

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10231 Carroll Pl., Kensington	Meeting Date:	7/26/2016
Resource:	Primary (1880-1910) Resource Kensington Historic District	Report Date:	7/19/2016
Applicant:	Montgomery County Parks (Julie Mueller, Agent)	Public Notice:	7/12/2016
Review:	HAWP	Tax Credit:	N/A
Case Number:	31/06-17G	Staff:	Michael Kyne
PROPOSAL:	Hardscape alterations		

STAFF RECOMMENDATION:

- ☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary (1880-1910) Resource within the Kensington Historic District
STYLE: Queen Anne
DATE: 1893

PROPOSAL:

The applicant proposes to reconstruct/repair the stairs and stone gates on the eastern edge of the subject property, remove existing non-historic asphalt walkways and install a new exposed aggregate concrete walkway with brick borders, and create a reading garden in the northeastern section of the property.

The Maryland Historical Trust (MHT) Easement Committee reviewed and approved the proposal at their May 7, 2017 meeting.

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement

or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the Kensington Historic District Guidelines, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will

contact the staff person assigned to this application at 301-563-3400 or michael.kyne@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: julie.mueller@montgomeryparki.org Contact Person: Jolie Mueller
Daytime Phone No.: 301-650-4390
Tax Account No.: _____
Name of Property Owner: MNCPPC Daytime Phone No.: 301-650-4390
Address: 9500 Aronett Ave Silver Spring MD 20901
Street Number City State Zip Code
Contractor: Mo. Co. Poulos Phone No.: 301-650-4390
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10231 Street: Cerroll Place
Town/City: Kensington Nearest Cross Street: Mont. Ave
Lot: 1-18 Block: 1 Subdivision: Kensington
Liber: 32994 Folio: 783 Parcel: _____
34694 523

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☒ Wreck/Flaze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☒ Other: remove old + put in new walkway

1B. Construction cost estimator: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jolie Mueller
Signature of owner or authorized agent

6/29/17
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edn 5/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

(4)

Brainard Warner Reading Garden and Kent Street Entrance Repair

1.a. Description of existing structure and environmental setting, including its historical features and significance.

Environmental Setting: The Brainard Warner house rests on a knoll within the Warner Circle Special Park, which is composed of 6.2 acres located in the heart of the town of Kensington. The site includes the historic house, a historic carriage house, and open, landscaped parkland. The buildings and grounds are contributing resources within the locally and National-Register designated Kensington Historic District.

History: The house was the summer, weekend, and sometimes year-round residence of Brainard H. Warner who was one of the Washington metropolitan area's most successful businessmen during last quarter of the 19th and beginning of the 20th century. Warner was involved in all aspects of the area's real estate and financial markets and was known for his philanthropy and his service on the boards of many charitable and educational institutions. In the early 1890s, he purchased several hundred acres on which he founded the town of Kensington and built his own home in the center of it.

The Warner house served as the focal point for Kensington social life for many years. Soon after it was sold in 1912, the McKenney family enlarged the house to the plans of Clarke Waggaman, a renowned Washington architect. After the sale of the house to its third owner in the 1950s, the property was converted into a nursing home. Concrete block wings were added on the south and east elevations of the house in the early 1960s to accommodate the institutional/residential use. Several asphalt paths throughout the grounds were also laid. The property was sold to M-NCPPC in two parts in 2005 and 2006 to serve as a park and to preserve the historic buildings. The Maryland Historical Trust (MHT) holds a preservation easement on the property, protecting both the exterior and some parts of the interior of the manor and carriage house. In 2014, the institutional wings were removed and the south and east elevations rehabilitated based on the McKinney era plans. The original loop drive around the house that had been interrupted by the wings was reconnected to the remaining portions.

1.b. General Description of the Project and Its Effect on the Historic Resources, the Environmental Setting, and the Historic District.

Project Description: The proposed project has two components: the reconstruction/repair of the deteriorated stairs and stone gates on the east edge of the property where it meets Kent Street and the construction of a reading garden in the northeast quadrant of the site. The MHT Easement Committee approved the proposed project at their May 7, 2017 meeting. The project review form and approval letter are included with this application.

Effect on Historic Resources: There will be no adverse effect on the historic buildings. Nothing is being done to the buildings. Views to and from them will not change.

Effect on Environmental Setting: There will be no effect on the environmental setting. The landscaping project is subtle in appearance, will enhance the user experience in this open space, and will draw additional patrons to it.

Effect on Historic District: The undertaking will not diminish the integrity of design, setting, materials, workmanship, feeling, or association of the district.

2. Site Plan: See attached

3. Plans and Elevations: See attached

4. Materials Specification: See attached.

5. Photographs: (see attached)

6. Tree Survey: See attached site plan for location of existing trees. The landscape designer worked closely with Parks' arborist to develop a plan that would not affect healthy significant trees.

7. Addresses of Adjacent and Confronting Property Owners: all addresses below are Kensington, 20895

Carroll Place

10202, 10204, 10206, 10208, 10210, 10212, 10214, 10216, 10220, 10226, 10234, 10237 Noyes Library (Mont. Co.)

