dramatic problem is the block foundation wall nearest the property line. A mature black walnut tree (roughly 20 inches in diameter) has grown just a few feet off the front left corner, and a major root hugs the wall as it extends toward the rear. The tree's growth has cracked the wall in multiple locations, and has destabilized the front left corner immediately adjacent to the garage door. Additionally, the roof ridge sags, and the walls below grade are seasonally damp.

Addendum b.

We are proposing to demolish the garage and build a modest, 1-1/2 story addition to accommodate the owner's parents. It is our opinion that preservation of the black walnut tree precludes making any meaningful repairs to the garage foundation. We have requested a tree assessment by the City arborist and will forward that information once we have it. Our proposal seeks to increase the clearance to the tree from the current 2-1/2 feet to 10 feet. This will be achieved by increasing the existing sideyard setback from a non-conforming 3-1/2 ft to a little beyond the 7 feet required. The garage will also be approximately 7-1/2 feet further back, placing it fully behind the rear wall of the house.

The existing garage is 13'-4" wide x 20'-4" deep. A modest link with the house extends the width a bit, such that 14 feet of garage façade is visible from the street. Though the proposed in-law suite is a little wider at 15 x 26, the combined effect of shifts to the right and back will leave less than 11 feet visible from the street. The current garage ridge height is 11'-8" above the driveway. The proposed ridge height is 18 ft, placing it on par with the height of the rear addition next door at 7302 Willow Ave. The height at the rear will be 10 ft above grade. The massing of the street façade - reminiscent of 7306 Willow Avenue - is a steep gable roof to minimize the apparent height, with lower slope shed dormers set 4 ft back from the front façade.

The new structure, like the existing, will have a block foundation wall up to the top of the garage doors, with wood framing above. Unlike the existing rusticated block, we propose to finish the new foundation with a cementitious parging/stucco to complement the stucco on the main house. The upper frame walls will be finished with cement fiberboard shingles to acknowledge the wood shingle finish on the side wall of the rear addition, and the adjacent property at 7302 Willow Ave. The garage doors will be restored/rebuilt and reinstalled to retain the appearance of a garage. The roof will be "asphalt" shingles, like the main house.

The in-law suite will be connected to the main house, as required by County regulations, by a 5 ft long hallway. The visible side of the link will be predominantly glazed to maximize transparency and create the impression the new structure is detached, as the original garage would have been.

Lastly, we'd like to mention a nearby precedent at 7309 Willow Ave (HPC case #37/03-10JJJ). In this case a one-story garage was demolished and replaced with a 1-1/2 story "writer's studio".

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., street view. Front dormer not original.

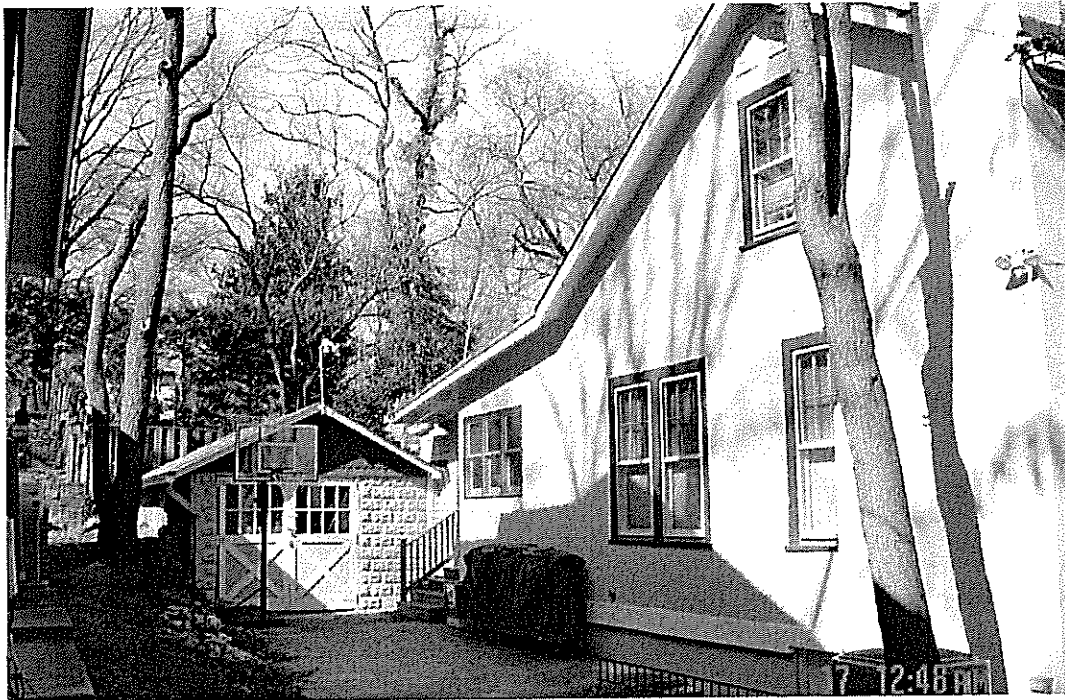


Detail: 7304 Willow Ave., street view. Front porch & right side elevation

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., street view. Garage & left side elevation

