

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	16315 Old River Rd., Poolesville	<b>Meeting Date:</b>	8/16/2017
<b>Resource:</b>	Seneca Store Master Plan Site #17/62	<b>Report Date:</b>	8/9/2017
<b>Applicant:</b>	Montgomery County Dept. of Parks (Julie Mueller, Agent)	<b>Public Notice:</b>	8/2/2017
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	17/62-17A	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b> Hardscape and landscape alterations			

**STAFF RECOMMENDATION:**

Staff recommends that the Historic Preservation Commission **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Master Plan Site  
**STYLE:** Commercial/Greek Revival  
**DATE:** 1901

***Except from Places from the Past:***



This store is the oldest general store in continuous operation in Montgomery County and one the few surviving turn-of-the-century-20<sup>th</sup>-century commercial buildings in the County. The store has a traditional front-gable form with cornice returns and 6/6 sash windows reminiscent of the pre-Civil War Greek Revival era. The front porch posts are stripped whole tree trunks. On the interior, a closed string staircase in the rear east corner is enclosed with triple-beaded paneling.

Seneca was a thriving town supported by the stone-cutting industry, a gristmill, commercial canal traffic, and summering vacationers. The community had several warehouses and shops, a hotel, and several resort homes in the late 1800s and early 1900s. Frederick Allnut, who had been running a store next to the canal for several years, built the frame store facing River Road in 1901. The Allnut family operated the store for over 60 years. Since Raymond Poole began managing the business in 1965, it has been known as Poole's Store. The store is listed on the National Register [of Historic Places] as part of

the Seneca Rural Historic District.

### **BACKGROUND:**

The applicant previously appeared before the Commission at the April 8, 2015 HPC meeting for a preliminary consultation. At that time, the applicant was proposing site work, including the creation of five parking spaces, septic system replacement, construction of concrete paths, regrading, and construction of a storm water retention pond. The Commission did not express any concerns about the applicant's proposal at the preliminary consultation.

### **PROPOSAL:**

The applicant has returned with a revised proposal for the following work items:

- Creation of six parking spaces, including an ADA accessible space.
- Removal of a small portion of grass from the island at the rear of the property to accommodate the proposed parking spaces and maintain a 20' drive aisle.
- Gravel installation/driveway alteration.
- Street furniture installation.

*Note: At the November 16, 2016 HPC meeting, the Commission approved the applicant's proposal for work items within the easement area held by the Maryland Historical Trust (MHT). This work included construction of a 260 sf rear addition, construction of a covered stoop on the west elevation, construction of a lean-to shed addition on the west elevation, replacement of a wooden ramp on the east elevation with a concrete ramp with metal railings, replacement and extension of a shed roof on the east elevation, and construction of concrete walkways along the east and rear elevations. The current proposal is only for the work items listed above, which are not within MHT's easement area.*

### **APPLICABLE GUIDELINES:**

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code ("Chapter 24A"), the *Secretary of the Interior's Standards and Guidelines for Rehabilitation* ("Standards"), and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance **shall** take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outline below.

*Sec. 24A-8. Same-Criteria for issuance.*

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF DISCUSSION:**

##### *Parking Spaces*

At the April 8, 2015 preliminary consultation, the Commission had no concerns about the applicant's proposal to create five gravel parking spaces at the rear of the property. The applicant now proposes six parking spaces at the rear of the property, including the previously proposed five gravel parking spaces and one additional ADA accessible space adjacent the rear of the Seneca Store building. The accessible space will be concrete with access aisles on either side.

Staff fully supports the proposed parking spaces, finding that they are at the rear of the property, where they are less visible from the public right-of-way and that they have minimal potential to detract from the property's character defining features. The Commission previously expressed support for the five gravel parking spaces, and the additional ADA accessible space will improve access to this historic site and facilitate its continued use and preservation.

##### *Grass Removal/Gravel Installation/Driveway Alteration*

The applicant proposes to remove a small portion of grass from the island at the rear of the property to accommodate the proposed parking spaces and maintain a 20' drive aisle. Gravel will be installed where the grass is removed. While the applicant has not provided the exact dimensions of the grass to be removed and/or gravel to be installed, the submitted site plan indicates that the alteration will be minimal.

Due to the location and nature of the proposed work, the proposal will have a negligible visual impact on the subject property. The existing driveway and associated island are utilitarian features that were created to provide access to the multiple buildings at this public site. Such features are likely to shift over time to accommodate site changes and facilitate the site's continued use and preservation.

##### *Street Furniture*

The proposal also includes a variety of street furniture (bicycle racks, bollards, signs, etc.). The proposed street furniture will serve a functional purpose and have a minimal visual impact on the historic site. The proposed street furniture will not physically impact any historic structures at the subject property and can be relocated or removed in the future without impairing the historic site.

#### **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features

of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Jolie. Mueller @ montgomeryparks.org Contact Person: Jolie Mueller  
Daytime Phone No.: 301-650-4390  
Tax Account No.: \_\_\_\_\_  
Name of Property Owner: MNCPPC-Mo.Co. Dept of Parks Daytime Phone No.: - -  
Address: 9500 Bronett Ave, Silver Spring 20901  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Jolie Mueller Daytime Phone No.: 301-650-4390

## LOCATION OF BUILDING/PROJECT

House Number: 16315 Street: Old River Road  
Town/City: Poolesville Nearest Cross Street: Tschiffley Hill Rd.  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: ED 3, Map D2032, Sub. 1  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☐ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimator: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # 778211

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jolie Mueller  
Signature of owner or authorized agent

7/20/17  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edt 5/21/99

**SEE REVERSE SIDE FOR INSTRUCTIONS**

6

## Addendum to Seneca Store HAWP (Permit #778211)

### 1. Written Description of Project

- a. Description of existing structure(s) and environmental setting, including their historical features and significance.