Fawcett Street

10300

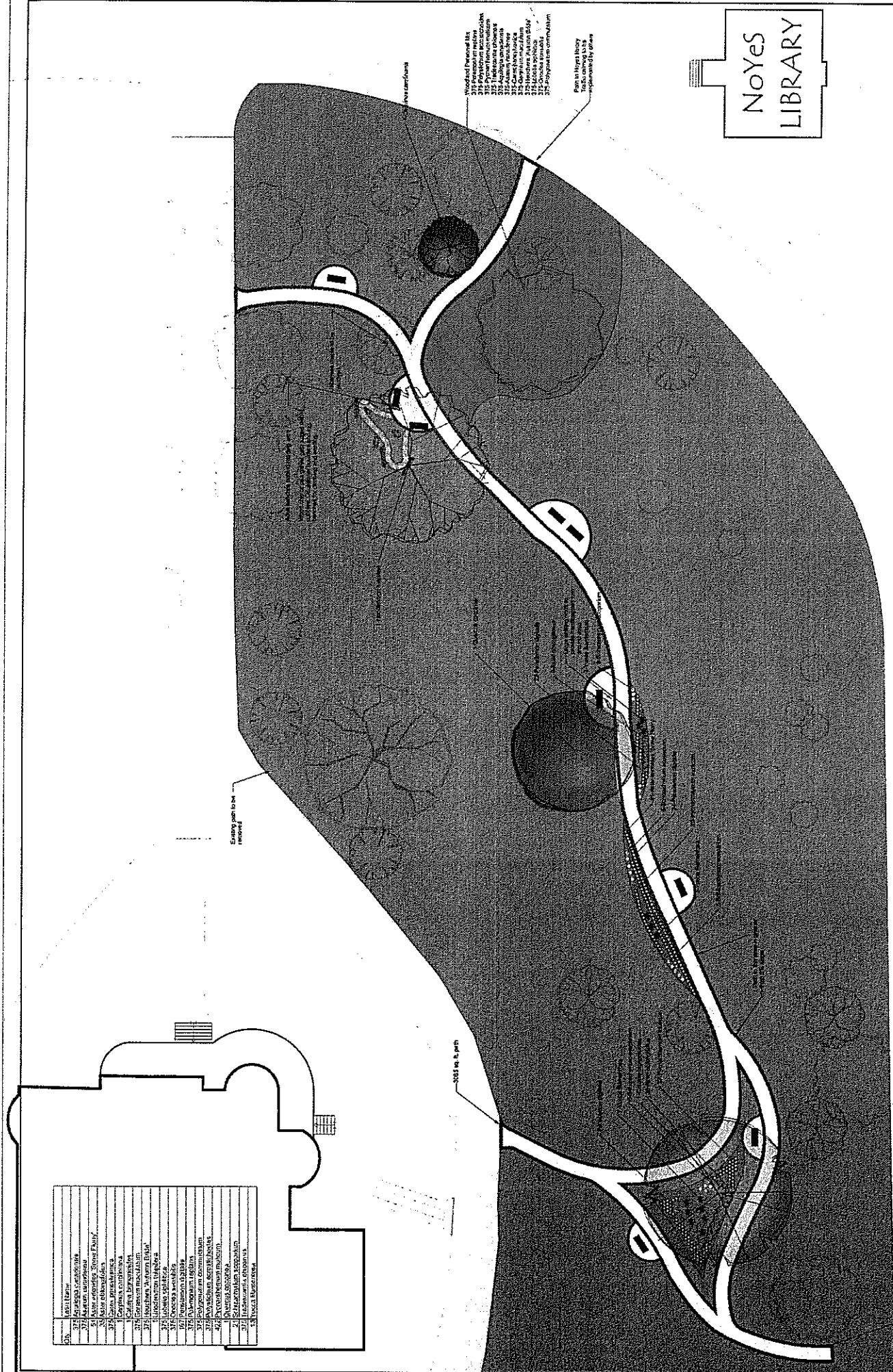
Hadley Place

10104, 10109

Montgomery Avenue

10203, 10205, 10207, 10209, 10211, 10213, 10221, 10225

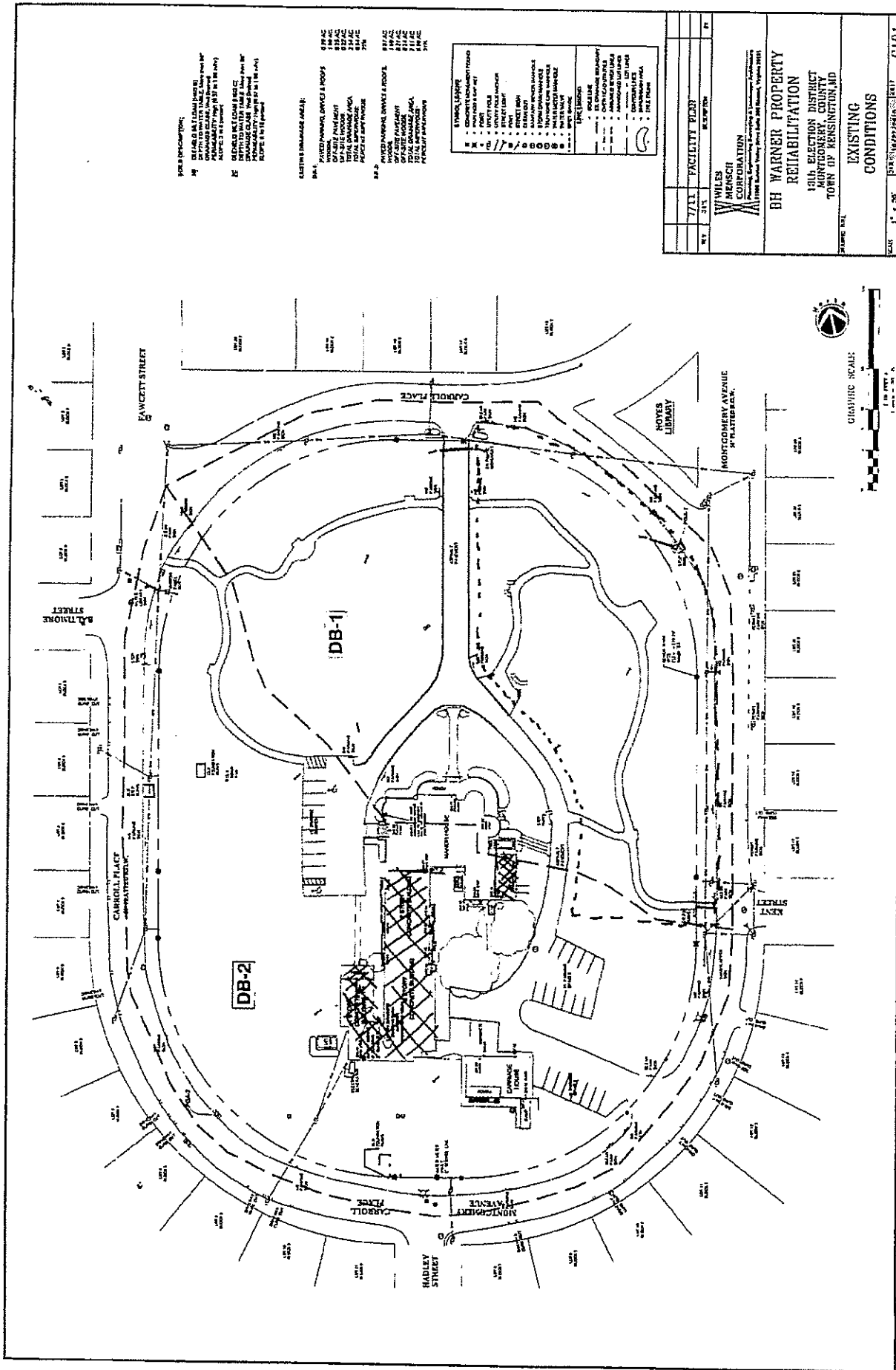
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NoYes
LIBRARY

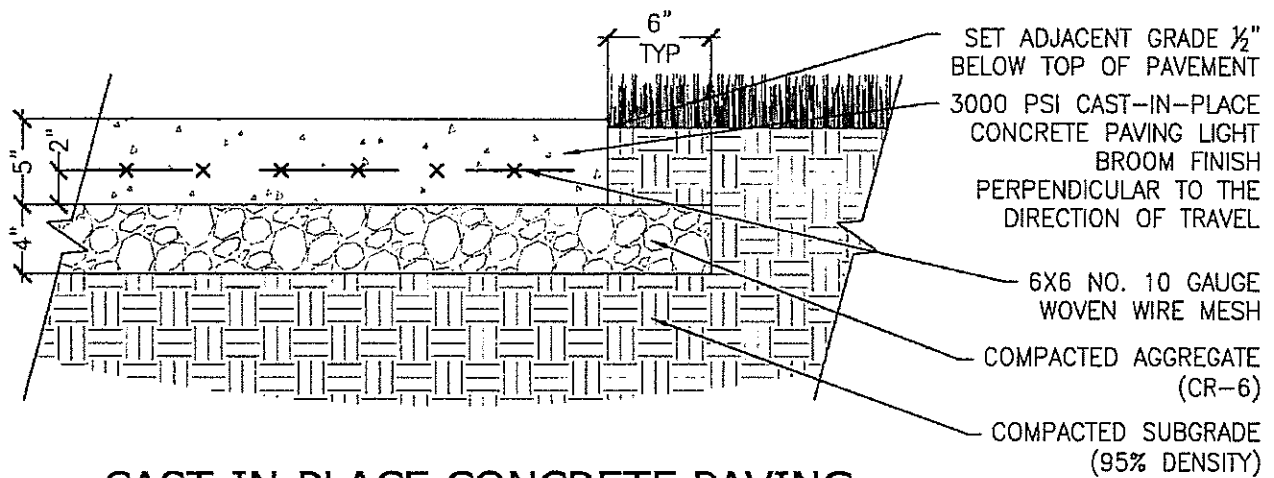
Warner Circle
Planting Plan
 Rasma Plato
 Bent Branch Landscape Design
 March 20, 2017

0 20 40 60 FT



--- = Proposed project area boundary

Please note: the cross-hatched areas represent the non-historic wings of the main house which were removed in 2013-2014. Parker does not have a more up-to-date site plan at this time. This site plan was published as part of the Facility Plan and was included in the Submittal to MHT to demolish these wings (approved 8/2012).