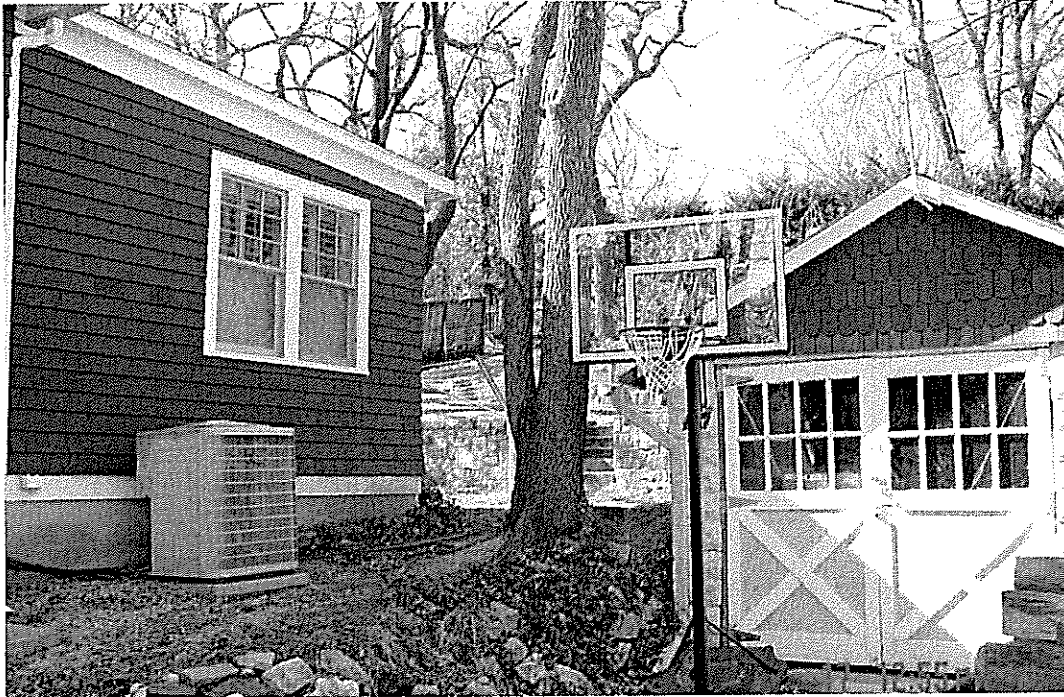


Detail: 7304 Willow Ave., Garage, with tree at left causing garage wall damage.

Existing Property Condition Photographs (duplicate as needed)

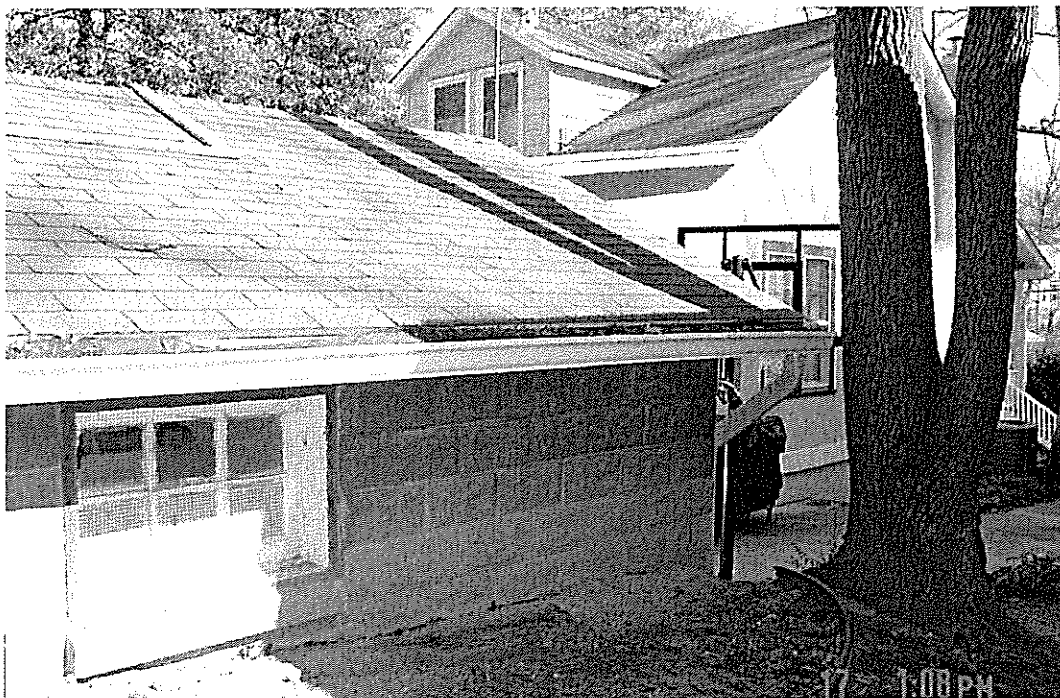


Detail: 7304 Willow Ave., Close-up of damage to garage block wall.

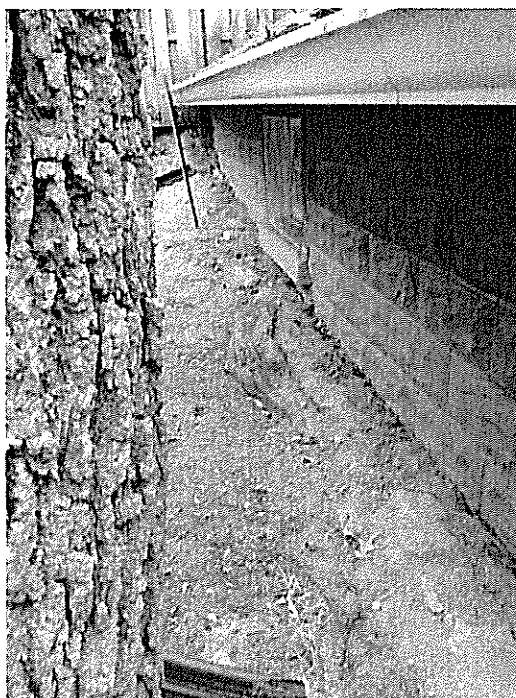


Detail: 7304 Willow Ave., Garage & partial side elevation of 7302 Willow Ave.