The Seneca (Poole's) Store (#17/62) and the adjacent, c. 1855 Upton Darby House (#17/61) are located within the Maryland Department of Natural Resources Seneca Creek State Park and are contributing resources in the National Register of Historic Places-listed Seneca Historic District. Both buildings are also individually listed on the Montgomery County *Master Plan for Historic Preservation*. Part of the site, including the store but excluding the house, is covered by a historic preservation easement held by the Maryland Historical Trust.

The site also has a non-contributing, commercial warehouse at the front of property along the driveway and an abandoned frame barn at the back of the driveway.

- b. General Description of project and its effect on the historic material(s), the environmental setting and, where applicable, the historic district.

This project calls for the rehabilitation of the historic store and site to improve access and parking for the store. The plan was approved by MHT and the HPC in September and November 2016, respectively, with minor conditions.

This addendum addresses the site work which is outside the preservation easement boundaries and which has not yet been reviewed by the HPC. It also provides an update on previously approved items which have been revised.

#### **The following have been revised from the previously approved HAWP:**

- The original proposal called for a total of five (5) new parking spaces, including an accessible one. An additional space has been added to meet code. The accessible space will be on concrete with access aisles (Details 4 and 8 on Sheet C-3B). The remaining five spaces will be on gravel (Detail 12, Sheet C-3B). All are located outside the preservation easement boundary.
- The grassy island in the parking area will be slightly adjusted at west edge to maintain 20-foot wide drive aisle
- Parks received a Storm Water Management waiver from the Department of Permitting Services (Permit #282364, 12/2/2016). Therefore, the following are no longer required and will not be done:
  - Construction of a storm water management pond
  - Shortening of the warehouse timber retaining wall
  - Reduction in the size of the warehouse loading area

- Relocation of the pedestrian path closer to the warehouse
- Re-grading and removal of trees and vegetation on adjacent State Park and MC-DOT property
- The proposed driveway changes crossing property line at southeast: concrete curb and guardrail

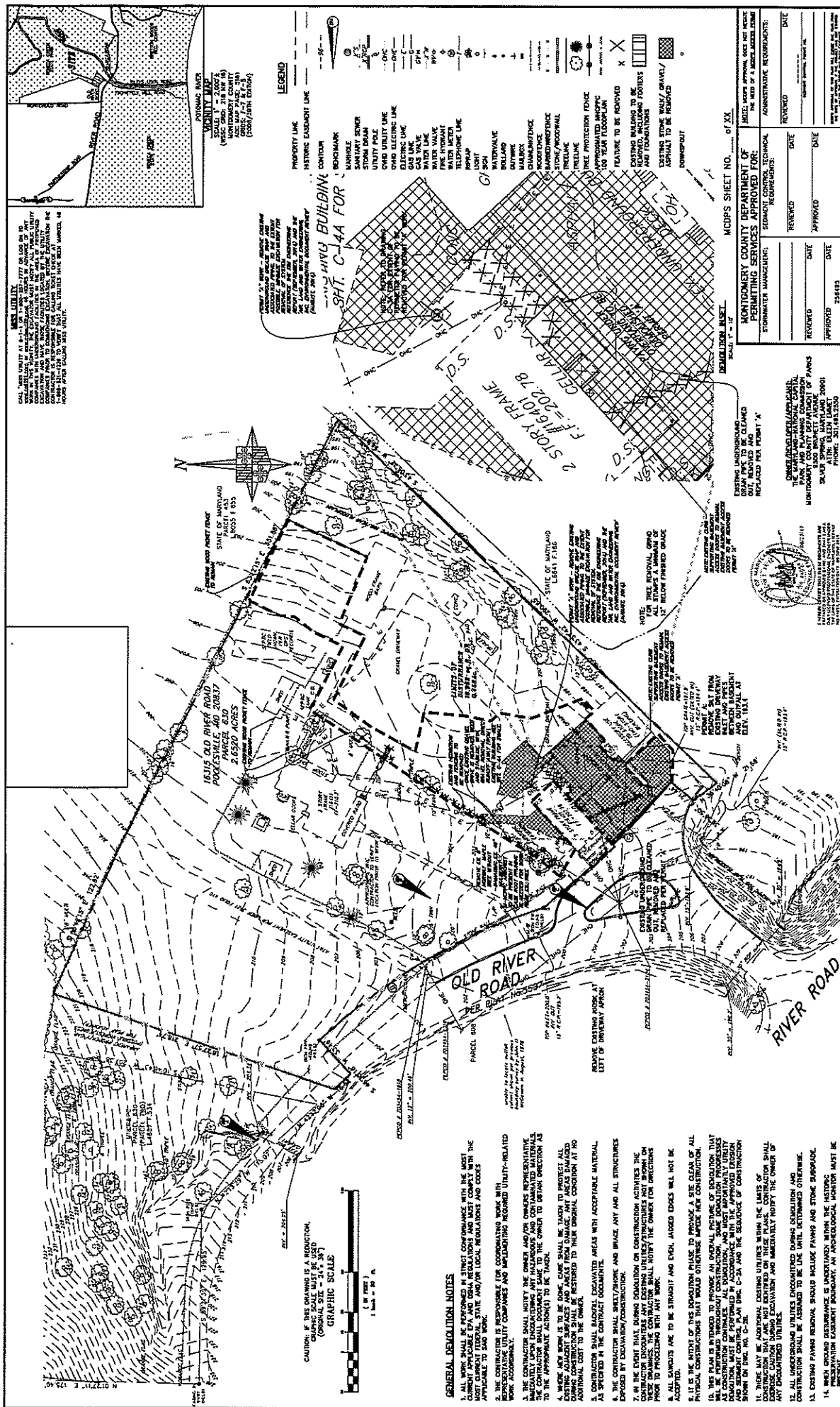
The proposed work will have No Adverse Effect on the historic integrity of the property.