1 CAST-IN-PLACE CONCRETE PAVING

Scale: 1-1/2"=1'-0"

SECTION 513 – PORTLAND CEMENT CONCRETE

513.01 DESCRIPTION

Work consists of construction concrete structures, slabs, etc. including furnishing, transporting, mixing, placing, curing, and finishing of Portland cement concrete and protecting the work. This specification does not cover structural concrete.

513.02 REFERENCE STANDARDS

MSHA Specifications, Section 420,902,905,908,909,911,913, 917, and 921
ACI 318

513.03 DEFINITIONS

Not Applicable

513.04 MATERIALS

MSHA Standard Specifications for Construction and Materials, July 2008, as amended to date).

Concrete	902
Curing Materials	902.07
Curb	602
Sidewalk	603
Reinforcement Steel	908
Form Release Compound	902.08
Concrete Mixes	902.10
Mortar and Grout	902.11
Drains, Downspouts, Weepholes and Pipes	905
Reinforcement Steel	908
Anchor bolts	909.06
Steel Forms Which Remain In Place	909.11
Joint Sealer	911.01
Preformed Joint Fillers	911.02
Preformed Elastomeric Joint Seals	911.04
Waterproofing	913
Epoxy Protective Coatings	917.01
Water for Concrete Mixes	921.01
Epoxy Bonding Compound	921.04

513.05 SUBMITTALS

- A. Results from all testing.
- B. Product certifications with application rates should be submitted to the M-NCPPC Construction Manager for approval.

513.06 QUALITY ASSURANCE

Maryland Department of Transportation, State Highway Administration "Standard Specifications for Construction and Materials" July 2008, as amended to date. Section 602, 603, 902, 905, 908, 909, 911, 913, 917, and 921.

513.07 CONSTRUCTION

- A. After making sure that the base has been properly laid and compacted and approved by the M-NCPPC Construction Manager, the following specifications shall be followed for all cast-in-place concrete.
 - 1. Proper forms shall be laid providing the required depth for the concrete as shown on the plans. Forms shall be heavy and secured in place so as not to move during the construction process.
 - 2. Maximum slump for concrete at the time of placement shall be 2 to 5 inches.
 - 3. Ambient Air Temperature
 - a. Minimum ambient air temperature. Concrete placement shall begin only when the ambient air and surface temperature is at least 40° F and rising.
 - b. Maximum ambient air temperature. Concrete placement shall begin only when the ambient and surface temperature is a maximum of 90° F and falling.
- B. All concrete shall have a 28 day compressive strength based on the type of mix as specified in the plans and in accordance with MSHA Standards Section 902.10, and Table 902A. It shall be the Contractor's responsibility to arrange and pay for any testing required by the M-NCPPC Construction Manager including but not limited to slump, compressive strength, air entrainment, etc. All testing shall be accomplished by an approved testing agency with results forwarded to the M-NCPPC Construction Manager.
- C. The base on which concrete is to be poured shall be free of water, mud, debris, loose materials, oil, frost and ice and all deleterious materials. If water can't be removed, the Contractor will provide the M-NCPPC Construction Manager an alternate method for approval.
- D. The M-NCPPC Construction Manager shall be notified at least 24 hours in advance of a concrete pour. Form-work must be approved for lines and grades by the M-NCPPC

Construction Manager prior to pouring cement. Concrete shall be laid only in the presence of the M-NCPPC Construction Manager or Inspector.

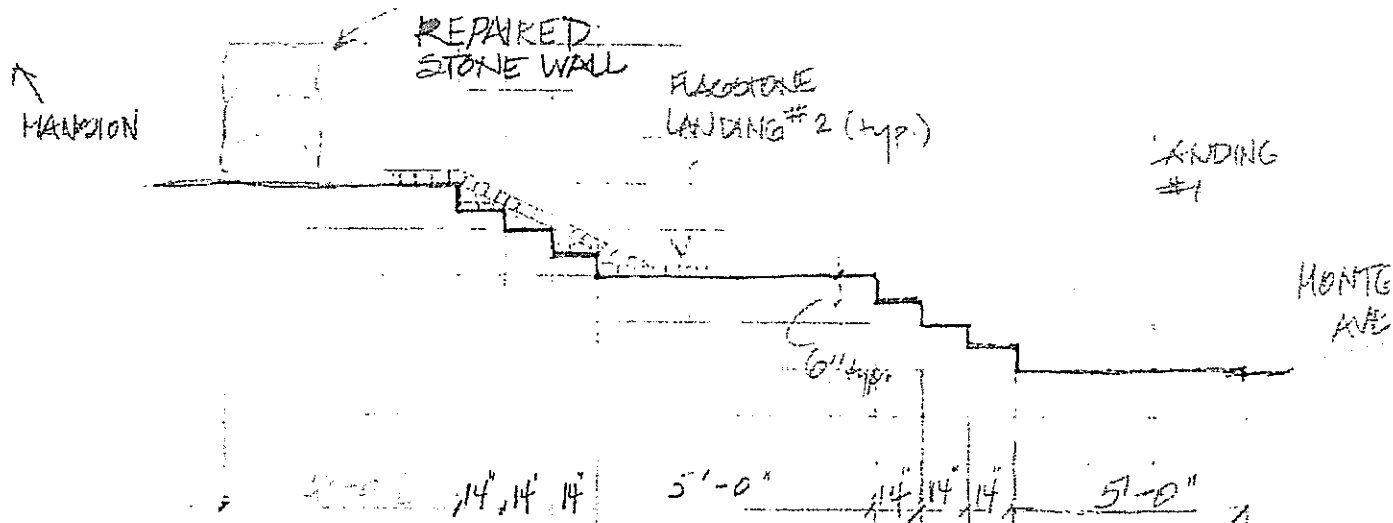
- E. Concrete shall be placed from a truck which should be no more than 15 feet from the area being poured. Extension of chutes beyond 15 feet may be permitted by the M-NCPPC Construction Manager on request. Tubes or chutes, if used, shall have metal lining, and shall have ends lowered as close as possible to the newly poured concrete. Concrete shall not be dropped from more than 2 feet above the forms. Concrete shall be placed in a manner that there is no segregation of material or displacement of reinforcement. If this is not possible due to site constraints, other methods may be submitted to the M-NCPPC Construction Manager for possible approval.
- F. Concrete during and immediately after depositing shall be thoroughly consolidated by internal and external mechanical vibration, or as approved by the M-NCPPC Construction Manager.
- G. All excess concrete used for testing, the remaining in the truck, and miscellaneous equipment shall be properly disposed of in the concrete washout structure per MDE soil erosion sediment control manual detail number H-6.
- H. Expansion joints shall be placed as shown on the Site Plan and Details. Expansion joints will be 2" depth pre-molded expansion material conforming to MSHA Standard Section 911. Expansion material shall not extend above the surface of the finished slab. If a broom finish on the concrete surface is required, it shall be provided before the initial set. Maximum joint gaps shall not exceed ½".
- I. Curing of concrete shall be in accordance with MSHA Standard Specification Section 902. Spraying with liquid membrane is encouraged. Failure to cure concrete per specifications may result in removal of the poured concrete or non-payment.
- J. If any concrete is found to be defective, the Contractor will, at the direction of the M-NCPPC Construction Manager, remove and repair defective concrete at no cost to the Commission. Concrete shall be deemed defective if the surface is not finished properly to the satisfaction of the M-NCPPC Construction Manager, if it does not meet the strength requirements, or if it is not cured properly.
- K. Steel reinforcement shall be placed in accordance with the plans and details. Reinforcing shall be spliced in accordance with the latest ACI 318. Reinforcement shall be approved by the M-NCPPC Construction Manager. All reinforcement shall correspond to MSHA Standard, Section 908. All reinforcement shall conform to clearances shown on the plan.