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., Garage left side with tree, from 7302 Willow Ave.



Detail: 7304 Willow Ave., Root proximity to garage wall

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., Garage wall interior



Detail: 7304 Willow Ave., Garage wall crack detail

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., Garage wall crack high



Detail: 7304 Willow Ave., Garage wall floor slab/ root heave

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., View from rear yard & rear view of 7302 Willow Ave.



Detail: 7304 Willow Ave., Rear view of garage right side elevation

Existing Property Condition Photographs (duplicate as needed)



Detail: 7304 Willow Ave., rear view of garage and house roofs

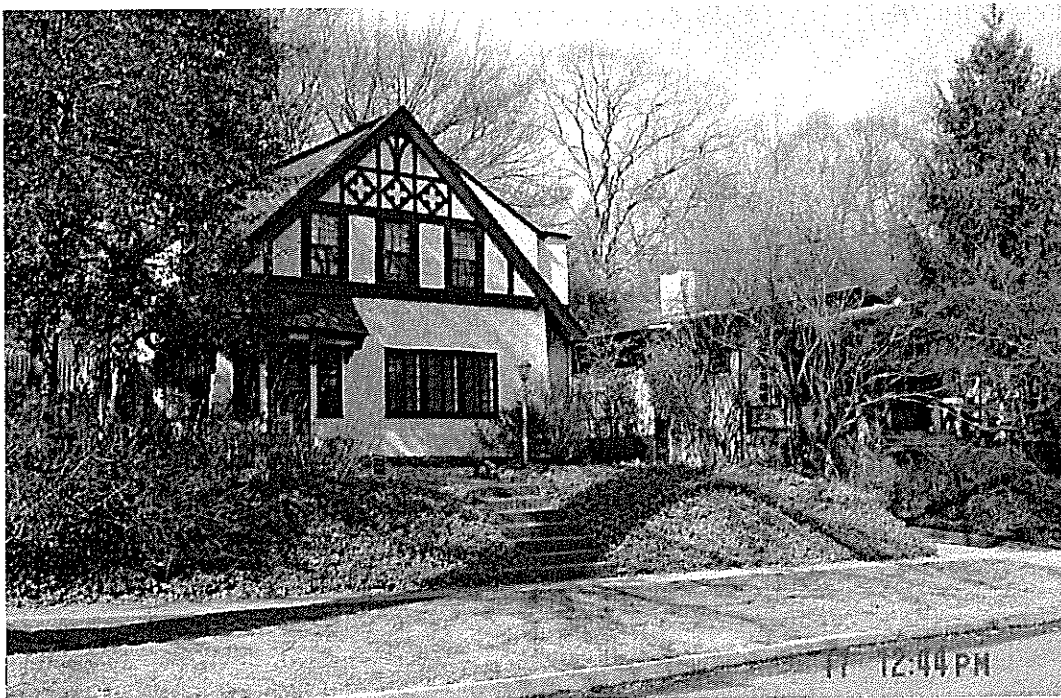


Detail: 7304 Willow Ave., rear view of bowed garage ridge

Existing Property Condition Photographs (duplicate as needed)

