

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	15 E. Lenox St., Chevy Chase	<b>Meeting Date:</b>	4/19/2017
<b>Resource:</b>	Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	4/12/2017
<b>Applicant:</b>	Thomas Lloyd (Phillip Long, Agent)	<b>Public Notice:</b>	4/5/2017
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	35/13-17J	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b> Hardscape and other alterations			

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**STAFF RECOMMENDATION:**

- Approve  
 Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**DATE:** 1892 - 1916  
**STYLE:** Colonial Revival/Eclectic

**PROPOSAL:**

The applicant proposes to construct flagstone terraces, fieldstone veneer retaining walls, and a stone water feature at the rear of the subject property.

**APPLICABLE GUIDELINES:**

**Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from the public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.

**Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### **STAFF RECOMMENDATION:**

Staff recommends that the Commission approve with conditions the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;**

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



## HISTORIC PRESERVATION COMMISSION

301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: phil@cas-dc.com Contact Person: Phillip Long  
 Daytime Phone No.: 240-417-3204

Tax Account No.: 07-00458637

Name of Property Owner: Thomas Lloyd Daytime Phone No.: \_\_\_\_\_

Address: 15 E. Lenox Street Chevy Chase MD 20815  
 Street Number: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Contractor: Maurie Zantlinger & Associates Phone No.: \_\_\_\_\_

Contractor Registration No.: BC 212121

Agent for Owner: Phil Long Daytime Phone No.: 240-417-3204

**LOCATION OF BUILDING/PROJECT**

House Number: 15 Street: E Lenox

Town/City: Chevy Chase Nearest Cross Street: Brookville Road

Lot: Part lot 1, Block: 44 Subdivision: Chevy Chase Section 2

Lot: 23 Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT/ACTION AND USE**

## 1A. CHECK ALL APPLICABLE:

- Construct    Extend    Alter/Renovate  
 Move    Install    Wreck/Raze  
 Revision    Repair    Revocable.

## CHECK ALL APPLICABLE:

- A/C    Slab    Room Addition    Porch    Deck    Shed  
 Solar    Fireplace    Woodburning Stove    Single Family  
 Fence/Wall (complete Section 4)    Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit #: \_\_\_\_\_

**PART TWO: COMPLETE ONLY FOR CONSTRUCTION AND EXTEND/ADDITION**

2A. Type of sewage disposal:   01  WSSC   02  Septic   03  Other: \_\_\_\_\_

2B. Type of water supply:   01  WSSC   02  Well   03  Other: \_\_\_\_\_

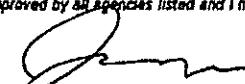
**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height: 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line    Entirely on land of owner    On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

  
 Signature of owner or authorized agent

3/27/17  
 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edt 6/21/99

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single Family Home on Chevy Chase Village - Originally  
Built Circa 1908.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Retaining Walls, Terraces, Water Feature (Fountain)  
rear yard

**✓ SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**✓ PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resources and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**✓ MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**✓ PHOTOGRAHPS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**N/A 6. TREE SURVEY**

If you are proposing construction adjacent to or within the drip line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**✓ ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **All** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