513.08 MEASUREMENT AND PAYMENT

Payment will be full compensation for all material, labor, equipment, tools and incidental items necessary to complete the work. Payment shall be made on a unit rate or lump sum basis as shown in the bid proposal; or shall be considered incidental to other bid items if not specifically listed on bid forms.

TREADS: 20% slope

4R @ 6" } per min
3T @ 14"



IVARNEK CIRCLE STEP REPAIR

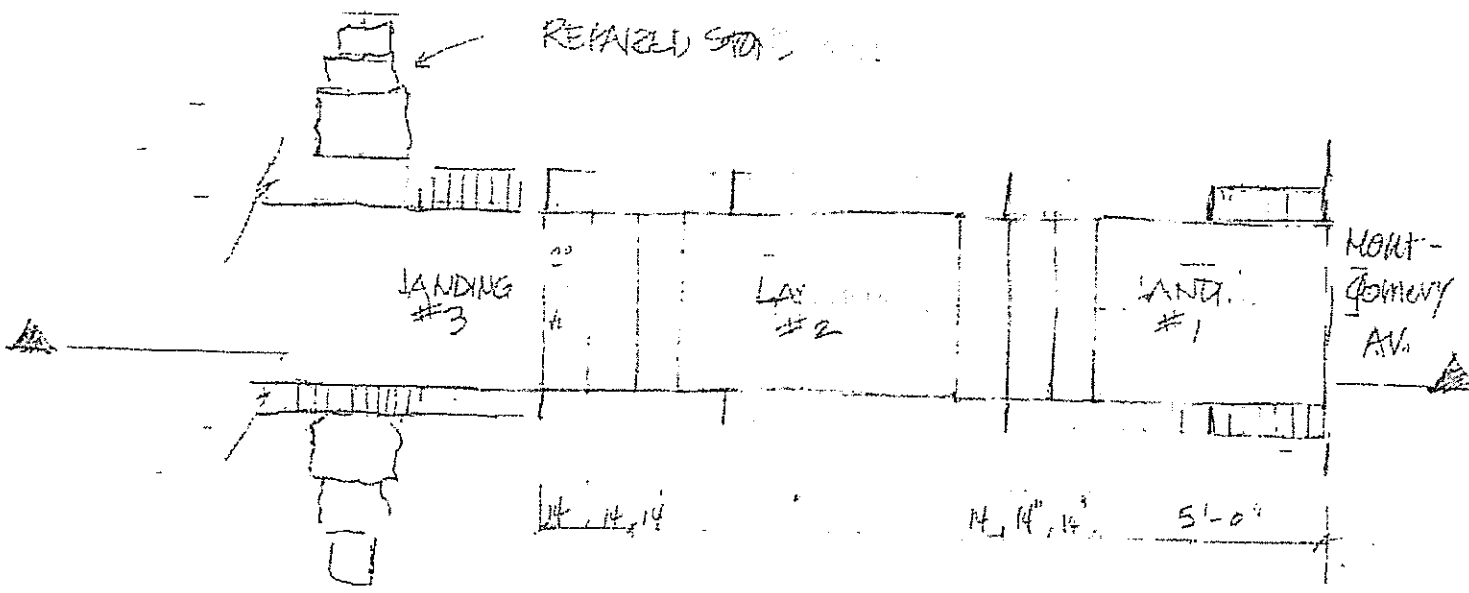
SECTION
NTS

ARCH



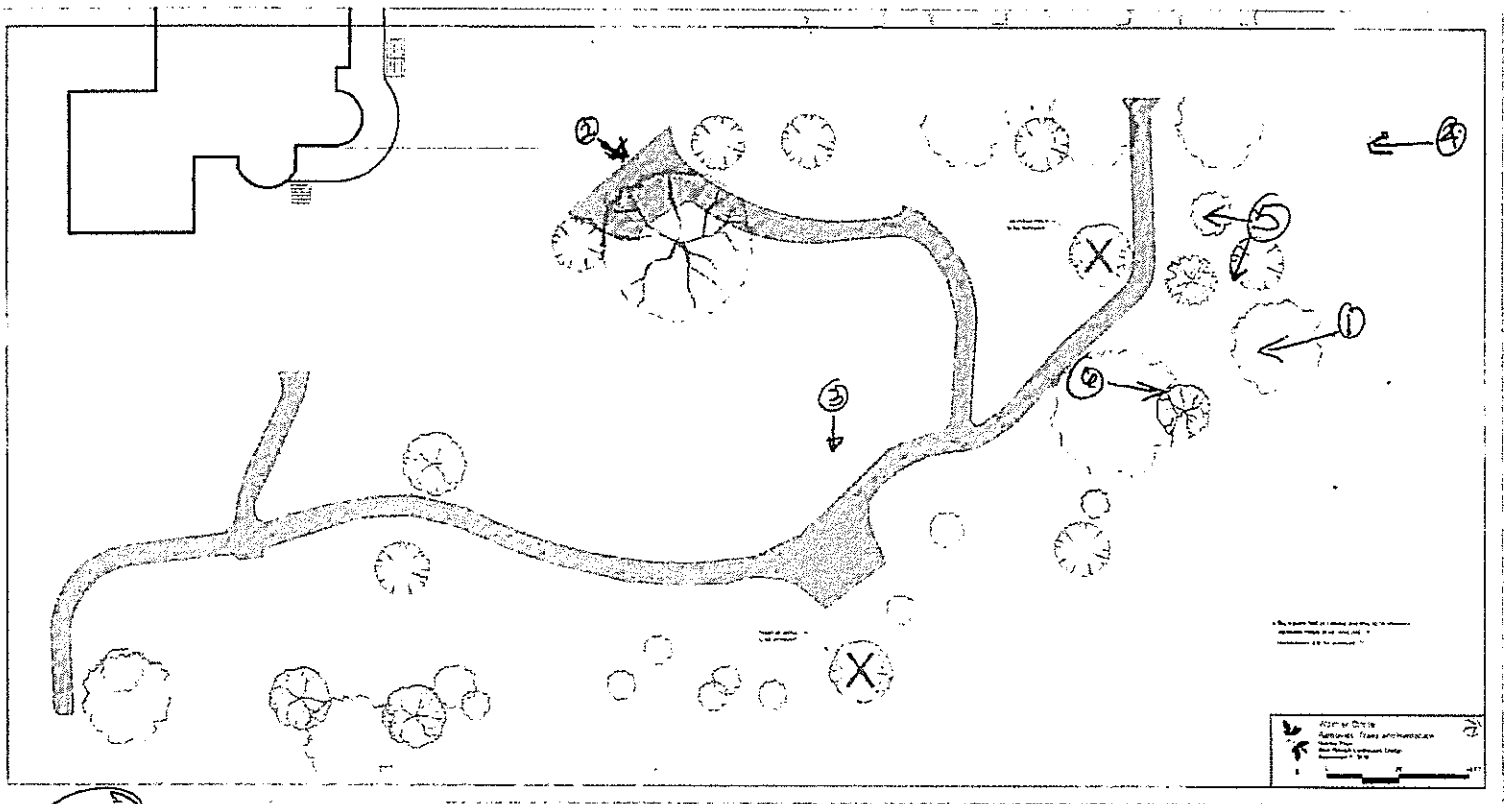
3/20/15

- 6"X12" PFERS AND CHEEK WALL
- FLAGSTONE LANDINGS & TREADS
- EXPANSION JOINTS AS REQ'D



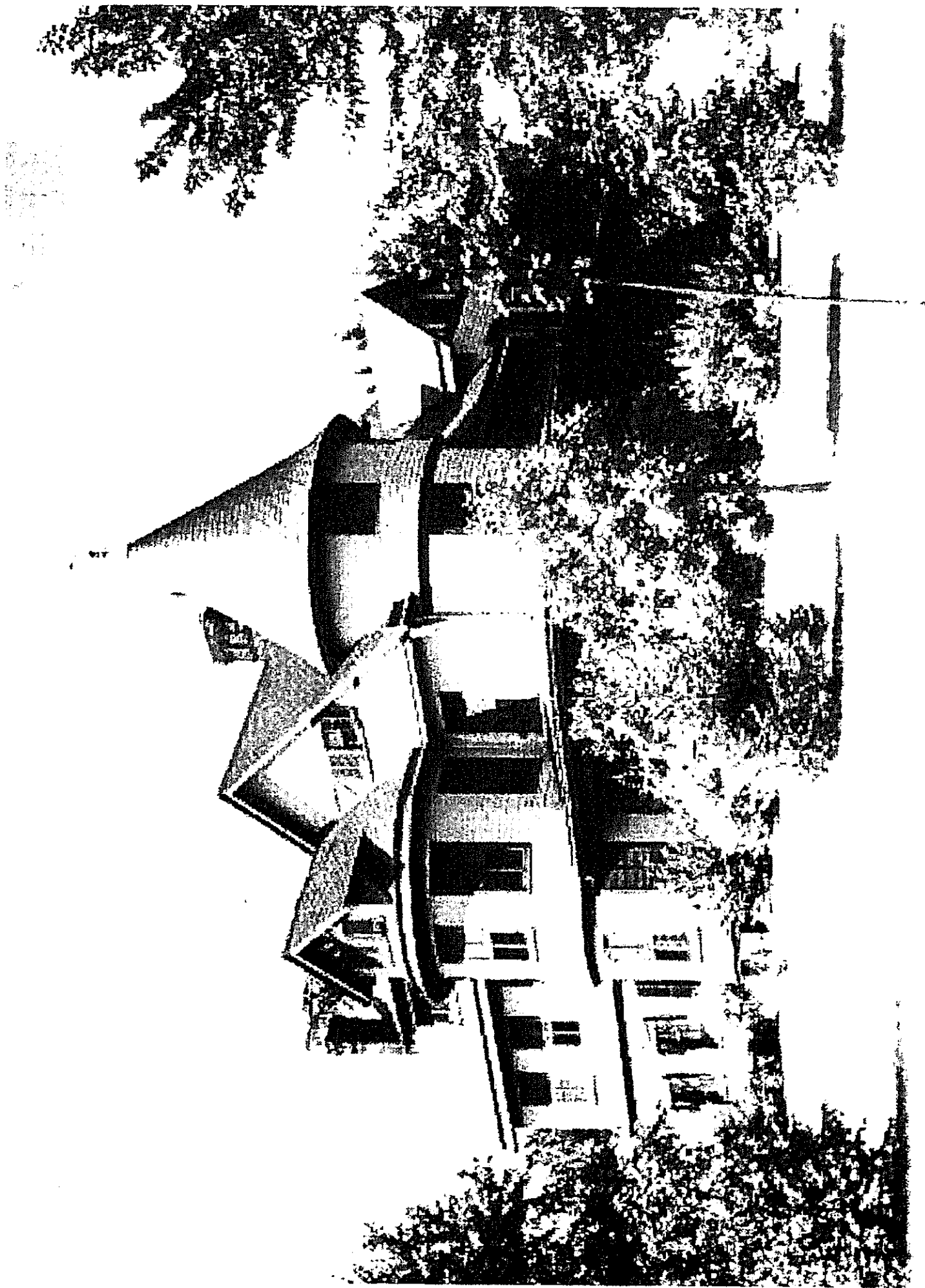
WARNER CIRCLE STEP REPAIR PLAN MTS.