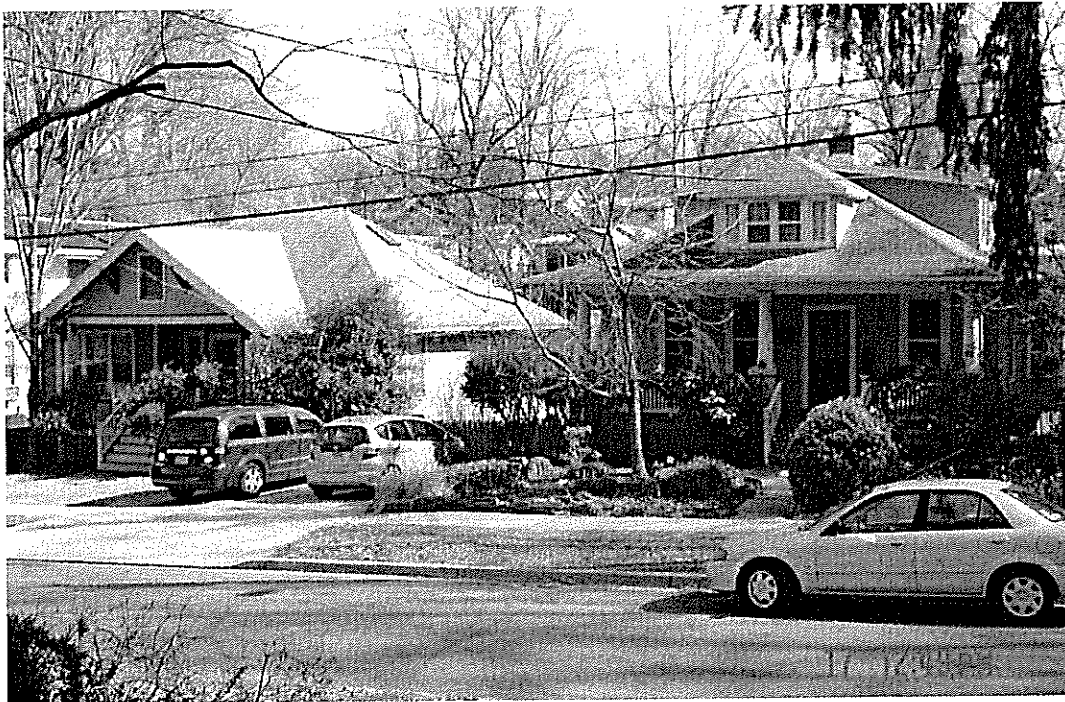


Detail: 7302 Willow Ave., Left side neighbor

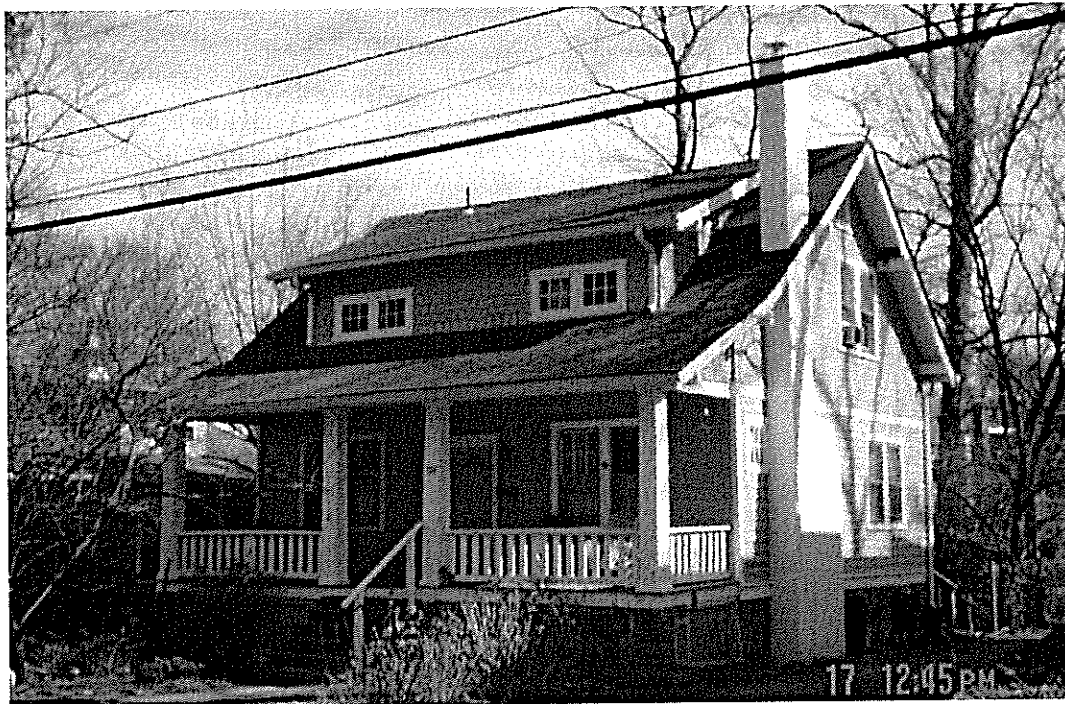


Detail: 7306 Willow Ave., Right side neighbor

Existing Property Condition Photographs (duplicate as needed)



Detail: 7303 & 7305 Willow Ave., Street view



Detail: 7301 Willow Ave., Street view

Existing Property Condition Photographs (duplicate as needed)



