

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	19900 White Ground Rd., Boyds	Meeting Date:	1/11/2017
Resource:	Primary Resource Boyds Historic District	Report Date:	1/4/2017
Applicant:	Elena Shuvalov (Douglas Bale, Agent)	Public Notice:	12/28/2016
Review:	HAWP	Tax Credit:	N/A
Case Number:	18/8-17A	Staff:	Michael Kyne

PROPOSAL: Demolition of accessory structure and construction of new accessory structure

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with one (1) condition** the HAWP application.

1. **Details will be submitted for the proposed new garage doors, with final review and approval delegated to staff.**
2. **Window and door details will be submitted, with final review and approval delegated to staff.**

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary Resource within the Boyds Historic District
STYLE: Gothic Revival
DATE: c. 1850 - 1935

PROPOSAL

The applicant proposes to remove an existing accessory structure at the rear/right side of the property and construct a new accessory structure in its place.

APPLICABLE GUIDELINES

When reviewing proposals for alterations and new construction within the Boyds Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement

or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The existing accessory structure to be removed is a small and non-descript storage building/garage, with swinging carriage-style doors and an entry door on its front elevation. While the existing structure is consistent with the rural characteristics of the Boyds Historic District, it does not contribute to the Gothic Revival-style historic house.

The proposed new accessory structure is an approximately 36' x 23' two-car garage, with additional storage area at the front, which will be installed in the same approximate location as the existing structure. The proposed new structure will have a slight t-shape. The rear portion of the building will include the two-car garage, which will be accessed from the right side.

Staff finds that the proposed new garage is compatible with the subject property and is unlikely to impact the surrounding historic district. The applicant's current proposal is the result of working with HPC staff to find an appropriate and compatible garage for the subject property. The process has been iterative, and the applicant has been cooperative in working with staff to make the suggested revisions.

The proposed materials for the new garage include horizontal and vertical board and batten Hardie Plank siding, three-tab asphalt shingle roofing, aluminum-clad windows, and two carriage-style doors. No details have been provided for the proposed windows, doors, or garage doors, and staff recommends conditions, stipulating that these details will be provided, with final review and approval delegated to staff.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the Secretary of the Interior's Standards for Rehabilitation outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the conditions specified on Circle 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: DANDDEV@AOL.COM Contact Person: Douglas Bale
 Tax Account No.: 01523/04 Daytime Phone No.: 301 704 7366
 Name of Property Owner: ELENA SHUVALOV Daytime Phone No.: 301 704 7366
 Address: 19900 White Ground RD
Street Number City State Zip Code
 Contractor: D&D Developers of MD Phone No.: 301 704 7366
 Contractor Registration No.: 38368
 Agent for Owner: DOUGLAS BALE Daytime Phone No.: 301 704 7366

LOCATION OF BUILDING/PREMISE

House Number: 19900 Street: WHITE GROUND RD
 Town/City: BOYDS 20841 Nearest Cross Street: BARNESVILLE RD
 Lot: _____ Block: _____ Subdivision: _____
 Liber: 4195 Folio: 120 Parcel: 352

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit #: N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

D. Bale
Signature of owner or authorized agent

12-20-16
Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

784221

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Remove old +
BUILD GARAGE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

HAVE REVIEWED WITH MR WHIPPLE AND CHANGED
MATERIALS + ELEVATIONS TO HIS SATISFACTION

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

6

Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT ELEVATION



Detail: SIDE + old GARAGE to Be Removed + Replaced

Applicant: ELENA SHUVALOV (DOUGLAS) BARE

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address ELENA SHVALOV 19900 WHITE GROUNDS RD BOYDS MD 20841</p>	<p>Owner's Agent's mailing address DOUGLAS BALE 1645 LAKEWOOD RD PASADENA MD 21122</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>19904 PRESB Church TRUST</p>	<p>Church owners in TRUST</p>
<p>19810 PRESBYTERIAN Church</p>	<p>Church owners in TRUST</p>

DOOR SCHEDULE :

All hardware selected by Owner in color, style, finish. Operation shall be reviewed and keyed to suit room and Owner requirements prior to ordering. Door swings as per plan unless otherwise noted. All doors shall be 1 3/4" thick unless otherwise noted. Extension Doors by Thermo-Tru selected by Owner. See elevations for style and finish.