PROPOSED 3/20/17



7-9

Photo locations

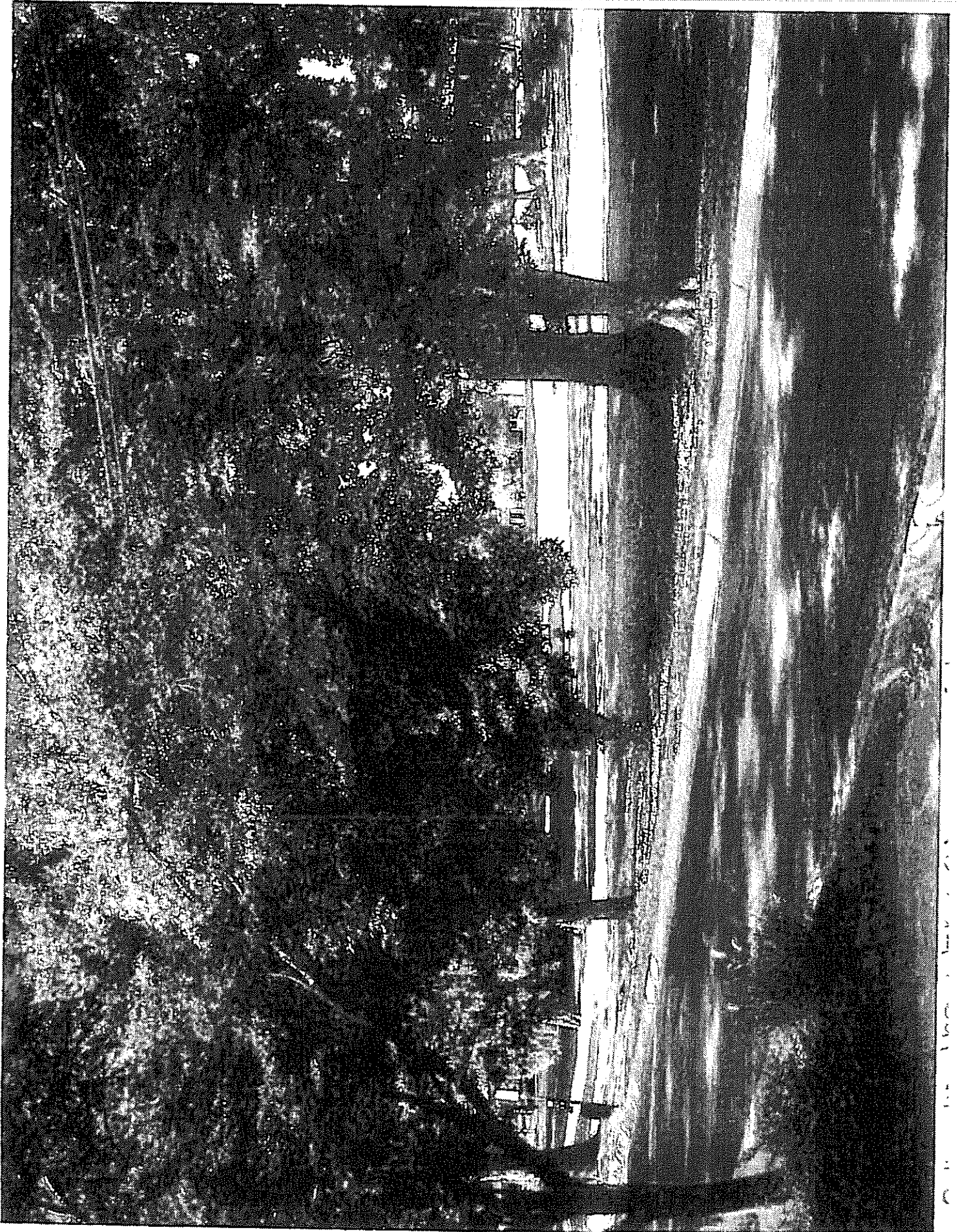


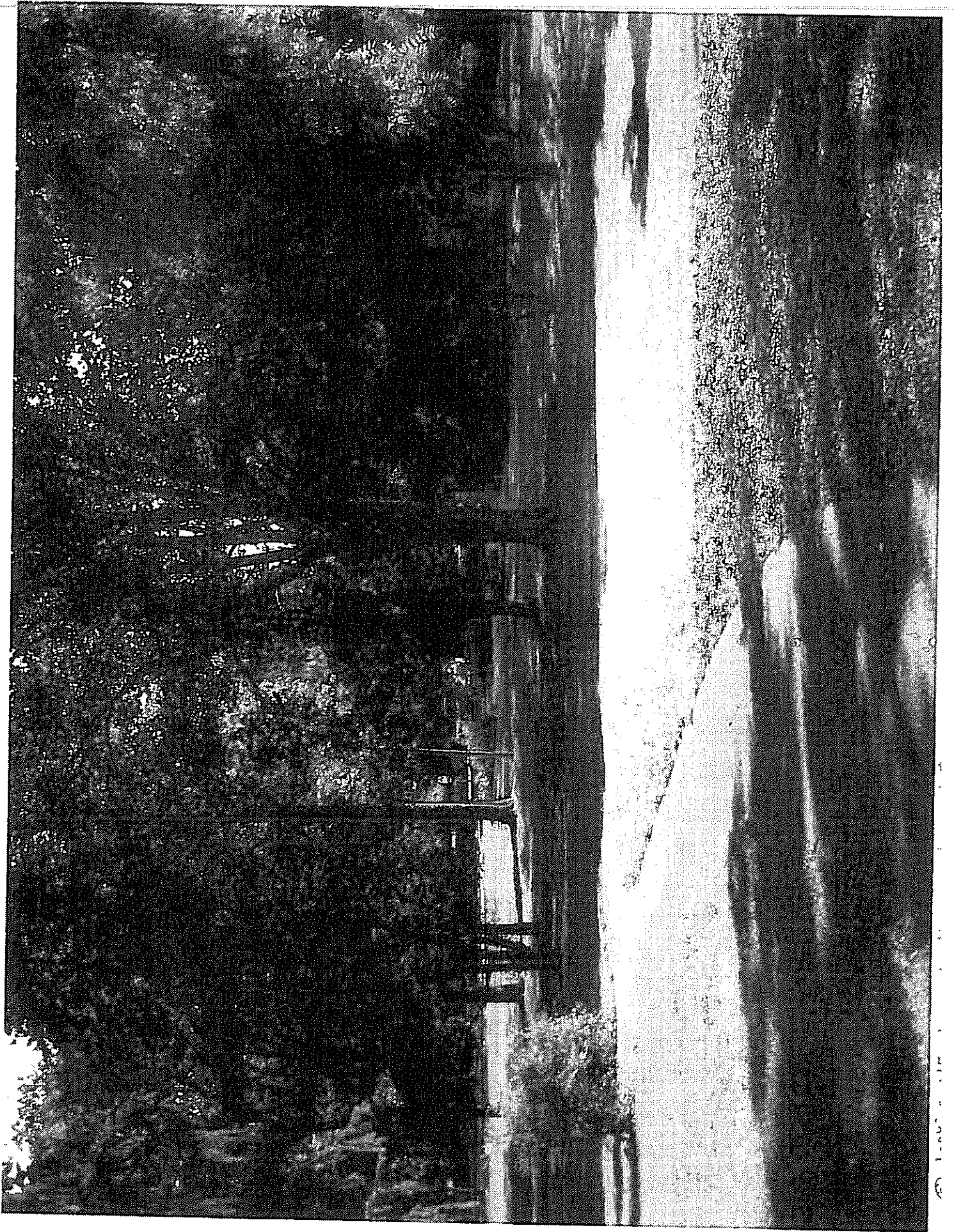
(8) Street view, 1940s photo of landscape