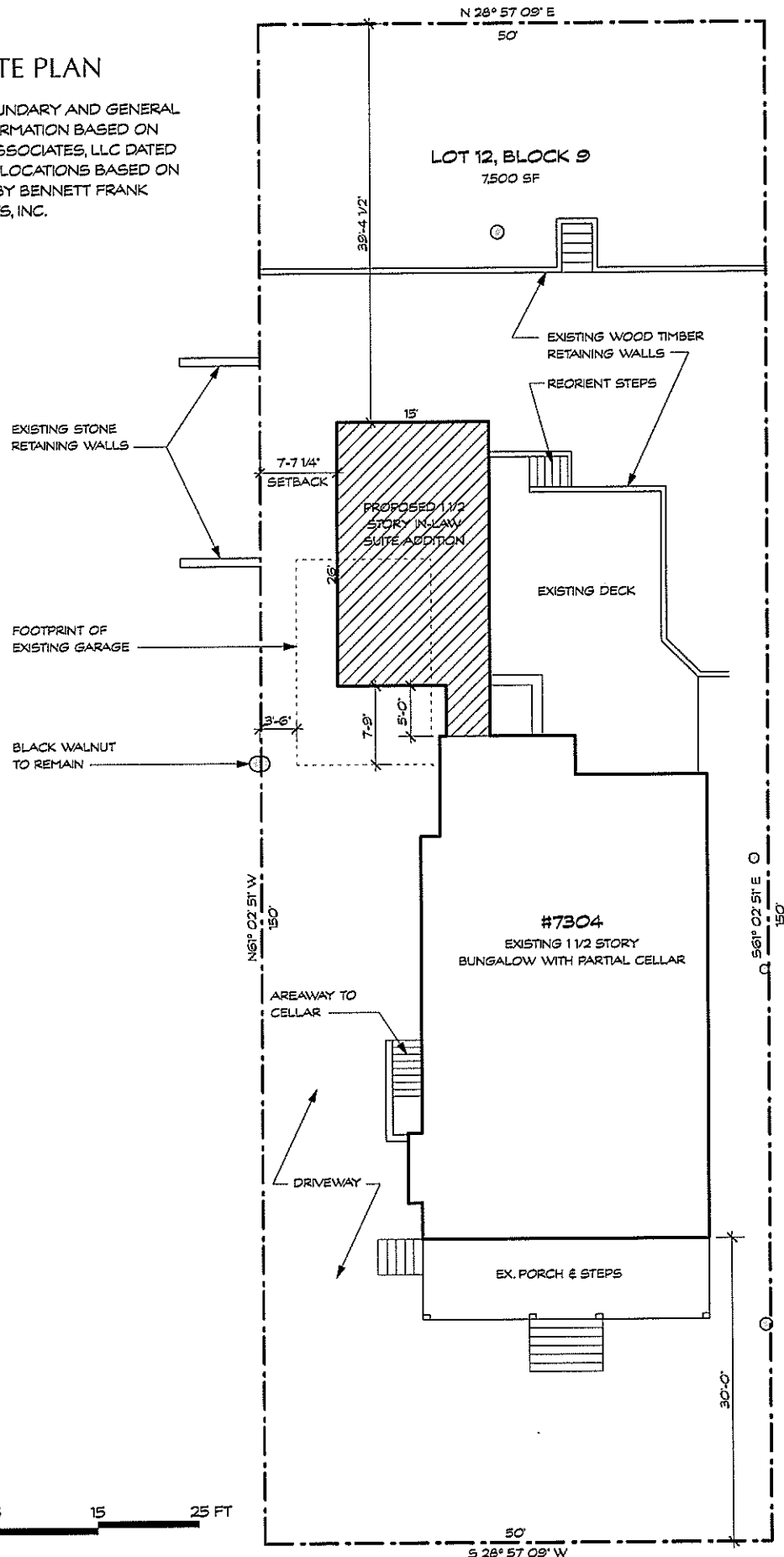
Detail: 7300 Willow Ave., Street view



Detail: 7309 Willow Ave., Street view of case precedent. 1 1/2 story writer's studio.

PROPOSED SITE PLAN

HORIZONTAL / SITE BOUNDARY AND GENERAL HOUSE LOCATION INFORMATION BASED ON SURVEY BY WITMER ASSOCIATES, LLC DATED DECEMBER 2016. TREE LOCATIONS BASED ON FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.



SP-1

HOLVE-CASTANO
7304 Willow Avenue, Takoma Park, MD 20912

BENNETT FRANK MCCARTHY
architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

1 MAR. 2017

#1658

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EC-1

EXISTING PLANS
Scale: 1/4" = 1'-0"

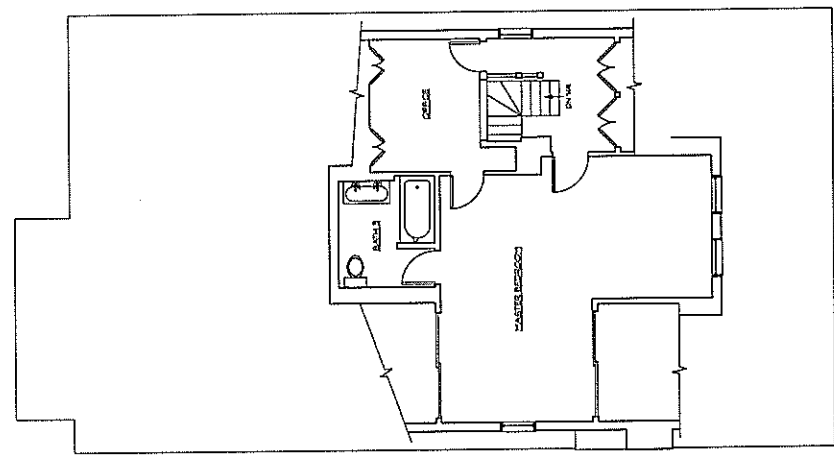
1 March 2017
SD
Bennett Frank McCarthy, Inc.
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222
www.bfmarch.com
Fax (301) 585-8917