2. Site Plan: See Attached
3. Plans and Evaluations: See Attached
4. Materials Specifications: Noted in plans
5. Photographs: See Attached
6. Tree Survey: unchanged from original HAWP
7. Addresses of Adjacent and Confronting Property Owners:
  - Maryland Department of Natural Resources  
Seneca Creek State Park  
11950 Clopper Road  
Gaithersburg, MD 20878  
301-924-2127
  - Ms. Carolyn Irwin  
14015 Montevideo Road  
Poolesville, MD 20837











**DETAIL E-1 ORIENTED CONCRETE WASHOUT STRUCTURE**

**DETAIL E-2 SUPER SUE FENCE**

**DETAIL E-3 STANDARD INLET PROTECTION**

**DETAIL E-4 ORIENTED CONCRETE WASHOUT STRUCTURE**

**DETAIL E-5 STANDARD INLET PROTECTION**

**DETAIL E-6 ORIENTED CONCRETE WASHOUT STRUCTURE**

**DETAIL E-7 STANDARD INLET PROTECTION**

**CONSTRUCTION NOTES:**

1. ALL STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL DRAWINGS AND THE FOLLOWING NOTES.
2. ALL STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL DRAWINGS AND THE FOLLOWING NOTES.
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10. ALL STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL DRAWINGS AND THE FOLLOWING NOTES.

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	11/17/17	FOR BIDDING

**APPROVALS:**

DESIGNER	CHECKED BY	APPROVED BY
ADTEK	ADTEK	ADTEK

**PROJECT INFORMATION:**

PROJECT NAME: **SEDIMENT AND EROSION CONTROL DETAILS**

PROJECT LOCATION: **Rehabilitation of Seneca Store**

PROJECT NUMBER: **C-2B**

PROJECT DATE: **11/17/17**

PROJECT SCALE: **1" = 10'-0"**

PROJECT SHEETS: **1 OF 1**

**DESIGNER:** ADTEK

**CHECKED BY:** ADTEK

**APPROVED BY:** ADTEK

**PROJECT INFORMATION:**

PROJECT NAME: **SEDIMENT AND EROSION CONTROL DETAILS**

PROJECT LOCATION: **Rehabilitation of Seneca Store**

PROJECT NUMBER: **C-2B**

PROJECT DATE: **11/17/17**

PROJECT SCALE: **1" = 10'-0"**

PROJECT SHEETS: **1 OF 1**

**DESIGNER:** ADTEK

**CHECKED BY:** ADTEK

**APPROVED BY:** ADTEK

**PROJECT INFORMATION:**

PROJECT NAME: **SEDIMENT AND EROSION CONTROL DETAILS**

PROJECT LOCATION: **Rehabilitation of Seneca Store**

PROJECT NUMBER: **C-2B**

PROJECT DATE: **11/17/17**

PROJECT SCALE: **1" = 10'-0"**

PROJECT SHEETS: **1 OF 1**

**DESIGNER:** ADTEK

**CHECKED BY:** ADTEK

**APPROVED BY:** ADTEK

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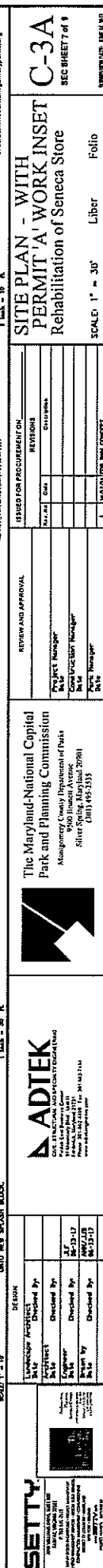
4900 Fouquet Avenue  
Silver Spring, Maryland 20901  
(301) 495-2333