- 1. 3'-0" x 6'-5" x 1 3/4"
- 2. 3'-0" x 6'-5" x 1 3/4"
- 3. 3'-0" x 6'-5" x 1 3/4"
- 4. 3'-0" x 6'-5" x 1 3/4"
- 5. 3'-0" x 6'-5" x 1 3/4"
- 6. 3'-0" x 6'-5" x 1 3/4"

WINDOW SCHEDULE :

Contractor shall review all window sizes, operation, hardware and options with the owner prior to ordering for clarity on all features. Windows shall be vinyl or Anderson 200 series selected by owner. Grille pattern as shown on elevations, see Drawing A2.

- 1. Convex/Concave Inset Screens
- 2. High performance Low E 4 Insulated Glass
- 3. Exterior color white
- 4. Interior perforated white
- 5. White classic series hardware or to suit owner
- 6. Operation as per elevations

- A Double hung unit
- B Double hung unit

NOTES - Karel In Foundation Plan 2/A1

1. Great CMU solid to the footing at all beam/proportional bearing points. 8" minimum cast side of bearing.
2. Bottom of footings shall be minimum 32" below grade.
3. Provide metal hangers by USP or Simpson at all finish frame connections. All metal connectors (including bolts, washers, nuts, hangers, etc.) in contact with AOC pressure treated lumber shall be zinc double dipped galvanized or stainless steel.
4. All rebar lap splices shall be 2'-0" minimum. u.s.a.

ROOF NOTES: Karel Into Drawing 3/A1

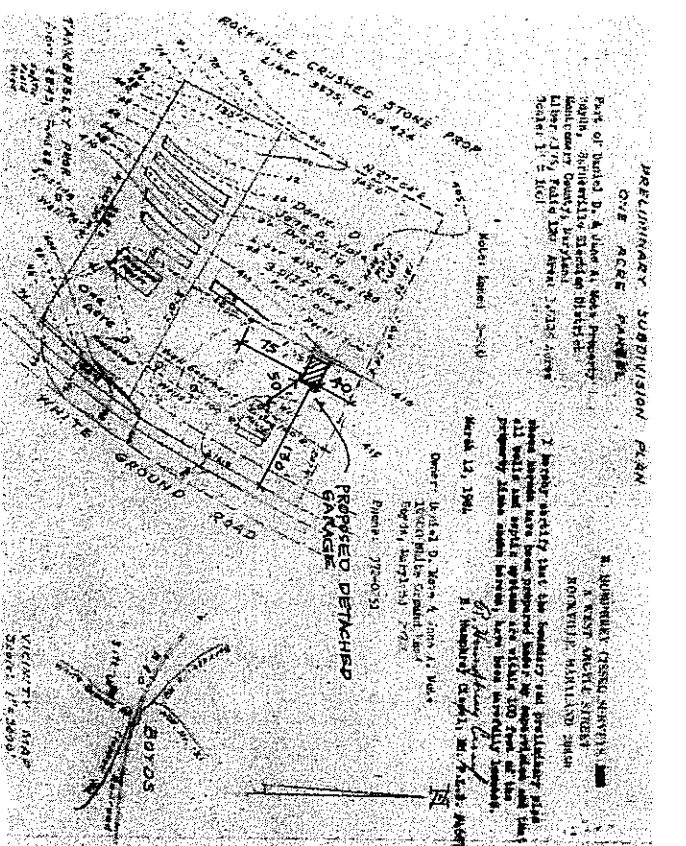
1. Provide 5" white aluminum gutters with downspout and precast splash block.
2. Provide Ice/Water shield sheet, 2'-0" wide minimum at all eaves, hips and ridges.
3. Shingles shall be 3 tab fiberglass color selected by Owner.
4. Soffit shall be continuous vented vinyl.
5. All rafter trim, fascia drip edge trim and flashing shall be aluminum.
6. Roof and eave overhang as shown on Drawings.
7. Continuous angled ridge vent.