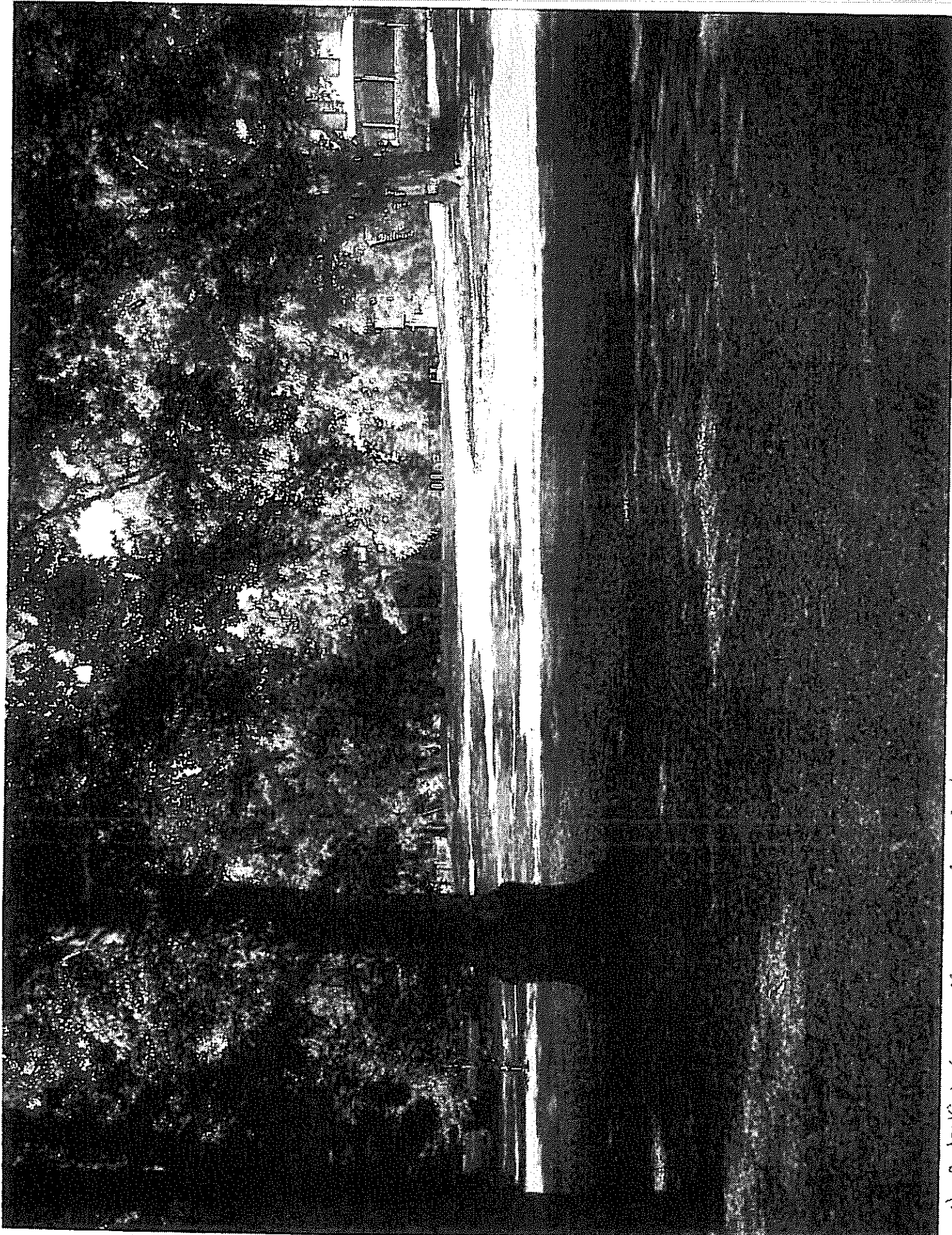














MARYLAND DEPARTMENT OF



Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

Wendi W. Peters, Secretary
Ewing McDowell, Deputy Secretary

May 30, 2017

Julie Mueller
Montgomery County Department of Parks
9500 Brunett Ave.
Silver Spring, MD 20901

Re: Brainard Warner Property, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement

Dear Ms. Mueller:

The Maryland Historical Trust (MHT) is in receipt of your application, received on April 19, 2017, requesting approval for the removal of the existing landscape features and replacement with new features, inclusive of exposed aggregate concrete walkways with brick borders, brick paved areas, seating areas, planting beds, and an activity area; and to rebuild the existing stone walls, associated brick and stone stairs, and landing on the east side of the property. The Maryland Historical Trust Easement Committee (Committee) reviewed the information on May 9, 2017.

Based on the review and recommendation of the Committee, I conditionally approve the request for the removal of the existing landscape features and replacement with new features, inclusive of exposed aggregate concrete walkways with brick borders, brick paved areas, seating areas, planting beds, and an activity area; and to rebuild the existing stone walls, associated brick and stone stairs, and landing on the east side of the property. This work is approved with the condition that the applicant provide a plan which indicates how the depth of excavation required for the new landscape features will be limited to 8". If any areas may exceed 8" excavation, archeological monitoring and a report documenting the monitoring would be required and must meet the *Standards and Guidelines for Archeological Investigations in Maryland* (Shaffer and Cole, 1994, http://mht.maryland.gov/documents/PDF/archeology/Archeology_standards_investigations.pdf). This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular *General Rehabilitation Standards 8, 9, and 10*.

This approval is valid for period of six months from the date of this letter. Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Kate Bolasky, Easement Administrator, at (410) 697-9537 or by email at kate.bolasky@maryland.gov.

Sincerely,

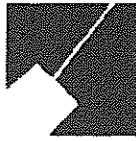


Elizabeth Hughes
Director
Maryland Historical Trust

EH/KB

Maryland Historical Trust • 100 Community Place • Crownsville • Maryland • 21032

Tel: 410.697.9591 • TTY users: Maryland Relay • MHT.Maryland.gov



MONTGOMERY COUNTY DEPARTMENT OF PARKS
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

10 April 2017

Kate Bolasky
Easement Administrator
Maryland Historical Trust
100 Community Place
Crownsville, MD 21032

RE: Brainard Warner Property Proposed Reading Garden (Kensington, Montgomery County)

Dear Kate:

This letter is to initiate formal review of the Warner Reading Garden in the Kensington Historic District. The Warner Circle Special Park is protected by an historic preservation easement. The park may still be listed in MHT's files under Circle Manor which was the non-historic name of the nursing home that most recently occupied the site. As mentioned in earlier correspondence to MHT, we no longer refer to it by that name.

Background

To refresh the Easement Committee's memory about this property, below is a quick overview of what Parks has done up to this point.

- 2006: The property was purchased to preserve parkland and historic buildings.
- 2010: A preservation easement was signed by MHT and Montgomery County (owner).
- 2011: The Warner Property Rehabilitation Facility Plan was approved by the Montgomery County Planning Board. The three-phase plan includes a Historic Landscape Master Plan and an archaeological assessment (both attached)
- 2012: MHT approved plans for Phase I. This included:
 - Removing two non-historic wings on the manor house
 - Enclosing the newly created openings with walls and terraces that more closely resemble the original and 1914 alterations to the building
 - Rebuilding of the historic loop driveway.
- 2014: Phase I completed.
- 2014-Present: Phase II (Stabilization) was undertaken. Work has included
 - Interior work on the manor house:

9500 Bruner Avenue, Silver Spring, Maryland 20901 www.MontgomeryParks.org General Information: 301.495.2595

- Capping and removing bathroom fixtures and abating asbestos dating to the 1950s
- Cleaning out remnants of the nursing home (removing carpeting, window treatments, air conditioning units, etc.)
- Conducting a structural conditions assessment and window condition survey
- Repairing the collapsed front porch
- Making minor roof repairs

In addition to this effort, Parks has been working with the community and the county to find ways to tenant the buildings, activate the park, and raise funds to complete Phase III (manor house interior rehab). As part of this overarching effort, Parks sponsored an all-day community meeting in January 2015 to discuss the future of three public historic buildings in Kensington (Warner, Noyes Library, and Kensington Cabin). One of the suggestions was development of a reading garden on the Warner grounds that could be as an outdoor extension to the Noyes Library across the street and serve the many citizens who use the park daily. The Noyes Library is the oldest public library in the DC Metro area. Its collection for young children is housed in the very small building. The library and the Warner manor house are historically connected to one another as Brainard Warner donated the land for the library and his close friend provided the funds to build it. They are architecturally compatible, having been built within a year of one another, and form a visual and social center for the town of Kensington.

The Warner Reading Garden Committee, formed shortly after the 2015 meeting, has been working on the garden design. The committee's members include a historic preservation specialist, a landscape architect, architect, members of the Kensington Historical Society, etc., in other words, people with both an interest in and an extensive understanding of the site. They studied the Historic Landscape Master Plan, as well as the site plan. They regularly met with Parks' arborists, park managers, landscape designers, and myself for the better part of two years. They also retained the services of a landscape designer to develop their ideas. Based on the site conditions, as well as funding options, the plans for the garden evolved from a very elaborate one to one that is simpler in scope. The plan being presented to the Easement Committee represents these realities.

Project Description

The proposed project site is in the northeast quadrant of the Warner grounds. The plan is described in more detail in the attachments. In summary, it calls for

- Removal of walkways and pads installed post 1956 (after period of significance)
- Construction of a single path which will have
 - 7 seating areas
 - 3 planted beds
 - 1 activity/reading assembly area that can accommodate a group of children

- Rehabilitation of the deteriorated historic steps leading to the intersection of Kent Street and Carroll Place on the eastern edge of the property. This feature is identified as a historic landscape element and is shown in Figure 22 of the Historic Landscape Master Plan.
- Reconstruction of the historic stone walls at the steps

We look forward to working with MHT on the project. Thank you for your continued assistance. Please do not hesitate to contact me if you have any questions

Sincerely,



Julie Mueller
Cultural Resources Stewardship Section
301-650-4390
Julie.mueller@montgomeryparks.org

Cc:

Yvonne Gurney, Warner Reading Garden Committee Chair

Attachments:

2010 Site Plan
Proposed Landscape Plan
Proposed plan with location of existing walkways shown
Side walk plan and specification
Step plan
Photos
2011 Archaeological Assessment
2010 Historic Landscape Master Plan



Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

Wendi W. Peters, Secretary
Ewing McDowell, Deputy Secretary

Historic Preservation Easement Program Change/Alteration Request Application

This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All Change/Alteration Request Applications must be submitted along with pertinent supplemental information in hard copy with an original signature at least one week prior to the scheduled meeting date. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.