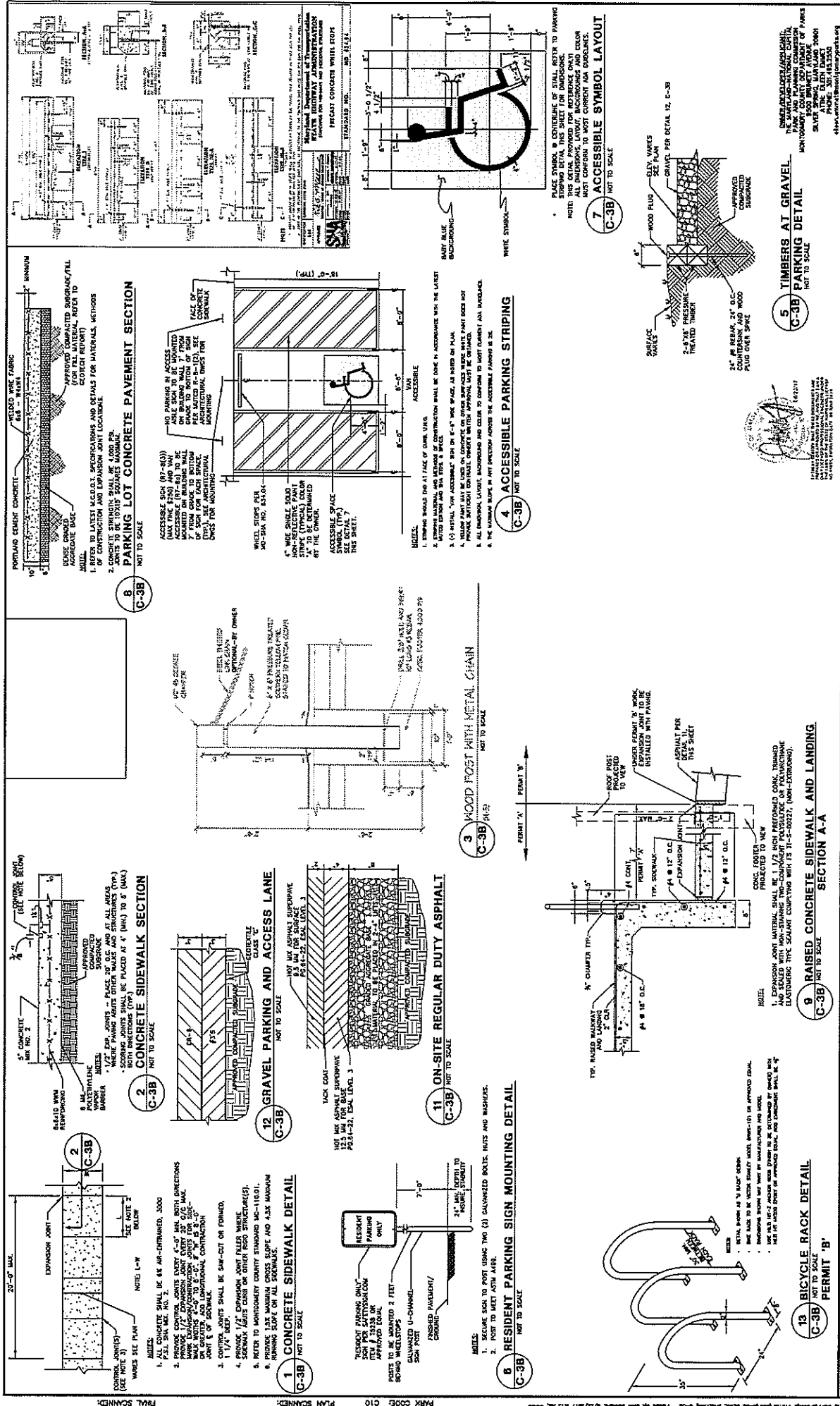
Core Function Manager					
Is a					
Part of					
Is a					
				11/27/11	12/28/11

SCALE: NOT TO SCALE      Liber

Folio	DOMESTIC DATE 11 2017
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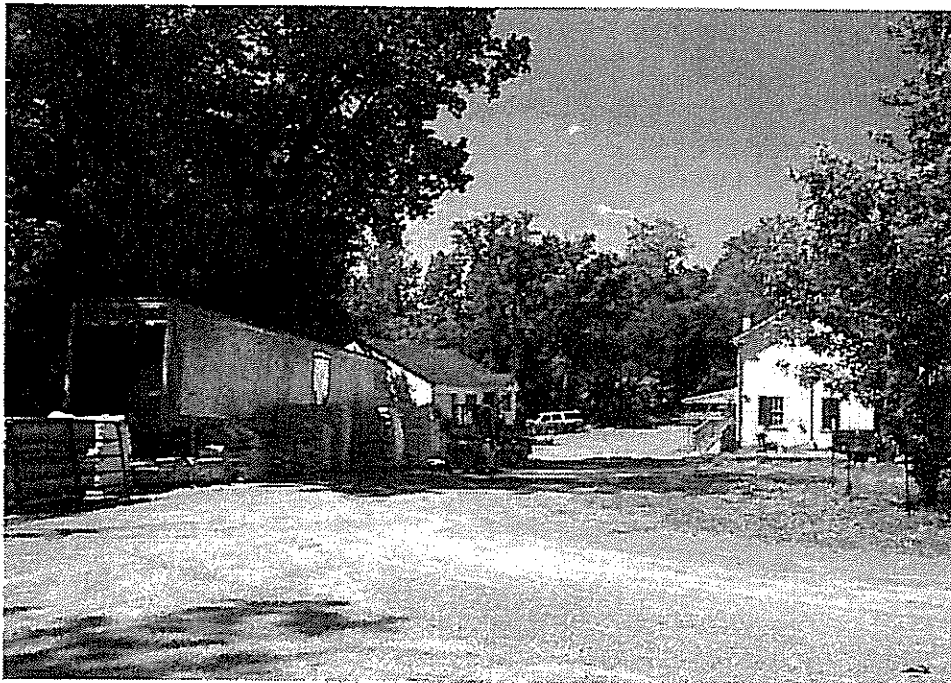
<b>DETAIL SHEET</b> Rehabilitation of Seneca Store SCALE: NOT TO SCALE Libor Folio		<b>C-3B</b> 1st SHEET OF 1	
REVIEW AND APPROVAL PREPARED BY: [Signature] CHECKED BY: [Signature] DATE: [Date] PROJECT: [Project Name] DRAWING NO.: [Drawing No.]		THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Montgomery County Department of Parks Silver Spring, Maryland 20901 (301) 433-2333	
DESIGN DESIGNED BY: [Signature] CHECKED BY: [Signature] DATE: [Date] PROJECT: [Project Name] DRAWING NO.: [Drawing No.]		SETTY 1234567890 1234567890 1234567890 1234567890 1234567890 1234567890 1234567890 1234567890 1234567890 1234567890	