FRAMING NOTES:

1. All beams are to be dropped below floor framing or roof framing unless noted flush. Beams are to bear full load on posts.
2. Provide double wall and post under all beams, leaders, trimmers, girt trusses and multiple joists bearing on and walls unless noted otherwise.
3. All metal connectors (including bolts, washers, nuts, hangers, etc.) in contact with AOC pressure treated lumber shall be zinc double dipped galvanized or stainless steel.
4. Provide metal hangers at all finish connections.
5. Provide (2) 2x10 wall headers at all exterior wall openings under 4'-0" and (2) 1 3/4" x 11 7/8" LVL headers everywhere else, u.s.a.
6. Anchor all pressure treated wood sills and plates at the top of the concrete with 1/2" diameter galvanized anchor bolts (bolts) 4'-0" o.c. 2'-0" from the corners. Minimum embedment 12".
7. Anchor all 2x12 plates to concrete wall at joints and corners with 2 1/2" Tycoson concrete anchors or approved equal.

DRAWING LIST

- A1 Site Plan, Foundation Plan, Floor Plan, Roof Plan, Notes, Window and Door Schedules
- A2 Elevations, Notes, Details, Building Cross Section
- A3 Structural notes, Details, Building Longitudinal Section

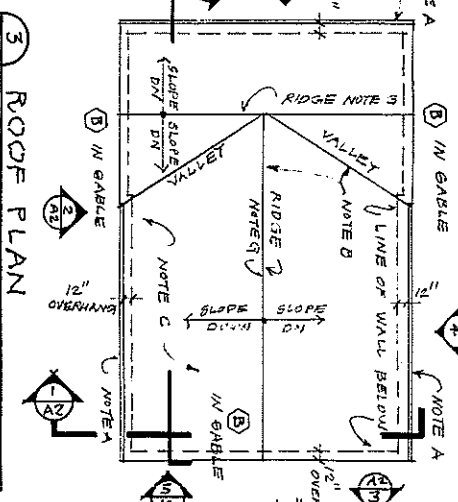


4 SITE PLAN

SCALE: 1" = 100'

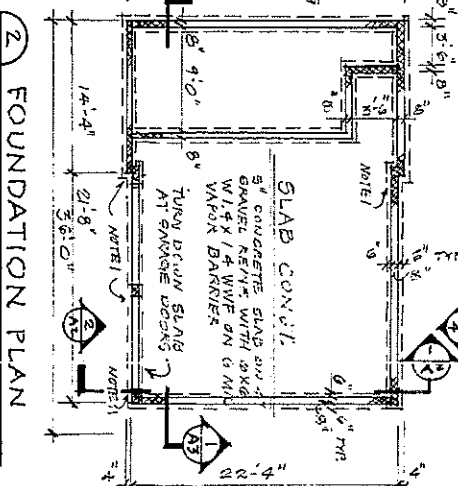
NOTE: * SEE GRADE CHANGE NOTE ON SECTION 1/A3

SITE PLAN OBTAINED FROM MOVINGMENT COUNTY PLANNING AND ZONING



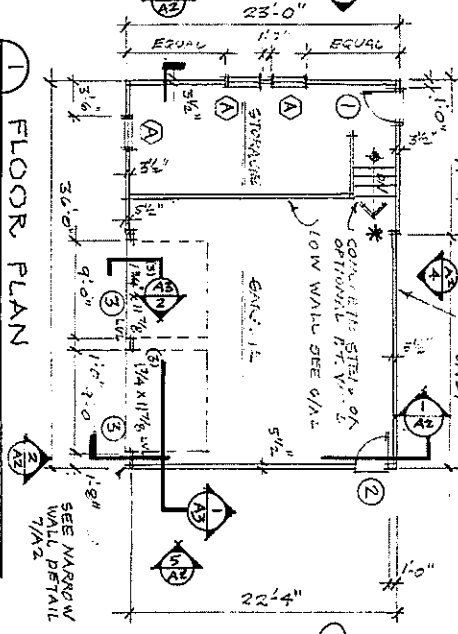
3 ROOF PLAN

SCALE: 1/8" = 1'-0"



2 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



1 FLOOR PLAN

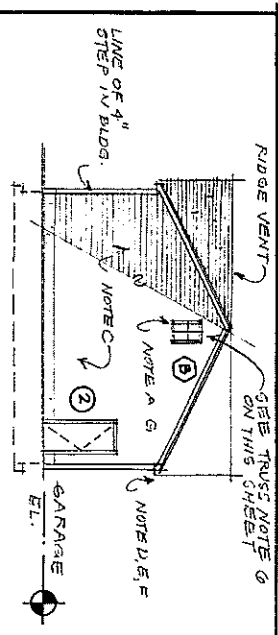
SCALE: 1/4" = 1'-0"