Return the Change/Alteration Request Application, and other information to:
Kate Bolasky, Administrator, Historic Preservation Easement Program
Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032
(410) 697-9537/kate.bolasky@maryland.gov

Easement Property Information:

Name of Easement Property:	Brainard Warner Property		
Alternative Name:	Warner Circle		
Address of Property:	10231 Carroll Place		
	Kensington	County:	Montgomery
Maryland Inventory of Historic Places # (if known): 31/6 (Kensington Hist. District)	(for more information visit http://mht.maryland.gov/research_survey.shtml)		
Scope of Easement:	<input checked="" type="checkbox"/> Exterior <input checked="" type="checkbox"/> Interior <input checked="" type="checkbox"/> Archaeology	Is the scope of work located inside the easement boundary?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
What does the Easement protect? (Check all that apply)			

*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ kathy.Monday@maryland.gov

Property Owner Information:

Name of Current Property Owner:	Mont. Co. (Stewarded by Mont. Co. Dept. of Parks; Att; Julie Mueller)		
Address of Property Owner: (If different than property address)	9500 Brunett Avenue Silver Spring, MD 20901		
Work/Home Telephone:	301-650-4390	Fax:	
Mobile Telephone:		Email:	Julie.mueller@montgomeryparks.org

If application is completed by someone other than owner (only complete if applicable):

Name of Authorized Project Contact:			
Relationship to owner:			
Address of Authorized Project Contact:			
Daytime Telephone:		Fax:	

Maryland Historical Trust • 100 Community Place • Crownsville • Maryland • 21032

Tel: 410.697.9591 • TTY users: Maryland Relay • MHT.Maryland.gov

Mobile Telephone: _____	Email: _____
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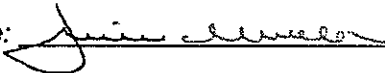
Project Funding Information:

Is this project being funded by any of the following sources? <i>Please check all that apply:</i>	<input type="checkbox"/> MHT Capital Grant (FY _____) <input type="checkbox"/> MHT Loan <input type="checkbox"/> MHAA Capital Grant (FY _____) <input type="checkbox"/> AAHPP Grant (FY _____) <input type="checkbox"/> Historic Tax Credits (<input type="checkbox"/> Residential/ <input type="checkbox"/> Commercial) <input type="checkbox"/> Bond Bill (Chapter _____/Year _____) <input type="checkbox"/> Other State/Federal Funding _____ <input checked="" type="checkbox"/> Other Funding (private donations)
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Please check that you have included the following information as part of your complete application:

Required: <input type="checkbox"/> Change/Alteration Request Application <input type="checkbox"/> Detailed Work Description <input type="checkbox"/> Printed Photographs & CD; properly labeled/identified	As Necessary (Recommended): <input type="checkbox"/> Site Plan/Drawings/Plans (dated _____) <input type="checkbox"/> Product Information/Specifications <input type="checkbox"/> Other _____
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The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date:  / 4/14/17

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: Asphalt sidewalk and pads	<p>Describe, in detail, the proposed work and impact on existing feature: The project proposes to remove the non-historic asphalt sidewalk and pads located in the northeast quadrant of the grounds and replace them with one that is more in keeping with the period of significance of the property. The new path will include:</p> <ul style="list-style-type: none"> 7 small seating areas designed to accommodate one or two benches along which a stroller or wheelchair can be parked 4 planted beds 1 activity/assembly area <p>The path will be 5' wide to accommodate two users side by side. It will be laid in exposed aggregate</p>
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	<p>concrete to resemble a gravel path while still meeting ADA surface standards. It will be lined with brick pavers per recommended historic landscape treatment described in the 2011 Historic Landscape Master Plan. The ground will need to be excavated 8" to lay the new path.</p> <p>The activity/assembly area will be furnished with natural materials such as small boulders and log benches suited for sitting and climbing on by young children (i.e., low to the ground).</p> <p>One non-native tree, a Japanese Maple, will be removed to accommodate the new path.</p> <p>The proposed path will not have a direct impact on the manor or carriage house, themselves. Furthermore, views from the manor house across the open lawn will remain intact.</p>	
<p>Approximate date of feature: post 1956</p>	<p><i>Be sure to include details and specifications on proposed products</i> (attached)</p>	
<p>Describe existing feature and its condition: good The asphalt paths and pads located throughout the grounds are in good condition, but are not historic and do not contribute to the historic significance of the site.</p>	<p>Photo no. 1-6</p>	<p>Drawing no. (attached)</p>

Work Item # 2

<p>Architectural/Landscape feature: low ornamental planting beds</p>	<p>Describe, in detail, the proposed work and impact on existing feature:</p> <p>Parks proposes to create 4 beds along the new path. Two beds near the center of the path are narrow and basically line one side of the path, providing some color and variation to the open lawn. A bed located at the north end of the path, across from the Noyes Library, will be primarily mulched due to the soil composition and wet nature of this area. Plants that can thrive in this environment are planned here. An ornamental bed is planned at the</p>
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	south end, next to the historic path. Brainard Warner's daughters' diaries mention ornamental beds on the property during their residency in the 1910s.	
Approximate date of feature: proposed	<i>Be sure to include details and specifications on proposed products</i> See landscape plan for plant list.	
Describe existing feature and its condition: N/A	Photo no. N/A	Drawing no.
N/A		

Work Item # 3

Architectural/Landscape feature: Steps and Decorative Retaining Walls/Gates	Describe, in detail, the proposed work and impact on existing feature: Both the steps and the walls are severely deteriorated and must be rebuilt. The walls will be rebuilt to match historic photographs of the walls. Stone to match what remains of the existing stone will be used. The stone is available and was used to reconstruct the back terrace of the manor house in 2014. What remains of the steps will need to be removed and reset to make them safe for use. They are currently a tripping hazard and do not meet code. Using the extant design, the entire feature will need to be carefully removed and reset such treads and risers will meet code. To accomplish this, one extra step in each flight will need to be installed. New brick will be selected to match the historic. If any extant materials cannot be salvaged and reused,
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	they will be replaced in kind. Landings 1 and 2 will be paved with flagstone. Landing 3 will be the same paving material as the sidewalk as that is where the steps will meet the new sidewalk.	
Approximate date of feature: 1890s-1914 (?)	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 7-9	Drawing no. (attached)
<p>A set of stairs and a pair of stone walls are located at the east edge of the property where Carroll Place meets Kent Street. They may date to the construction of the manor house since a pair of similar walls were built then at the head of the main driveway into the property. However, it is possible that they were added in 1914 when the house changed ownership, was expanded, and the carriage house was built. They are built of the same stone as the front walls, but have a slightly different design, perhaps because this is a secondary, solely pedestrian entrance to the property. There are no other landscape features on the property that are similar in design to the steps themselves.</p> <p>The set of stairs is composed of two flights of three steps each with a long landing between them. The steps have brick risers and blue stone treads. Because the landing is deteriorated, it is not clear whether this area was originally paved with bluestone, was gravel or simply dirt, or was paved with asphalt at some point. The entire composition is lined with wide bricks and is terminated at the road by a modern curb cut. At the top of the stairs, to either side, are the remnants of stone walls.</p>		

* Please print this page again to include as many work items as necessary.