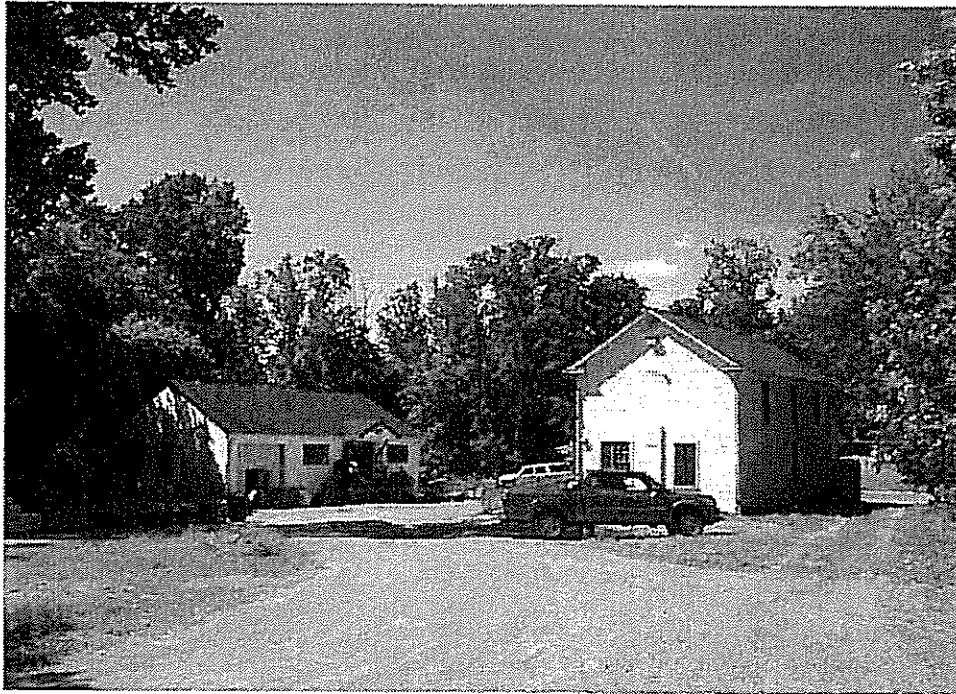




Seneca Store Site looking north (store on left, former stable in rear, warehouse on right)



Seneca Store site looking south towards back of store (right)



Back of Seneca Store showing proposed parking area to the right



View of grassy area, former stable, and vehicular circulation from back of store

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
HISTORIC PRESERVATION COMMISSION

- - - - -X  
:  
PRELIMINARY CONSULTATION - :  
509 Albany Avenue :  
:  
- - - - -X  
:  
2nd PRELIMINARY CONSULTATION - :  
4609 Waverly Avenue :  
:  
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PRELIMINARY CONSULTATION - :  
6800 Westmoreland Avenue :  
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PRELIMINARY CONSULTATION - :  
7418 Cedar Avenue :  
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PRELIMINARY CONSULTATION - :  
16315 Old River Road :  
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PRELIMINARY CONSULTATION - :  
4 North Street :  
:  
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A meeting in the above-entitled matter was held on  
April 8, 2015, commencing at 7:31 p.m., in the MRO  
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland  
20910, before:

**Deposition Services, Inc.**  
12321 Middlebrook Road, Suite 210  
Germantown, MD 20874  
Tel: (301) 881-3344 Fax: (301) 881-3338  
info@DepositionServices.com www.DepositionServices.com

1 more consistent with the rest of the resource as opposed to  
2 being the gable. But I think you're 90 percent there. So I  
3 think we look forward to seeing -- I think, with the  
4 comments we've given you, you can come back to us with a  
5 HAWP, and we'll look forward to seeing the further  
6 development of it. Thank you.

7 We'll move on to Case II-E at 16315 Old River Road  
8 in Poolesville, and do we have a staff report?

9 MR. KYNE: Yes, we do. This is 16315 Old River  
10 Road, Poolesville, also known as the Seneca Store. It's a  
11 master plan site. It's commercial, Greek Revival, with  
12 Greek Revival influences, circa 1901. The environmental  
13 setting is 2.25 acres, and it includes the Seneca Store and  
14 Upton Darby House with its related outbuildings. This  
15 property was listed in the National Register of Historic  
16 Places as part of the Seneca Rural Historic District.

17 The proposed work items include the creation of  
18 five formal gravel parking spaces at the rear of the store  
19 in a previously disturbed area, replacement of a septic  
20 system between the store and the field behind the barn,  
21 construction of a concrete path on the north and east side  
22 of the store for ADA access, regrading and replacing  
23 existing asphalt driveway between the store and the  
24 warehouse to the east, and construction of a stormwater  
25 retention pond southeast of the store, which I believe is

1 what we're going to focus on primarily tonight. There's  
2 also something that was submitted to us by the applicants,  
3 what we're referring to as the proposed site plan, and you  
4 can see here that it includes 24 work items, which is much  
5 more than what we've addressed thus far, but we may address  
6 this in a bit in a later slide.

7           So the Seneca Store and Upton Darby House we can  
8 see here -- the store, of course, in the foreground and the  
9 house barely visible in the background. Also, let me go  
10 back. The barn that we referenced earlier is to the right  
11 in the background. This is another view of the Seneca  
12 Store, and in the background here to the right we can see  
13 the warehouse. And this view shows the Seneca Store, the  
14 facade, and also Old River Road looking west, and this shows  
15 the Seneca Store and Old River Road looking east. And the  
16 area which is encircled is the approximate location of the  
17 proposed stormwater retention pond but not exactly where  
18 we're looking because it's, it will actually be kind of over  
19 the embankment there.

20           This is a better view of the proposed location for  
21 the retention pond, and this is directly to the left of  
22 that. And this is the pedestrian approach -- that's the way  
23 I'm referring to it -- and there's a, some sort of camping  
24 outfit that's a little upstream from the store, and they  
25 receive a lot of pedestrian traffic via the creek from

1 kayakers.