ILLUSTRATIVE SITE PLAN

1

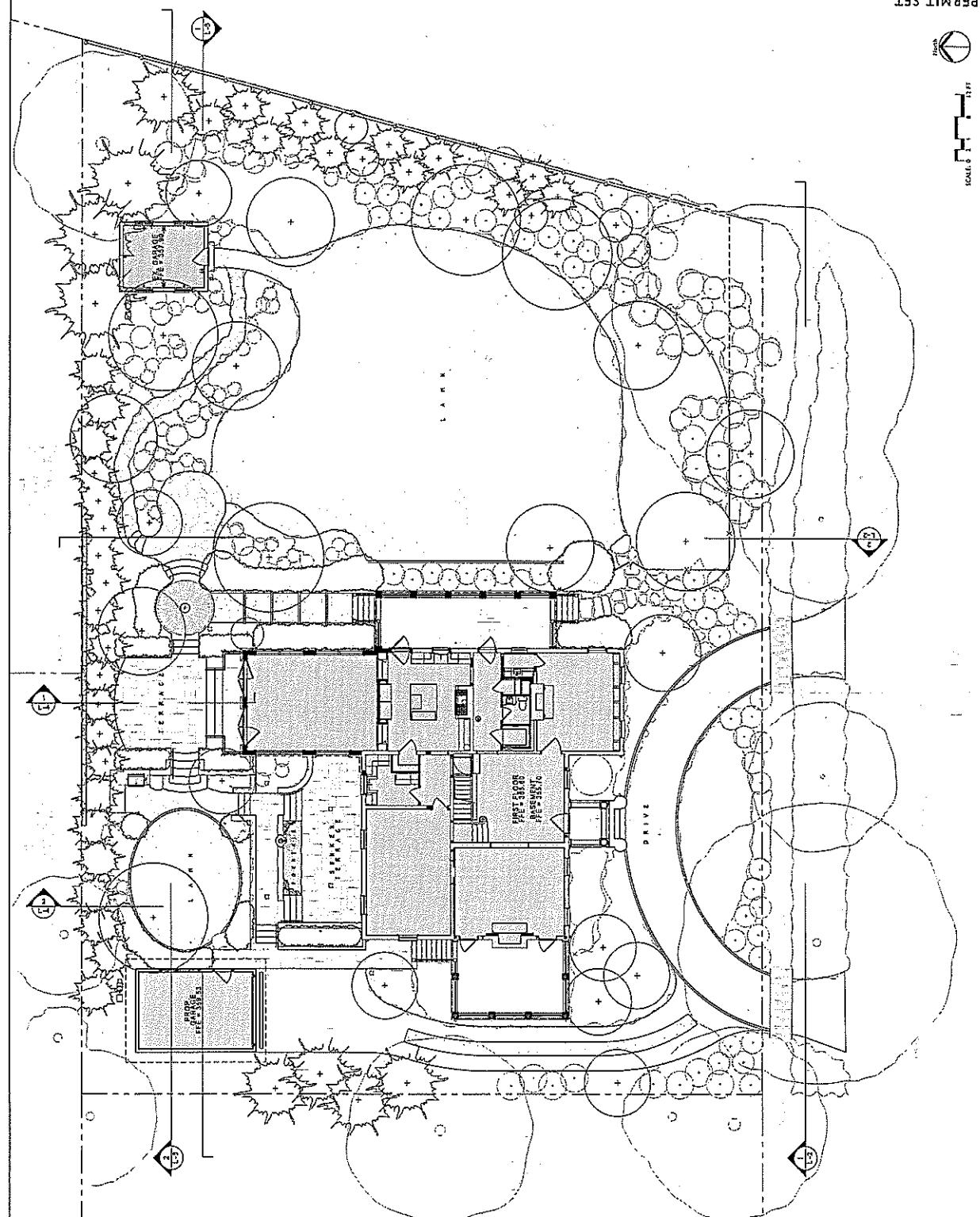
251 'CH 301

PERMIT SET

LLOYD RESIDENCE  
15 EAST LENOX STREET  
CHEVY CHASE, MD 20850

JY023-05 2018年11月  
4.0X-1.0-50 3102-205

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L-2

PERMIT SET

JULY 1, 1993 SCALE 1IN = 10FT

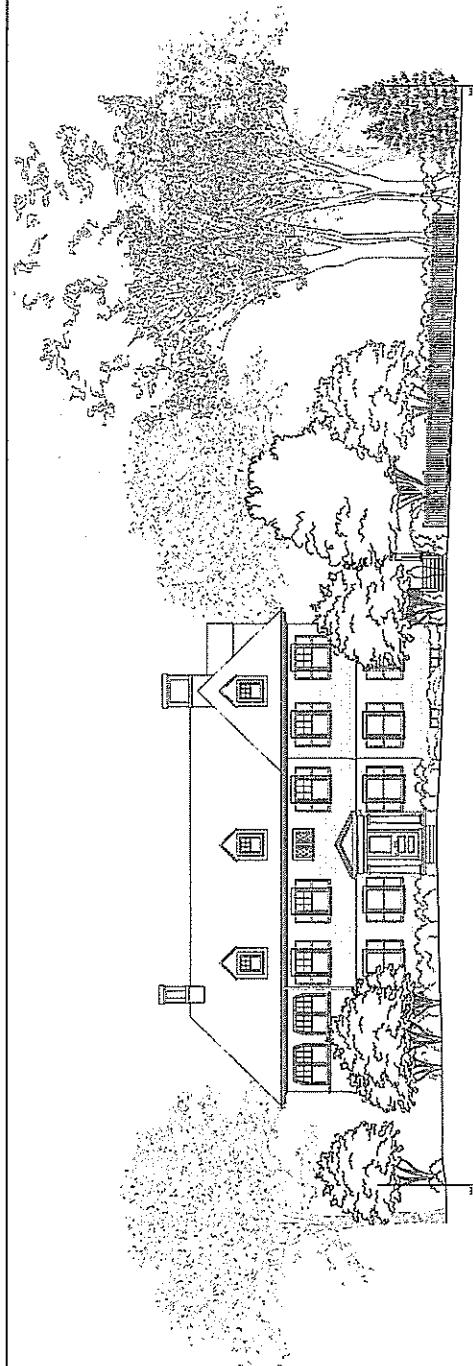
ILLUSTRATIVE ELEVATIONS EAST LAWN

RECEIVED 03-01-2017  
LLOYD RESIDENCE

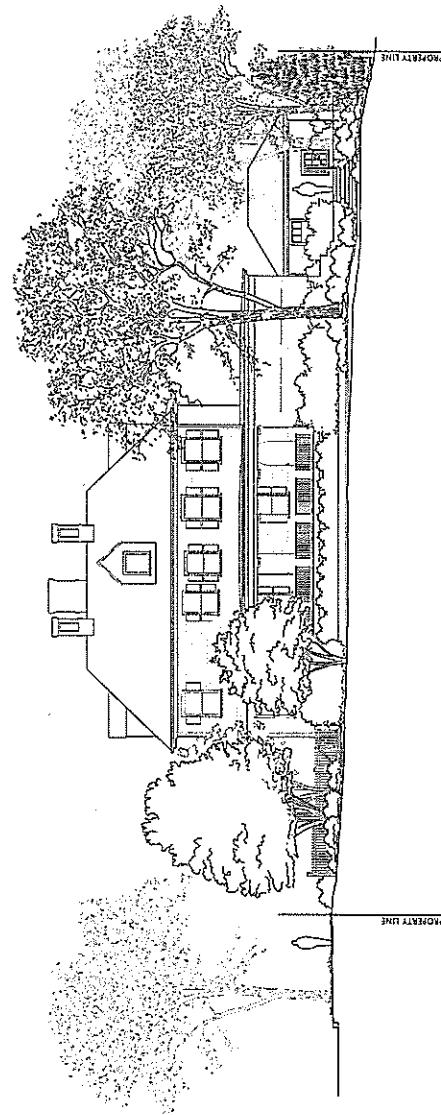
CHEVY CHASE, MD 20850  
15 EAST LENOX STREET  
LAWN CARE ASSOCIATES INC.

arendlz

CHESAPEAKE WATERWORKS AND SEWER CO.  
THESE DRAWINGS ARE THE PROPERTY OF CHESAPEAKE WATERWORKS AND SEWER CO.  
AND ARE TO BE RETURNED IMMEDIATELY UPON REQUEST.  
ANYONE WHO USES THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF CHESAPEAKE WATERWORKS AND SEWER CO.  
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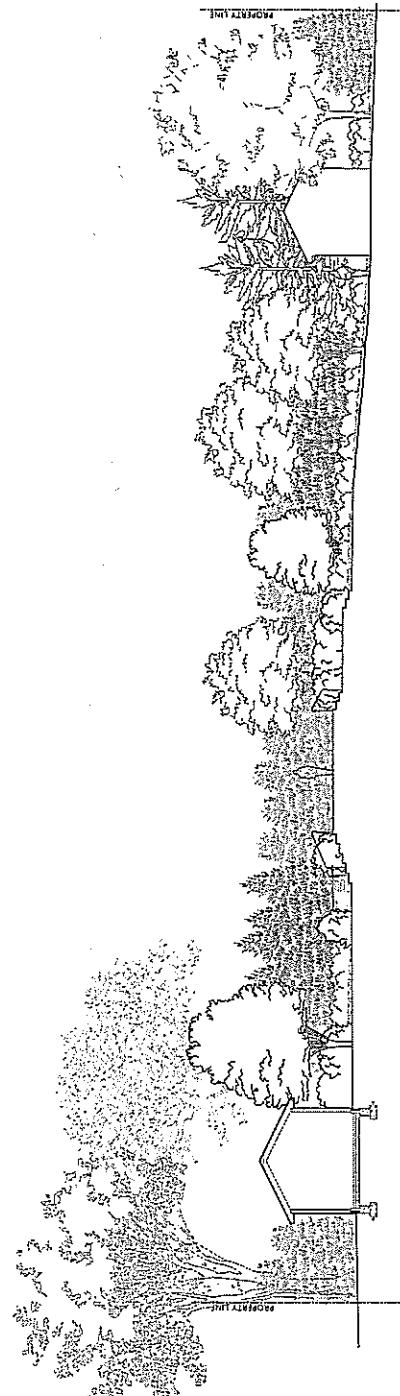
1 EAST/WEST ELEVATION SECTION: ENTRANCE DRIVE