Freestanding Garage Addition for the SHUVALOV RESIDENCE
 Boyd's, Maryland 20841

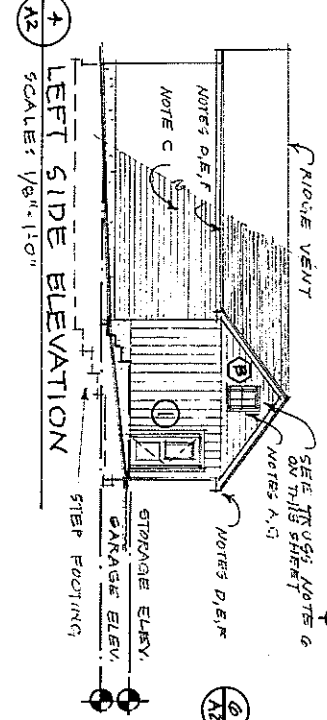
SHUVALOV RESIDENCE
 Boyd's, Maryland 20841
 Studio 22, Inc. Architects / D & D Developers of Maryland.

REVISIONS	BY

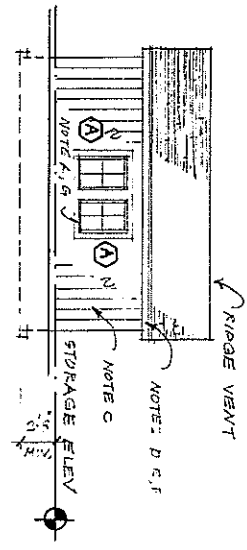
A1
 DATE: May 25, 2014
 SCALE: 1/8" = 1'-0"
 DRAWN: RWP/JR
 SHEET: 10-006
 OF 3 SHEETS



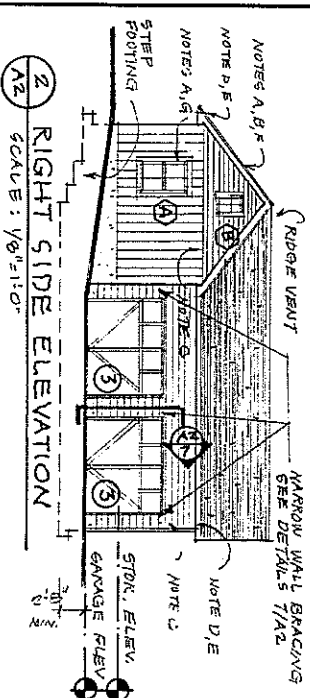
5 REAR ELEVATION
SCALE: 1/8" = 1'-0"



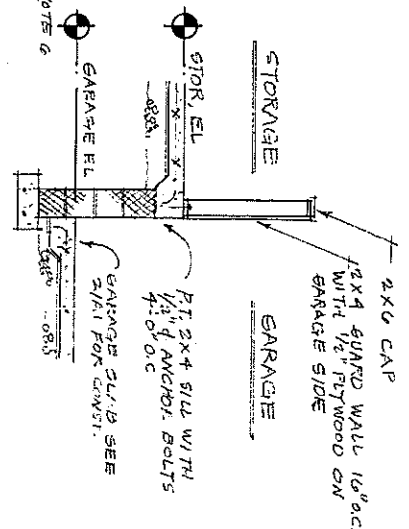
4 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



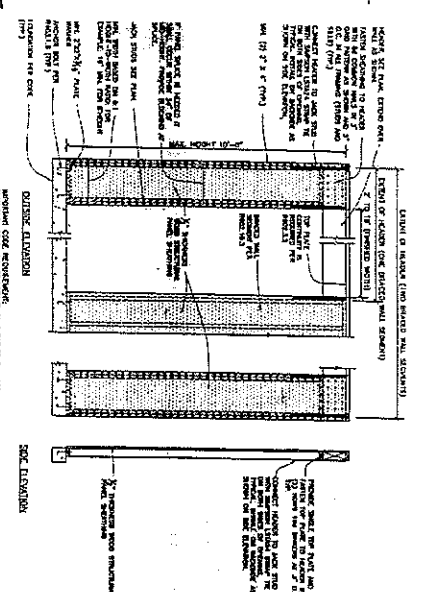
3 FRONT ELEVATION (STREET SIDE)
SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