2           This is the warehouse, and this shows the  
3 driveway, which is proposed to be regraded. And I'll also  
4 address the grading here at this site. A lot of it -- a lot  
5 of this is not historic. It was regraded when the River  
6 Road was realigned in 1959. This is the proposed gravel  
7 parking area and north elevation of the store. As you can  
8 see, this area was previously disturbed and actually  
9 currently used as a parking area, but the plan is to make it  
10 a more formal parking area.

11           This is the barn north of the store; north  
12 elevation and the location of the proposed ADA concrete  
13 path; east elevation, again, location of the proposed ADA  
14 concrete path; and, also, we can see the canopy here. The  
15 applicants may address this later. I'm not sure exactly  
16 what type of work is being done with the canopy, but some  
17 type of work is.

18           The applicable guidelines are the Secretary of the  
19 Interior's Standards for Rehabilitation because this is a  
20 master plan site.

21           Staff discussion: Parks is seeking conceptual  
22 approval of the work items presented as well as those  
23 depicted in the proposed site plan, which I addressed  
24 earlier, 29 items. Staff asked the HPC to provide general  
25 guidance with the understanding that more detailed

1 information will be required when Parks formally submits for  
2 a HAWP.

3           The following information has been provided  
4 regarding the proposed retention pond: Only a small portion  
5 of the pond is within the environmental setting of the  
6 Seneca Store and therefore within the HPC's purview. Being  
7 located at the entrance of the property, the pond will be  
8 one of the first things that is seen when approaching the  
9 store. Many pedestrians, again, from the creek approach the  
10 store via the creek and walk through the proposed pond  
11 location. The proposed pond is in the approximate location  
12 of the historic River Road that fronted the property before  
13 being realigned in 1959, and staff asked the HPC to consider  
14 whether the location of the pond will impact the ability of  
15 the store to convey its historical significance. And that  
16 is actually it, and I will try to answer any questions you  
17 might have.

18           MR. WHIPPLE: Before you ask any questions, let me  
19 just jump in for a moment. I just want to remind the  
20 Commission that MHT holds an easement on a portion of this  
21 property. The Department of Parks will be going to MHT to  
22 get easement committee review for the majority of the scope  
23 of work but not the entirety of the scope of work. So one  
24 significant thing that MHT won't be reviewing is the  
25 location, as I understand it, is the location of the



1 stormwater pond, and so this is more a briefing. This is  
2 sort of getting some conceptual feedback from you on their  
3 way to go and visit with MHT, but I'd encourage you to focus  
4 on the stormwater facility.

5 MR. KIRWAN: Any questions for staff?

6 MS. BARNES: Michael, on one of your very early  
7 slides, there was a dotted line overlay on the -- yes, this  
8 one. What does the dotted line represent, please? Is that  
9 the extent of the environmental area that is --

10 MR. KYNE: I do not believe so. I believe that  
11 the environmental setting, unless I am incorrect, is  
12 actually the more solid yet thin black line, which you might  
13 see if you look at the monitor in front of you, and -- at  
14 least that's what I was assuming and basing my previous  
15 comment about only a portion being within the setting. And  
16 if you look here and look at your monitor, you can see here  
17 where it kind of clips the edge, and then follow that black  
18 line. That's what I'm interpreting as the environmental  
19 setting, but I may be incorrect on that.

20 MR. WHIPPLE: I believe the dash lines have to do  
21 with various stages of flooding. This is a site that gets  
22 inundated from time to time.

23 MS. BARNES: Yeah. Thank you.

24 MR. KIRWAN: Any other questions for staff?

25 (No audible response.)

1           MR. KIRWAN: If not, we invite the applicant to  
2 please come forward. We give you seven minutes for your  
3 presentation, and then we may have questions for you. As  
4 I've stated before, please, before you speak, please turn on  
5 your microphone and make sure the red light comes on and  
6 state your name for the record.

7           MS. MULLER: Good evening. I'm Julie Muller. I'm  
8 with the Cultural Resources Stewardship section. So I deal  
9 primarily with the historic building component of this  
10 project.

11          MS. EMMETT: My name is Eileen Emmett. I'm the  
12 Park project manager for this project within the Park  
13 Development Division. So we have a presentation for you  
14 tonight that just walks you through a little bit more  
15 information about the bioretention pond and gives you a  
16 little bit of background of the purpose of this.

17                So on the left here is the site plan that Mike  
18 showed and the features. He was correct, the black line is  
19 the boundary of the Park property. We're surrounded on the  
20 right by Seneca Creek State Park, and on the left edge,  
21 mainly where the road is, is the Montgomery County  
22 Department of Transportation property. So you see the  
23 bioretention there borders the environmental setting, which  
24 is our property. On the right, these are just other images  
25 of the project.

1           If there's a pointer here -- yes. So we're not  
2 proposing to make any changes to the front of the store.  
3 There's a little asphalt pad on the left. We're not going  
4 to touch that. We're not going to touch the front steps.  
5 This -- what we're going to do here is, this canopy is  
6 rather old. We'd like to replace it and extend it for the  
7 full length of the building to cover these double doors into  
8 the side of the building. This is going to become our  
9 handicapped entrance to the store, and we're going to build  
10 a new access to those doors from a concrete pad in the back  
11 that's our single handicapped-accessible parking spot.

12           This is hard to see, but there is a hedgerow along  
13 here. This is a winter shot. It's very overgrown. There's  
14 a wire, metal wire fence here that we propose to replace  
15 between the store and the historic house, and this is a view  
16 at the lower corner of the wing wall that comes off the  
17 warehouse and shows the asphalt and the loading area. This  
18 is actually looking straight down to the creek. There's a  
19 guardrail and they keep some trash cans here, and that's  
20 what you see.