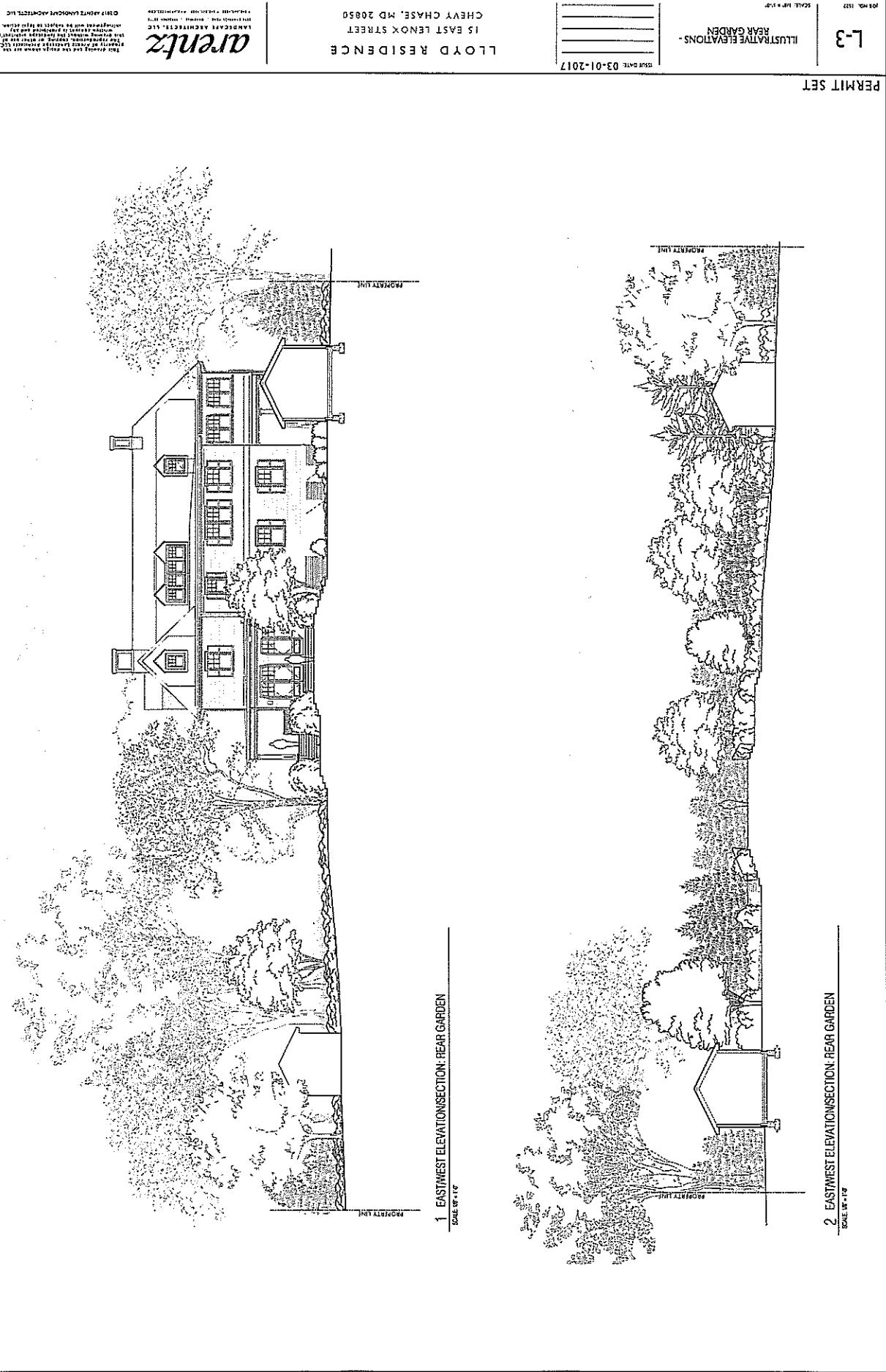
2 NORTH/SOUTH ELEVATION SECTION: EAST LAWN

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1. EASTWEST ELEVATION SECTION: REAR GARDEN  
SCALE: 1/8" = 1'-0"



1. EASTWEST ELEVATION SECTION: REAR GARDEN  
SCALE: 1/8" = 1'-0"



**L-4** ILLUSTRATIVE ELEVATIONS.

PERMIT SET

The figure contains three detailed architectural drawings:

- 1 EAST/WEST ELEVATION SECTION: REAR TERRACE**: A vertical cross-section of a terrace area. It shows a lower level with a glass door and a higher level with a glass door and a small planter. The section includes labels for "PROPERTY LINE" at the top and bottom, and dimensions: 4'-11", 6'-9.4", 10'-8", 6'-9", and 6'-9". A scale bar indicates 1' = 0' 6".
- 2 EAST/WEST ELEVATION SECTION: LAWN AND SUNKEN TERRACE**: A vertical cross-section of a lawn and terrace area. It shows a lower level with a glass door and a higher level with a glass door and a small planter. The section includes labels for "PROPERTY LINE" at the top and bottom, and dimensions: 4'-11", 6'-9.4", 10'-8", 6'-9", and 6'-9". A scale bar indicates 1' = 0' 6".
- REAR RESIDENCE ELEVATION**: A horizontal elevation drawing of a two-story rear residence. It features a central entrance with a double door, flanked by windows. The upper story has a balcony. The drawing includes labels for "PROPERTY LINE" at the top and bottom, and dimensions: 14'-1", 12'-0", 10'-8", 6'-9", and 6'-9". A scale bar indicates 1' = 0' 6".

Header information for the drawings:

- Project Date: 03-01-2017
- Address: 15 EAST LENOX STREET, CHEVY CHASE, MD 20850
- Architect: LLOYD RESIDENCE
- Architectural Firm: SHANAHAN ARCHITECTS, LLC
- Structural Engineer: BURGESS & MCGOWAN, INC.
- MEP Engineer: BURGESS & MCGOWAN, INC.
- Landscaping: BURGESS & MCGOWAN, INC.
- Permit No.: 1111
- Permit Type: PDR
- Permit Status: Issued
- Permit Date: 03-01-2017
- Permit Expiry: 03-01-2017
- Permit Holder: SHANAHAN ARCHITECTS, LLC
- Permit Description: Residential - Single Family
- Permit Notes: This permit is issued under the provisions of the Maryland Residential Building Code, 2010 Edition, and the Maryland Residential Energy Code, 2010 Edition.

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**AMERICAN AUTHENTICITY, LLC**

CHEVY CHASE, MD 20850  
15 EAST LENOX STREET  
CLINT RESIDENCE

Journal of Water Disinfection and Treatment  
Volume 20 Number 1 January 1998

GRADING PLAN

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This detailed architectural floor plan illustrates a complex building structure, likely a residence or institutional building, featuring multiple wings, courtyards, and various rooms. The plan includes numerous labeled rooms and areas:

- Wings and Sections:** Includes sections labeled "FRONT WING", "CENTRAL SECTION", "REAR WING", and "WEST WING".
- Courtyards:** Features several courtyards, such as "CENTRAL COURTYARD", "WEST COURTYARD", and "FRONT COURTYARD".
- Rooms:** Numerous rooms are labeled with names like "BED ROOM", "BATH", "KITCHEN", "LIVING ROOM", "DINING ROOM", "STUDY", "LIBRARY", "SLEEPING PORCH", "PORCH", "VERANDA", "BALCONY", and "PATIO".
- Stairs:** Stairs are indicated by arrows pointing upwards.
- Dimensions:** Horizontal dimensions are marked along the bottom of the plan, ranging from 40' to 60'. Vertical dimensions are also present.
- Labels:** Labels include "MAIN ENTRANCE", "SWING DOOR", "DOOR", "FRONT DOOR", "CENTRAL DOOR", "REAR DOOR", "WEST DOOR", and "BALCONY DOOR".
- Annotations:** Annotations include "CENTRAL SECTION", "REAR WING", "WEST WING", and "FRONT WING". A circular area is labeled "CENTRAL COURTYARD".