HOLVE-CASTANO
7304 Willow Avenue, Takoma Park, MD 20912
Project # 1658

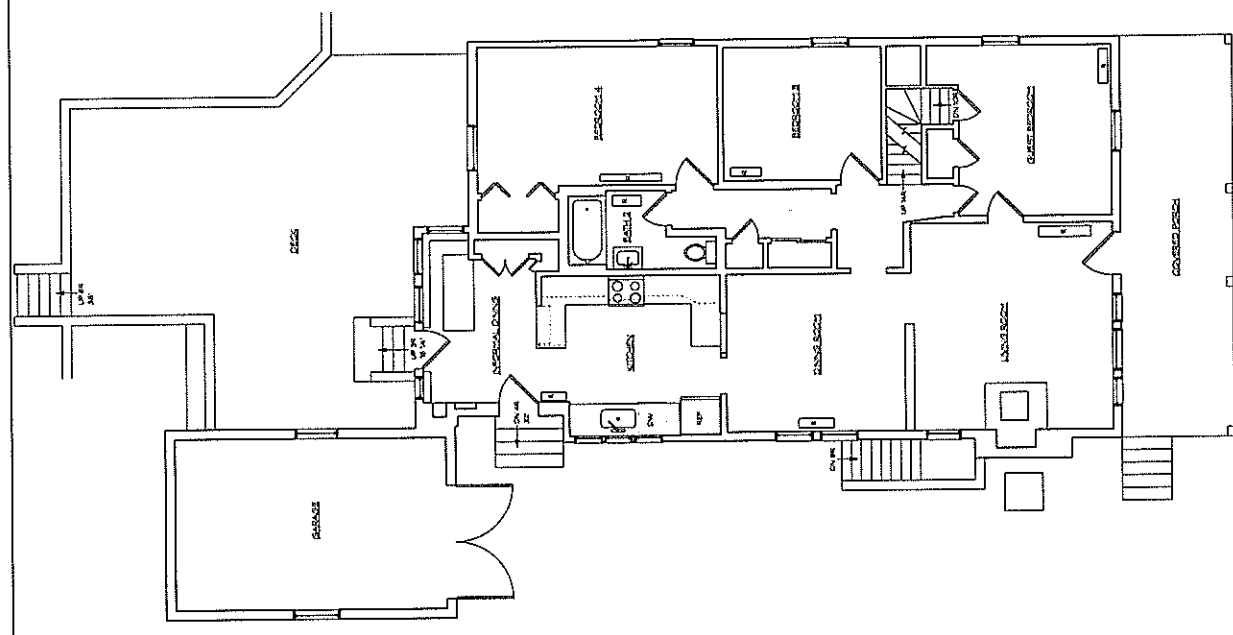
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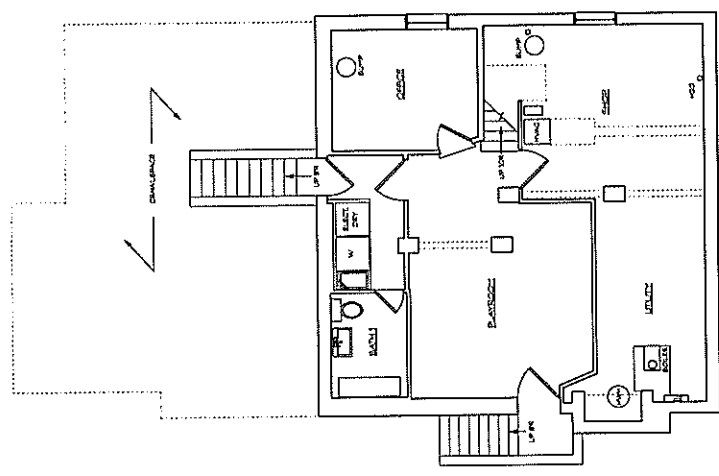
EXISTING
SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



EXISTING
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

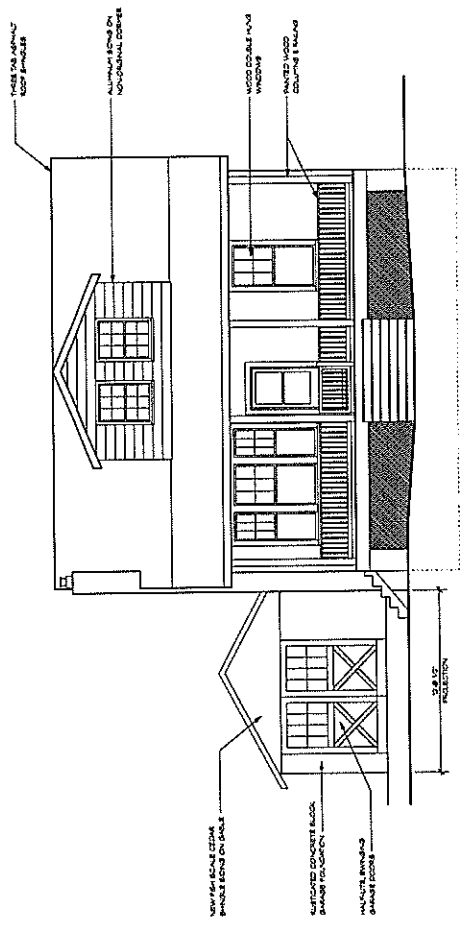


EXISTING
CELLAR PLAN
Scale: 1/4" = 1'-0"