21           MS. MULLER: I think you should point out the  
22 bioretention area on the plan.

23           MS. EMMETT: So the bioretention area here is that  
24 sort of little green-circle area, and we -- so, so just so  
25 that you know -- let's go back -- bioretention area is a

1 place to capture stormwater runoff, and it's a place where  
2 the water is treated through a filtered area that helps  
3 clean the water before it filters into the ground, and micro  
4 basically means that it's a small-size area.

5           The reason we're providing stormwater management  
6 at the site is because there's currently no treatment of  
7 water that runs off into the adjacent Seneca Creek. The  
8 site work, any time it exceeds 5,000 square feet, you are  
9 requested by the Department of Permitting Services to  
10 provide stormwater management. So installing this  
11 bioretention pond at the low point on the property would  
12 help achieve some of those goals.

13           Did I skip one? Okay. So why is it located in  
14 this part of the site? If you can see this green area, this  
15 is about 20,000 square feet, and we're trying to capture  
16 that downhill slope from the north side of the property and  
17 from the south side of the property, coming down the  
18 driveway, and this essentially is the low point just where  
19 these property lines cross. So to that -- to us, that's the  
20 ideal place to put this bioretention pond.

21           There will be a pipe inside the pond. I have a  
22 picture in a minute that shows this. This right here is  
23 called Montgomery County Endwall. It's just adjacent to  
24 where we want to put this bioretention. It's not something  
25 we want to touch. There's a lot of structure. It's

1 connected to a stormwater drain inlet over here by the  
2 sidewalk to the house and that's all underground; so we're  
3 trying to avoid that with the location of this pond.

4 This shows you -- the blue line is the edge of the  
5 historic property, and this shows you the dimensions of the  
6 pond. It will need a grass berm on its edge, and it will  
7 need some planting on the downhill slope, and they're saying  
8 that it could be from two to five feet deep.

9 These are some typical pictures of what you'd see  
10 within the pond. This is, this is the inlet that would be  
11 in the center of it, where all the water would be collected.  
12 Normally it would be screened by lots of plants. This is  
13 generally what other bioretention areas look like, and  
14 there's usually a grassy edge along the side that helps hold  
15 the water.

16 This is just one other picture about what this  
17 might look like. We've been asked, is there a fence? We  
18 normally do not put fence around stormwater facilities, but  
19 we would probably propose a guardrail between the road and  
20 the facility. These are some images. It could be either  
21 timber or it could be a rustic guardrail.

22 What you see here in this image, this dash line is  
23 the existing curb edge for the driveway, and only a section  
24 of it would protrude into the environmental setting. But we  
25 propose to remove this whole section back to this existing

1 curb point and create a new curb down here, and this is  
2 where we would put the guardrail.

3 This is an existing inlet that we would rotate.  
4 This is -- it's a little suppressed area in the existing  
5 asphalt driveway. This is an underground pipe that comes  
6 into the bioretention area, actually to this inlet here, and  
7 then there'll be another underground connection to the  
8 county's endwall here.

9 Is that the last --

10 MS. MULLER: That's it.

11 MS. EMMETT: And that's the last slide.

12 MR. KIRWAN: Any questions for the applicants?

13 MR. WHIPPLE: For a point of clarification, the  
14 proposed guardrail, it appears to me, would be outside of  
15 the environmental setting and therefore outside of your  
16 purview, as would the majority of this facility, and so I  
17 just want to bring that to your attention.

18 MR. KIRWAN: Okay. Thank you, Scott. Questions?

19 MR. FIRESTONE: Have you given any consideration  
20 to other means of dealing with the stormwater; for instance,  
21 maybe replacing some of the asphalt with pervious material,  
22 which might negate the need for as much of the stormwater  
23 pond as possible? And I know there are other remediation  
24 solutions that are available. I was just wondering if any  
25 of them have been considered.

1           MS. EMMETT: The design to this point is just shy  
2 of 50 percent. The consultants did a 50 percent submission,  
3 and we -- this whole area here was shown as stormwater  
4 management. It was too much structure for the back of the  
5 site. We really didn't want to make changes to the rustic  
6 character of the site; so introducing different materials  
7 would not be in character with the site. We looked at  
8 alternate locations for the stormwater management, but those  
9 are closer to the river, and those would be more likely to  
10 flood. Am I answering your question?

11           MR. FIRESTONE: Well, sort of. I mean, I'm not  
12 sure that I would agree that changing asphalt out to  
13 something else would necessarily be removing historic  
14 material, and if you want rustic character, I think there  
15 are other things, including gravel, that might seem more  
16 rustic.

17           MS. EMMETT: Well, this -- the area between the  
18 store and the warehouse is very old asphalt that's very  
19 broken up. So we're proposing new asphalt there, but this  
20 whole area in the back is gravel, and so we would like to  
21 take out some of the gravel here. This tenant keeps a  
22 trailer here and a lot of -- we would like to take out some  
23 of the existing pavement here, but we were going to leave  
24 this grass and gravel.

25           MR. WHIPPLE: And I'm not sure that they get much

1 credit as impervious surface for gravel because it's  
2 compacted, and so there's not a lot of water absorption.

3 MS. BARNES: You would create a berm, a grass berm  
4 of some type which would be along the existing curb line or  
5 -- could you help me to understand how much this berm would  
6 rise up adjacent to the drive to the store?