BEFORE YOU 380

Notify "MISS UTILITY" at 1-888-257-7777 at least two working days, but not more than ten working days, prior to commencement of any job disturbing activities. All trades working on the site are required to open their own M.U.L.T. ticket. By law, all trades are no longer able to work under any other tradesman or contractors ticket.

**STRUCTURAL FOUNDATION PLAN**

**LLOYD RESIDENCE**

**15 EAST LENOX STREET**

**CHEVY CHASE, MD 20880**

**DATE 03-01-2017**

**PERMIT SET**

**KEY**

**CALL BEFORE YOU DIG**

**NOTICE: MASS. UTILITY, at 1-800-357-7777, is here to help you coordinate with any gas and distribution service provider working on the site or required to operate their own MA Utility. Under MA law, it is illegal to dig under any utility facility without first contacting MA Utility.**

**KEY:**

- Concrete**
- Steel rods**
- Rebar**

**PERMIT STAMP:**

**STRUCTURAL FOUNDATION PLAN**

**15 EAST LENOX STREET**

**CHEVY CHASE, MD 20880**

**DATE 03-01-2017**

**PERMIT SET**

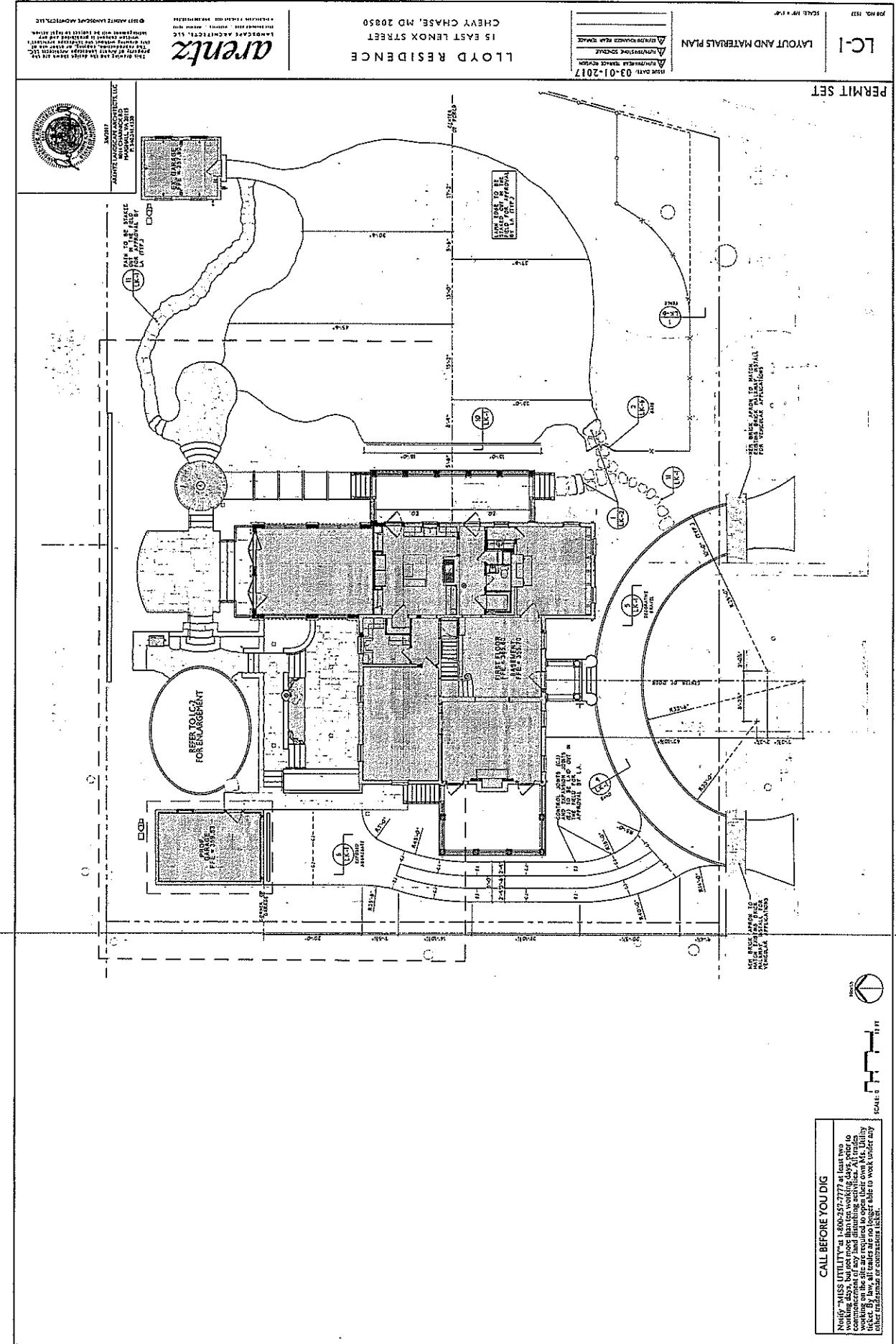
**SCALE 1:64**

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Noilly "MISS UTILITY" at 1-800-237-7777 at least two working days, but not more than ten working days, prior to commencement of any land disturbing activity. All trades working on the site shall be required to open their own W.M. ticket. By law, all trades are no longer able to work under any other tradesman or contractors ticket.