6 WALL AT FLOOR EL. CHANGE
SCALE: 1/2" = 1'-0"



7 APA DETAIL NARROW WALL BRACING
NO SCALE

TRUSS NOTES:

1. Roof trusses shall be designed by the truss manufacturer and signed and sealed by a Structural Engineer registered in the State of Maryland.
2. Truss chord configuration by truss manufacturer.
3. Truss spacing shall be 24" on center maximum.
4. Submit shop drawings for review by the contractor and Montgomery County.
5. Hurricane anchors specified by USF or Simpson at all truss bearing points. Hangers to meet structural requirements provided by truss manufacturer on the shop drawings.
6. Gable end trusses chord configuration to allow for windows. See Elevation on drawing A2.

SIDING/EXTERIOR TRIM NOTES: Refer to Elevations 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

- A. All trim shall be installed with a minimum 1/4" overlap.
- B. All trim shall be installed with a minimum 1/4" overlap.
- C. Siding shall be vertical board and batten (VBB) or horizontal board and batten (HBB) with aluminum nails to match trim.
- D. Horizontal siding shall be fiber cement siding by James Hardie or equal. All nails shall be 1x2 "brad" trim.
- E. Provide continuous vented soffit to match existing.
- F. Provide 2" white aluminum gutters with downspouts and precast splash blocks.
- G. White aluminum drip edge and rake trim edge typical.
- H. Window flashing system by Duroplast / J/vek with all flashing or approved equal.

WALL CONSTRUCTION:

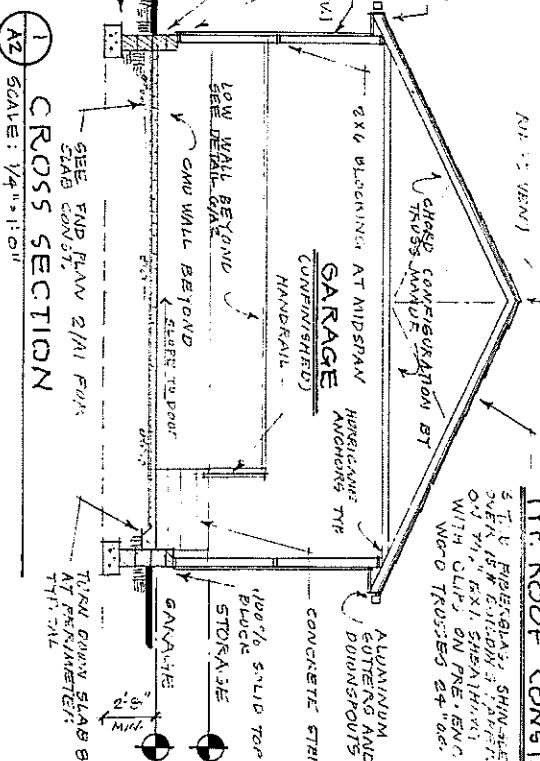
- 2x6 WOOD STUDS 16" O.C.
- WITH 7/16" EXT SHEATHING
- HOUSEWRAP AND FIBER
- CEMENT SIDING (SEE ELEV.)

TRUSS CONSTRUCTION:

- PT. 2x8 SILL WITH 1/2" x 4 ANCHOR BOLTS 4'-0" O.C. WITH SIDE GASKETS
- 6" x 6" x 16" CMU FND. WALL WITH HORIZONTAL JOINT (PHASE 2)

TYPE FOOTING:

- 10" x 20" REINFC CONCRETE FOOTING WITH 2" x 4 BARS CONTINUOUS



1 CROSS SECTION
SCALE: 1/4" = 1'-0"

Freestanding Garage Addition for the **SHUVALOV RESIDENCE**
 Boyd's, Maryland 20841 Studio 22, Inc. Architects / D & D Developers of Maryland

DATE OF REVISION	BY	REVISIONS

ARCHITECTURAL PROFESSIONAL SEAL
 5187-A
 ARCHITECT
 DATE OF REVISION
 BY
 REVISIONS
 ELEVATIONS
 NOTES
 DETAILS
 BLDG. SEC.
 ONLY 25 TOTAL
 SCALE NOTED
 DRAWN RMP/JR.
 JOB 16-00
 SHEET **A2**
 OF 3 SHEETS