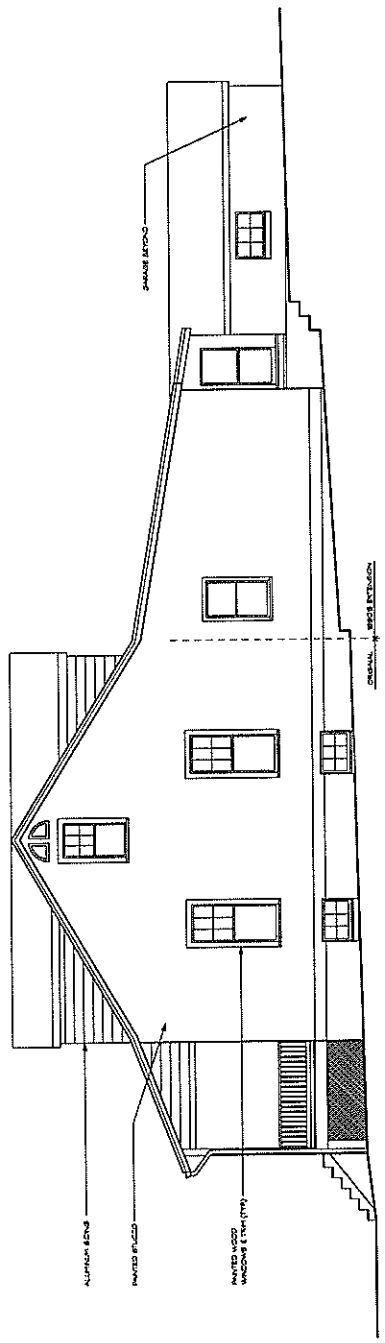


0 5 15 25 FT

0 5 15 25 FT

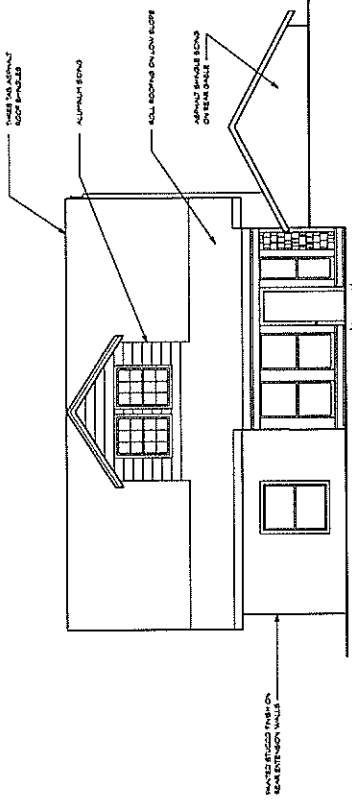


1 EXISTING FRONT ELEVATION
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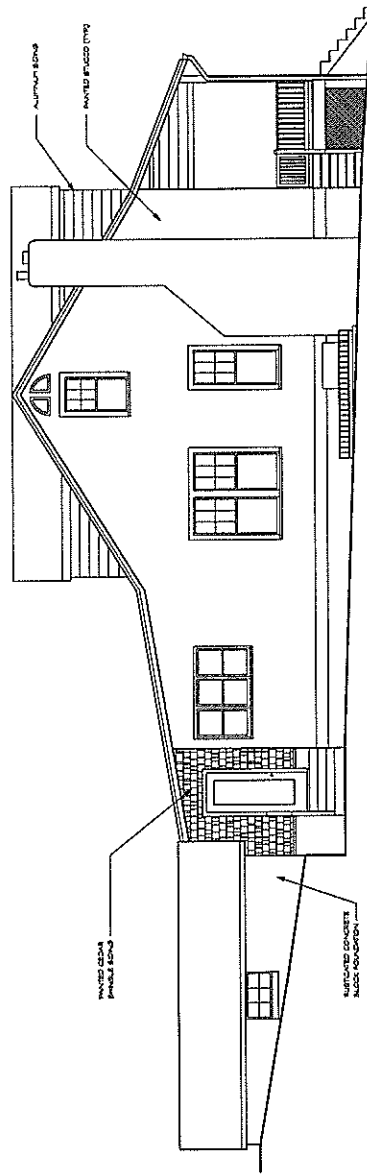


2 EXISTING SIDE ELEVATION
 Scale: 1/4" = 1'-0"

0 5 15 25 FT

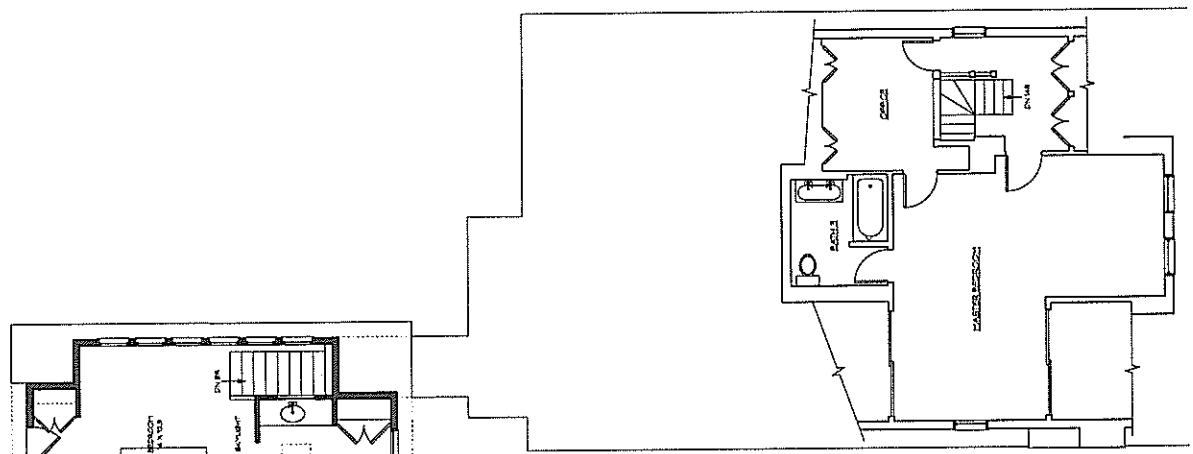


1 EXISTING REAR ELEVATION
 SCALE: 1/4" = 1'-0"

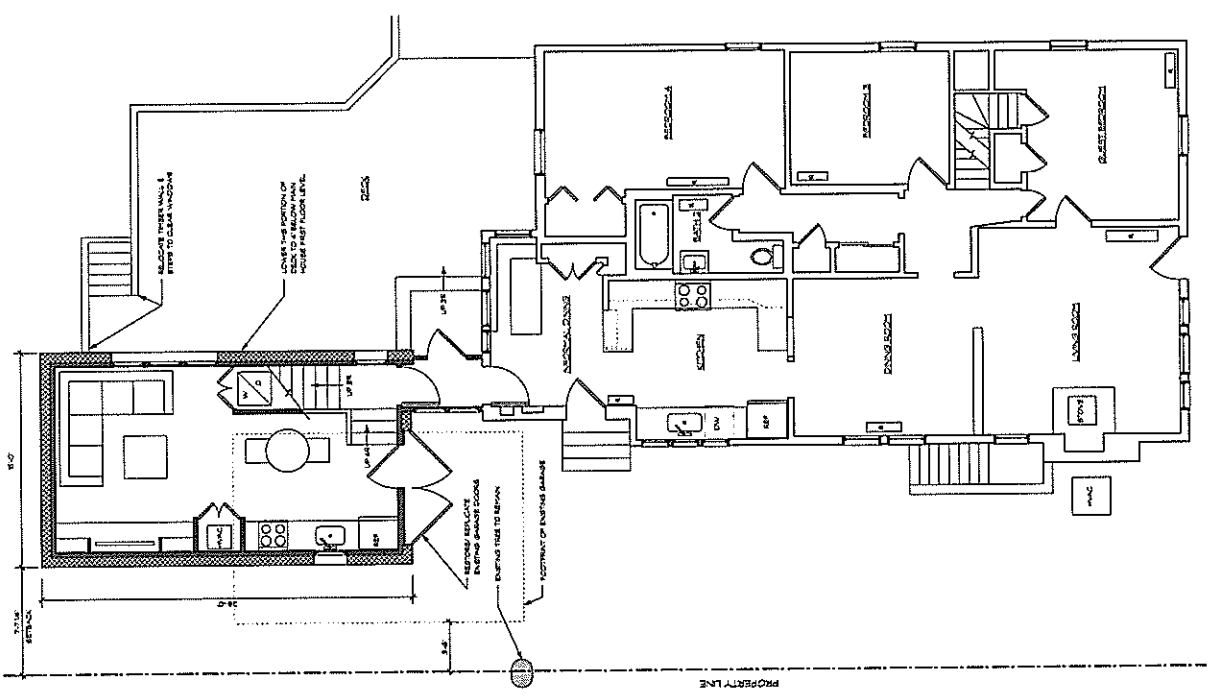