As of January 1, 2010, the following changes will be made to the  
Employment Protection Act:

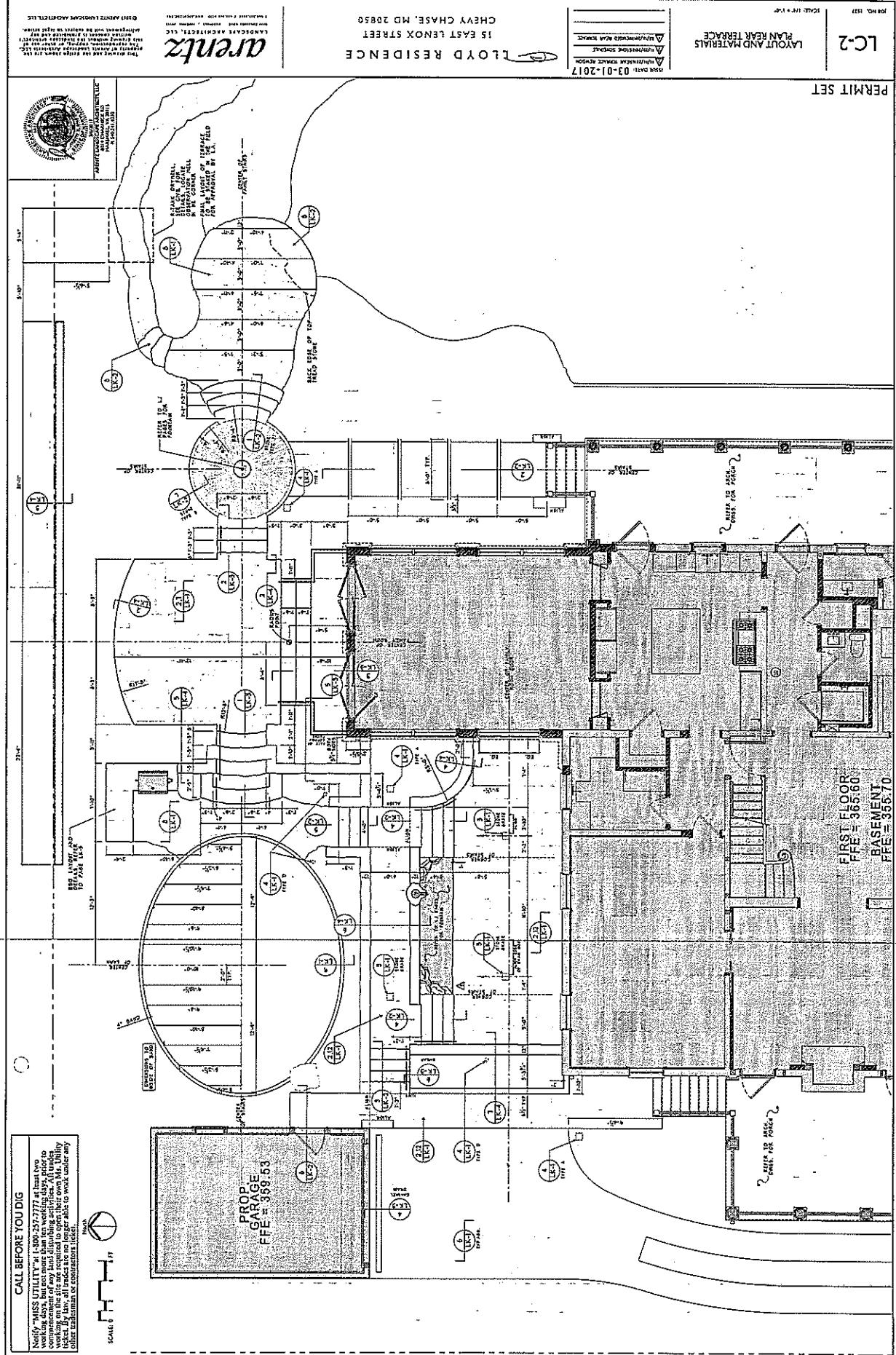
This document was prepared or reviewed by me, and I am a  
fully licensed professional engineer under the laws of the State of Maryland.  
Electronically Filed, 1437A, Legislation Date 04/06/17.

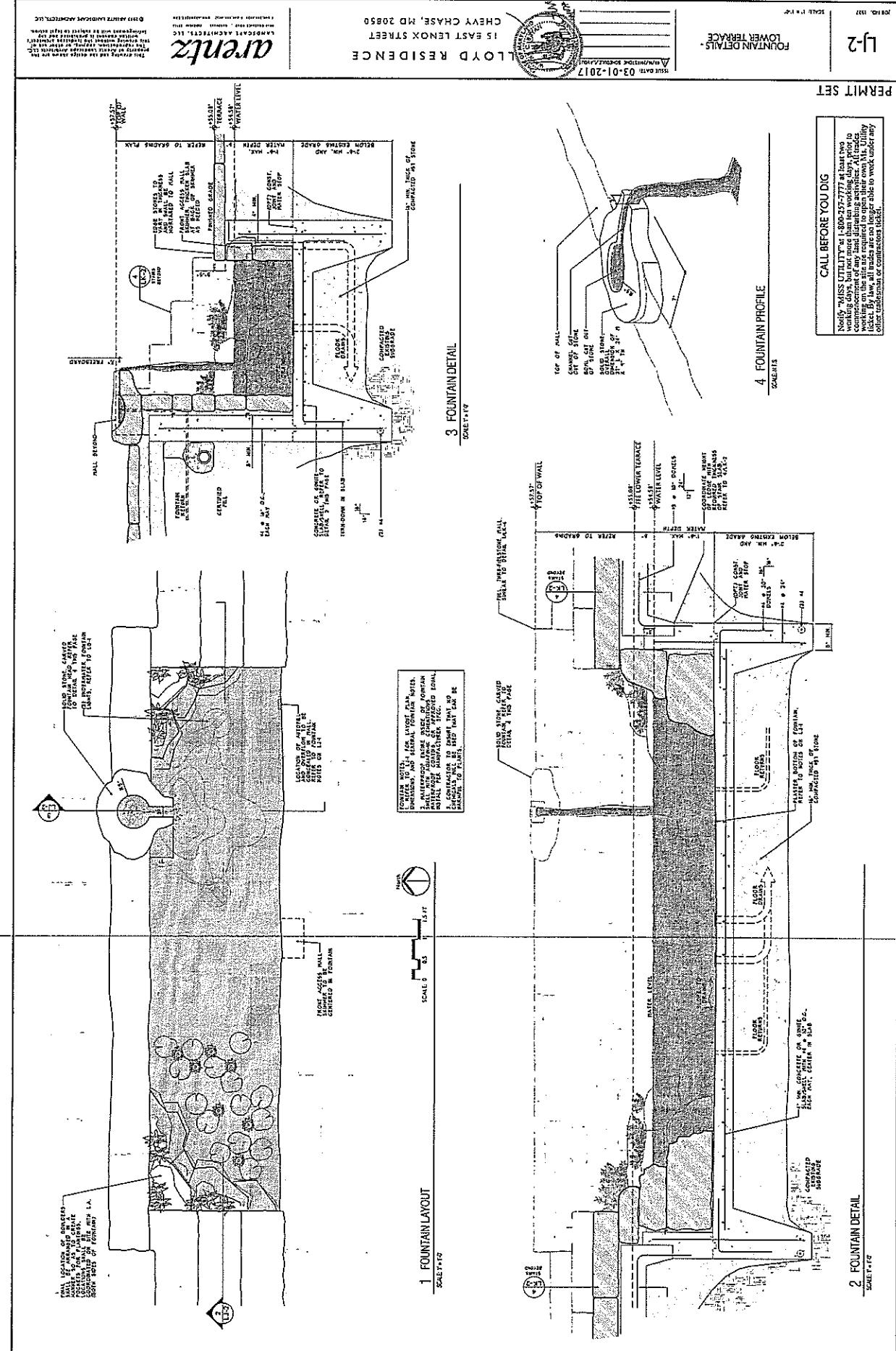


**CALL BEFORE YOU DIG**

No. 06-74155 UTILITY 1-800-232-7777 to gain two working days, prior to commencement of any earth disturbing activities. All trades must call in to verify that no one else has or will be working in the area. If you do not receive a response from the utility, it is your responsibility to contact them directly.