7 MS. EMMETT: It's difficult to see in the photos  
8 that you've seen today --

9 MS. BARNES: Uh-huh.

10 MS. EMMETT: -- but there's a lot of grade  
11 changes --

12 MS. BARNES: Right.

13 MS. EMMETT: -- and --

14 MS. BARNES: I've been at the site. I mean, I  
15 know --

16 MS. EMMETT: Oh, good. Okay. So --

17 MS. MULLER: Well, the grass berm is on the right  
18 side, and the guardrail is on the left side --

19 MS. BARNES: Okay. That's --

20 MS. MULLER: -- and the existing guardrail cuts  
21 down and --

22 MS. BARNES: Okay.

23 MS. MULLER: -- sort of cuts through the middle  
24 and that's what would be removed.

25 MS. BARNES: All right. So, so on the side where



1 you're driving to the store, you would have no berm; you  
2 would --

3 MS. MULLER: Right. You'd just have the guardrail  
4 there.

5 MS. BARNES: Thank you.

6 MR. KIRWAN: A question, first question is -- or I  
7 have two questions -- first question is, can you or staff  
8 tell us, where did River Road used to go and what did it --  
9 was there a bridge that crossed Seneca Creek at a different  
10 location than the current bridge, and is there any remnant  
11 of the old bridge that would make sense out of that  
12 alignment today?

13 MS. EMMETT: We have some historic, some photos  
14 from newspaper articles that are black and white and very  
15 grainy, and you can't really tell, but we did submit to your  
16 staff an engineer drawing. It looks like the bridge went  
17 across somewhere right here.

18 MR. KIRWAN: Is there any remnant of the bridge,  
19 old bridge abutment, or is that all gone? There's nothing  
20 that visually would mark that old location of River Road?

21 MR. WHIPPLE: Yeah, I don't believe so. If you  
22 look at Circle 11 of the staff report, we asked Park staff  
23 that very question, and they were able to devote a little  
24 time to try to answer it. They couldn't pin it down  
25 exactly, but you see Old River Road to the west of this

1 site, and you have, or north of this site, and so you can  
2 have some idea of, you know, an approximate cone, but  
3 there's --

4 MR. KIRWAN: Right, but there's nothing there;  
5 there's nothing like the old bridge abutment --

6 MR. WHIPPLE: I don't, I don't believe so.

7 MR. KIRWAN: Okay. That's fine. And going back  
8 to the images that you had of the structures, if I  
9 understand this correctly, this isn't really going to be a  
10 pond that's going to hold water all the time; this is going  
11 to be a structure that will temporarily hold water in a rain  
12 and then the water percolates into the median?

13 MS. MULLER: Right, and also, as you're driving  
14 in, I mean, it's depressed. So it's not -- I mean, you're  
15 going to have to really, like, look out your car window and  
16 look over the guardrail to see this. It's not something --

17 MR. KIRWAN: You're basically going to see a  
18 depressed area with bushes and shrubs in it and --

19 MS. MULLER: Right.

20 MR. KIRWAN: -- grasses and things like that.

21 MS. MULLER: Exactly.

22 MR. KIRWAN: Okay. All right. Any other  
23 questions for the applicant?

24 (No audible response.)

25 MR. KIRWAN: If not, I'll ask you to turn off your

1 microphone. I don't believe we have any testimony for this  
2 matter, right? So let's launch into deliberations, and  
3 again, this is a, as Scott was mentioning, this is just  
4 really a briefing. We should focus our attention tonight, I  
5 think, on the stormwater management structure and if we  
6 believe there's any impact to the historic resource. So  
7 I'll let anybody jump-start us.

8 MS. BARNES: I'll be happy to do it. We just  
9 recently had this site in front of us, in fact, for some  
10 signage, I'd say within the last three months. Does that,  
11 does that sound about right, because Park --

12 MR. WHIPPLE: Interpretative signage.

13 MS. BARNES: Yeah. Yeah. I don't have a problem  
14 with the bioretention facility. I would probably think that  
15 if there were something that would be having a negative  
16 impact on the little historic enclave it would be the  
17 guardrail, and to the extent that, as you've already noted,  
18 the land does fall away bit. To the extent that you could  
19 handle some protection with planting as opposed to with a  
20 guardrail, I think you would do more to preserve the  
21 historic enclave. The guardrail, whether it be metal or  
22 wood, would be a kind of jarring introduction.

23 MR. KIRWAN: Anybody else have any concerns? I  
24 mean, I think really just concerns at this point. We don't  
25 need to --

1 (No audible response.)

2 MR. KIRWAN: No. Okay. Well, I think then that's  
3 -- I think what you're hearing from us tonight is that we  
4 don't really have any major concerns with the proposal in  
5 front of us. The guardrail has been pointed out as  
6 something we probably, we might focus on if we have the  
7 ability to focus on it. As staff pointed out, that's  
8 outside of the environmental setting, so it really  
9 technically is outside our purview.

10 MR. TRESEDER: Mr. Chairman --

11 MR. KIRWAN: Yeah.

12 MR. TRESEDER: -- wouldn't you say this sort of  
13 falls in the category of so many things that, in order to  
14 retain its usage for its historic use, we have to adapt to  
15 contemporary conditions? And to the extent that building  
16 these things keeps it in compliance allows the historic use  
17 to be maintained, and so in a way, these are contributing to  
18 its historic use.

19 MR. KIRWAN: I think that's what we're saying,  
20 yeah. All right. Thank you, Commissioner Treseder. All  
21 right. Thank you very much for your presentation tonight.  
22 We look forward to seeing you come back after your  
23 presentation with the MHT and their comments.

24 The last item on our agenda tonight is II-F at 4  
25 North Street in Brookeville, Maryland. Do we have a staff