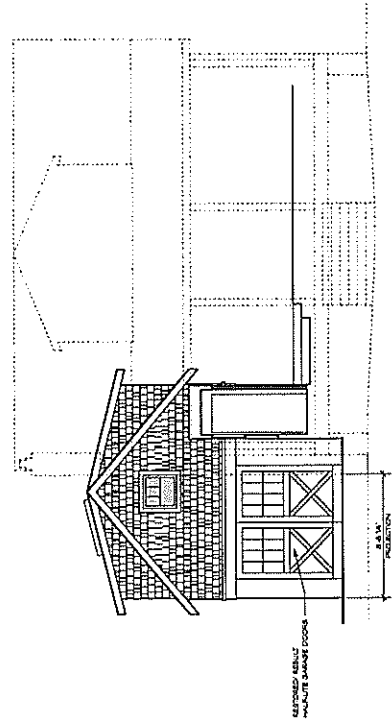
2 EXISTING SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

2 PROPOSED SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"

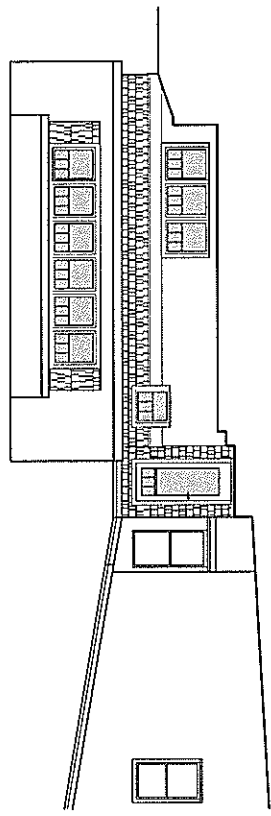


1 PROPOSED FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

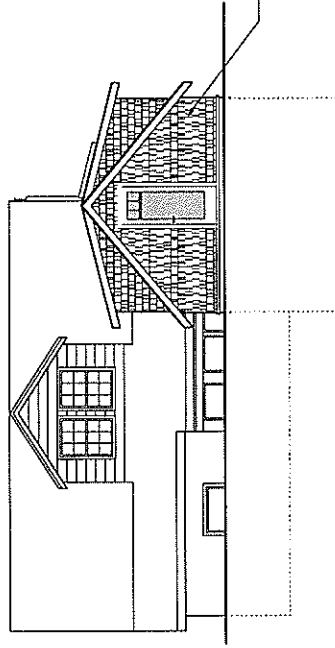




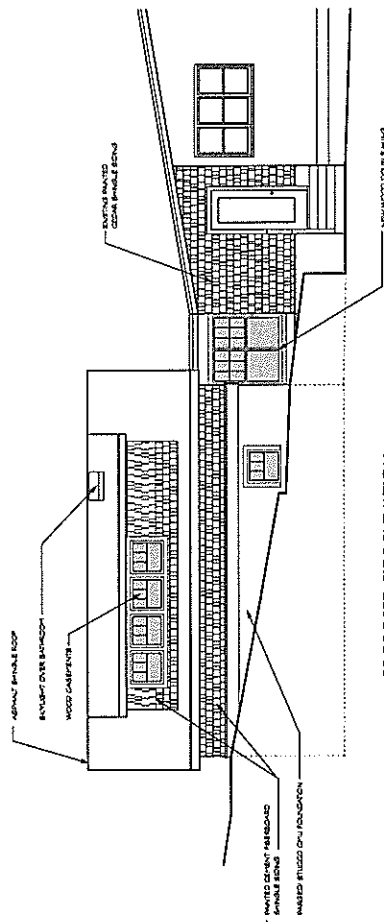
1 PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"

0 5 15 25 FT