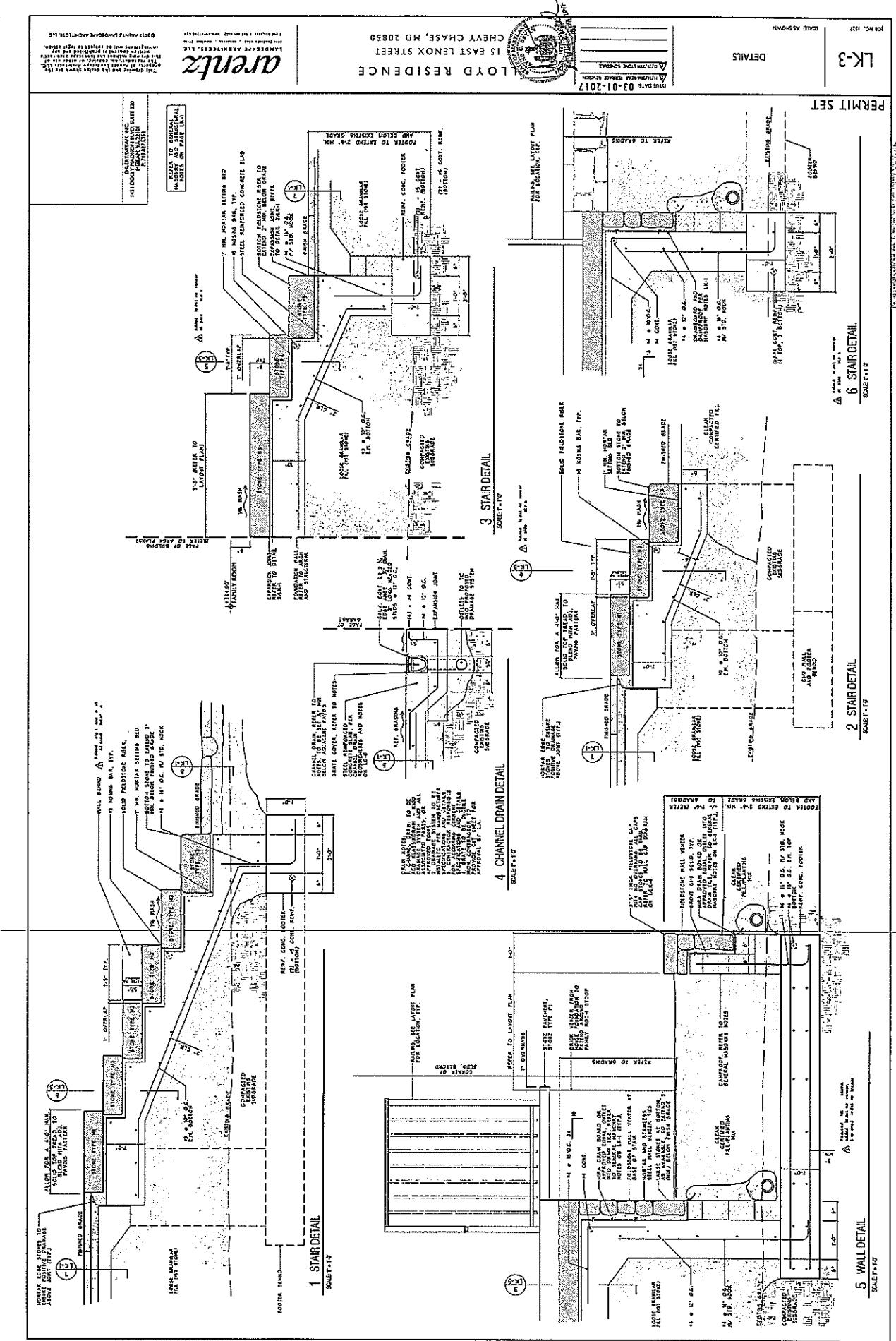


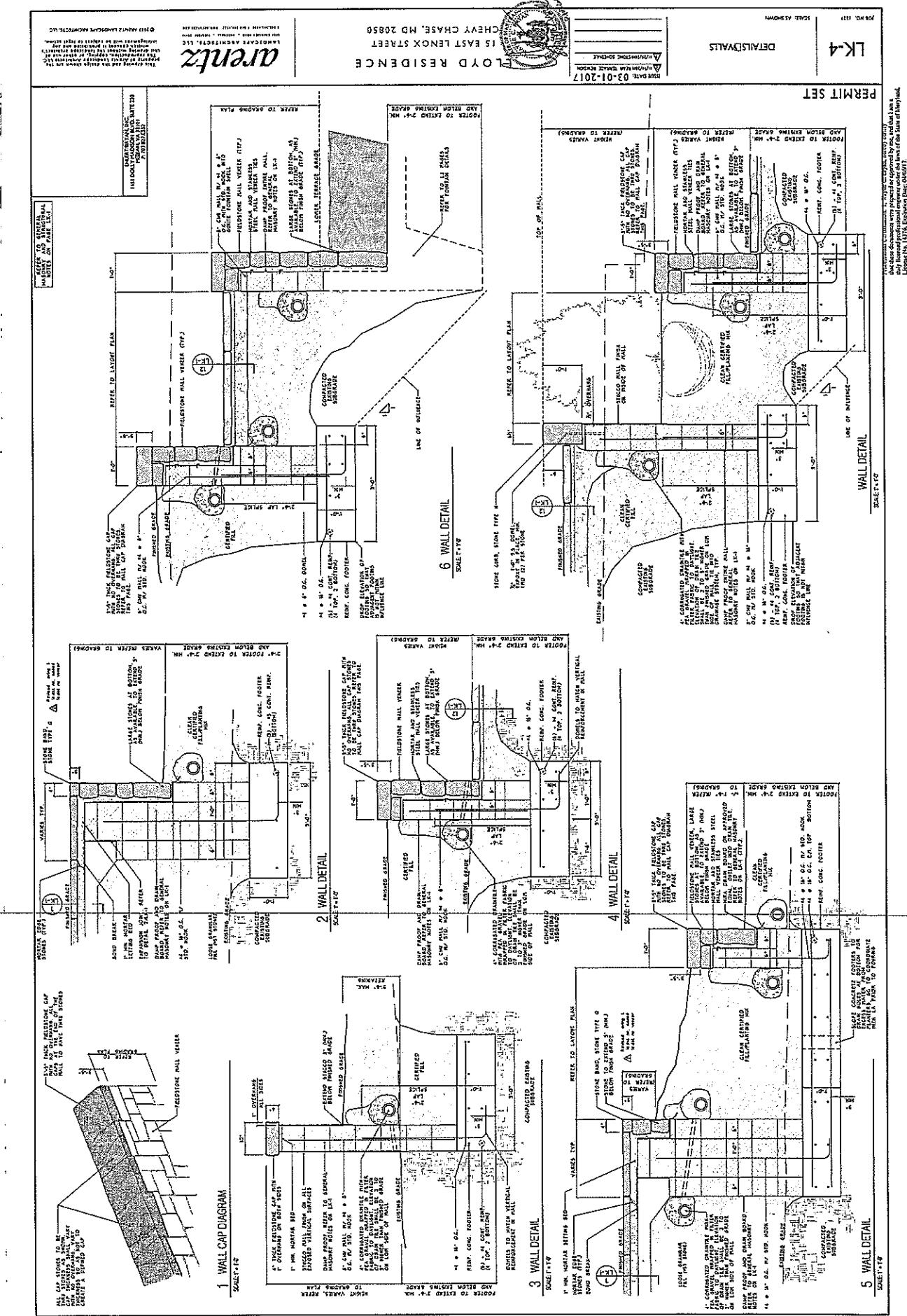


Permit issued by the City of Chevy Chase, Maryland, for the construction of a fountain. The permit is valid from March 1, 2017, to March 1, 2018. The permit holder is required to call "MISS UTILITY" at least two working days before any digging is performed. The permit is issued to Lloyd Residence, LLC, located at 15 East Lenox Street, Chevy Chase, MD 20850. The permit number is LJ-2.





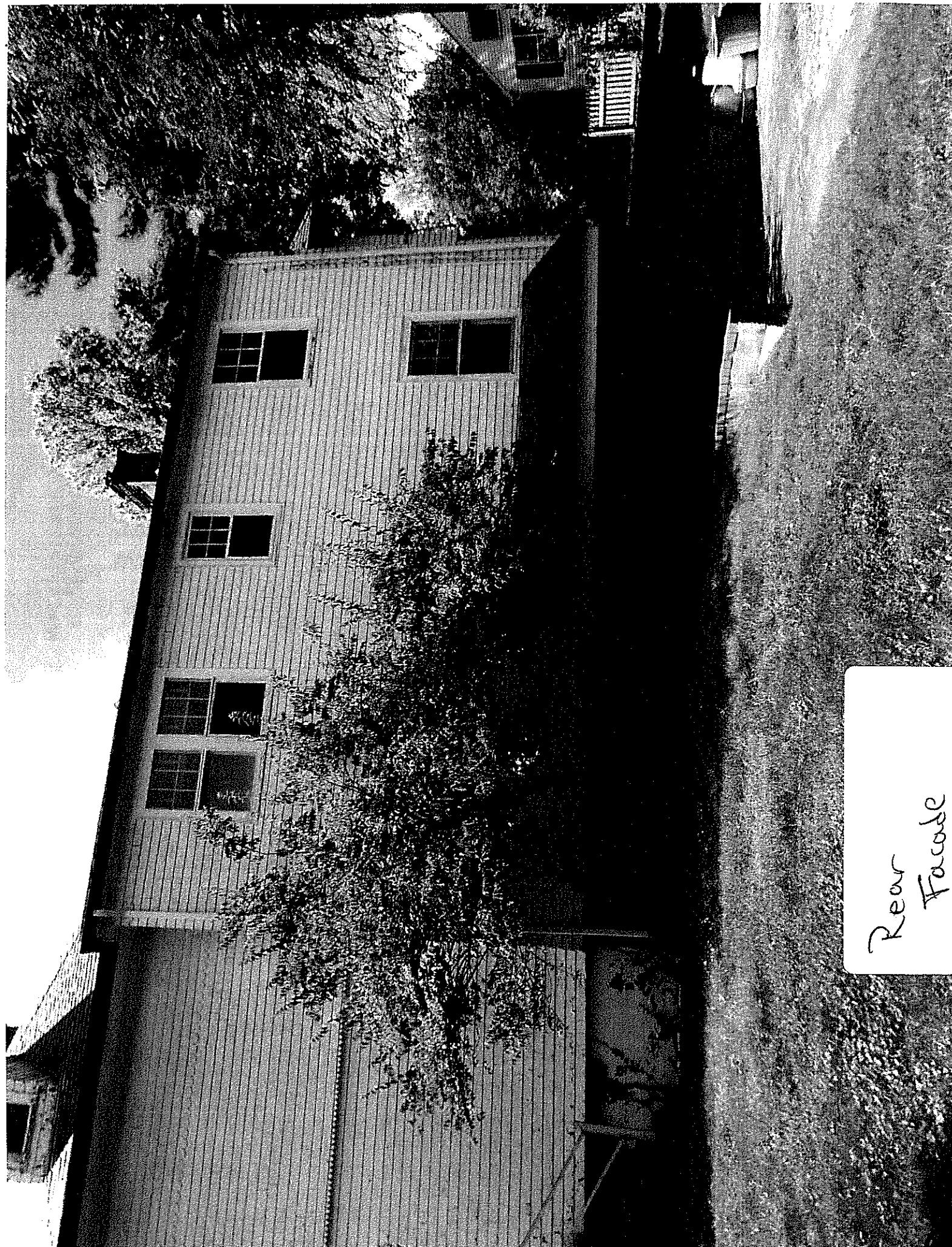






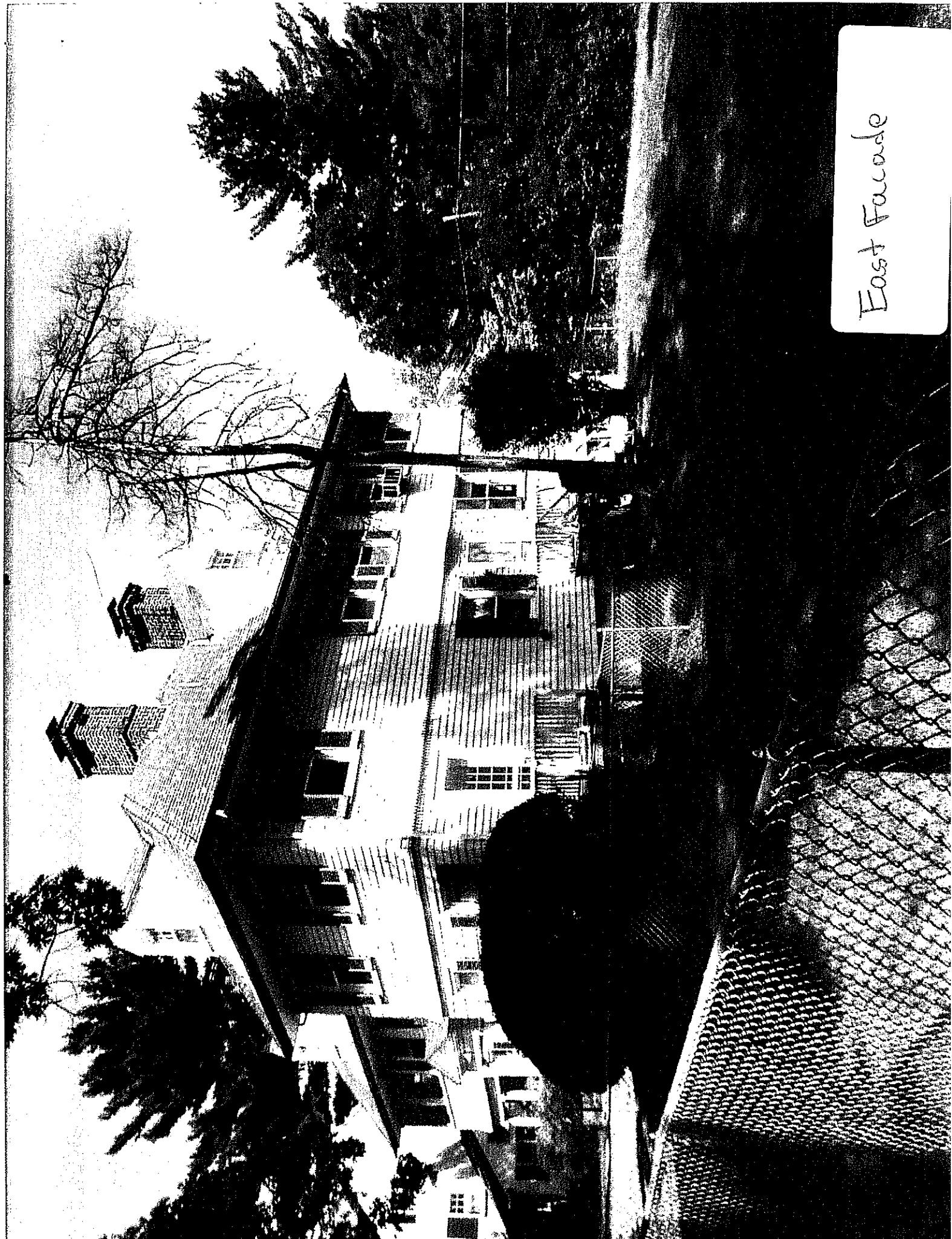
Front  
Facade



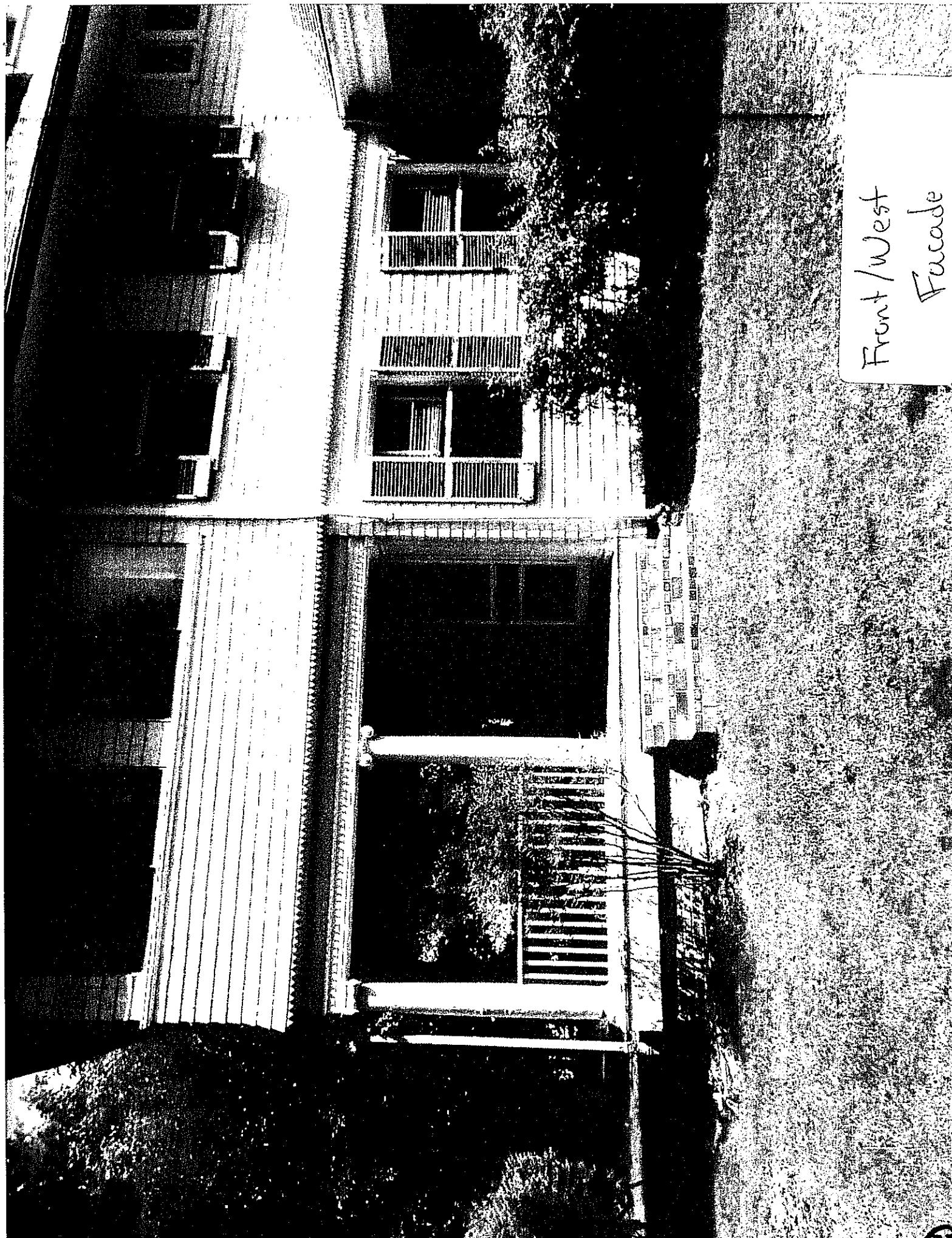


Rear  
Facade

East Façade



Front / West  
Facade





Rear / West  
Facade

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address  Thomas Lloyd 15 E. Lenox St. Chevy Chase, MD 20815	Owner's Agent's mailing address  Phillip Long - CAS Engineering 10 S Bentz Street, Frederick, MD 21701
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Britt & Kelleen Snider 11 E. Lenox St Chevy Chase, MD 20815	Raymond Wiacek Nancy O'connel 16 E. Melrose St. Chevy Chase, MD 20815
Zapruder Marjorie Trustee 10 E. Lenox St Chevy Chase, MD 20815	12 E. Melrose LLC 12 E. Melrose St Chevy Chase, MD 20815
Justin Bausch 12 E Lenox St Chevy Chase, MD 20815	Michael Kail 101 E Lenox St Chevy Chase, MD 20815