

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	312 Tulip Ave., Takoma Park	Meeting Date:	6/28/2017
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	6/21/2017
Applicant:	David and Judy Aaronson	Public Notice:	6/14/2017
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-17QQ	Staff:	Michael Kyne
PROPOSAL:	Rear porch enclosure		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
STYLE: Tudor Revival
DATE: c. 1920s-30s

PROPOSAL

The applicants propose to construct a screened porch and deck at the rear of the house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standard's for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The Guidelines contain the following statements pertaining to Non-Contributing/Out-of-Period Resources:

- Non-Contributing/Out-of-Period Resources are either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review.
- Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." Standards 2, 9, and 10 most directly apply to the application before the commission:

#2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a

manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF DISCUSSION

The subject property is a Non-Contributing c. 1920s-30s Tudor Revival-style house within the Takoma Park Historic District. The adjacent property to the left is a Non-Contributing c. 1960s-70s gymnasium (310 Tulip Avenue), and the property to the right is an Outstanding c. 1895-1905 Colonial Revival-style house (316 Tulip Avenue).

The applicants propose to construct a screened porch with deck at the rear of the house. The screened porch will be entirely inset behind the house and an existing attached left-side garage, but the deck stairs and landing will project 3'-4" beyond the right side of the house. The screened porch will be directly connected to an existing one-story addition at the rear of the house, and will have asphalt shingles to match the addition. Other materials include fiberglass screen, pressure treated lumber, and four skylights. The applicants have indicated that the proposed deck balusters will be inset between the top and bottom rails, which is consistent with the character of the historic district.

There will be an integrated 5' tall board-on-board privacy fence on the left side (as viewed from the front), shielding the porch from the gymnasium at 310 Tulip Avenue. The integrated privacy fence will not be at all visible from the public right-of-way, due to the existing attached left-side garage.

Staff supports the applicant's proposal, finding that, in accordance with the *Guidelines*, the proposal will have a negligible impact on the surrounding streetscape and will not impair the character of the historic district as a whole. Additionally, the proposal conforms to the *Standards*, as it will not remove historic materials or alter features and spaces that characterize the property or surrounding historic district.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation*, and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: David Aaronson @ me.com Contact Person: David Aaronson
Daytime Phone No.: 3 240 351 5728

Tax Account No.: _____
Name of Property Owner: David & Judy Aaronson Daytime Phone No.: 301 270 3832
Address: 312 Tulip Ave 20912
Street Number City State Zip Code

Contractor: Mastercraft Design + Build Phone No.: 301 622 7736
Contractor Registration No.: MHC # 27869
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING PREMISE

House Number: 312 Street: Tulip Ave
Town/City: Takoma Park 20912 Nearest Cross Street: Willow
Lot: #3 Block: #9 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Stab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 23,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.
David Aaronson 6/5/2017
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Porch/Deck Built with treated Lumber Shingles
to match the house shingles, Screening to be Firberglen
Charcoal color, storm door wood
Porch 19'6" x 14' w/ deck area 4x16 w/steps

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The screened porch is in the
rear of the house and can't
be seen from street.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

Lipscomb and Farnost Trustees
Addition to Takoma Park

— April, 1902. —

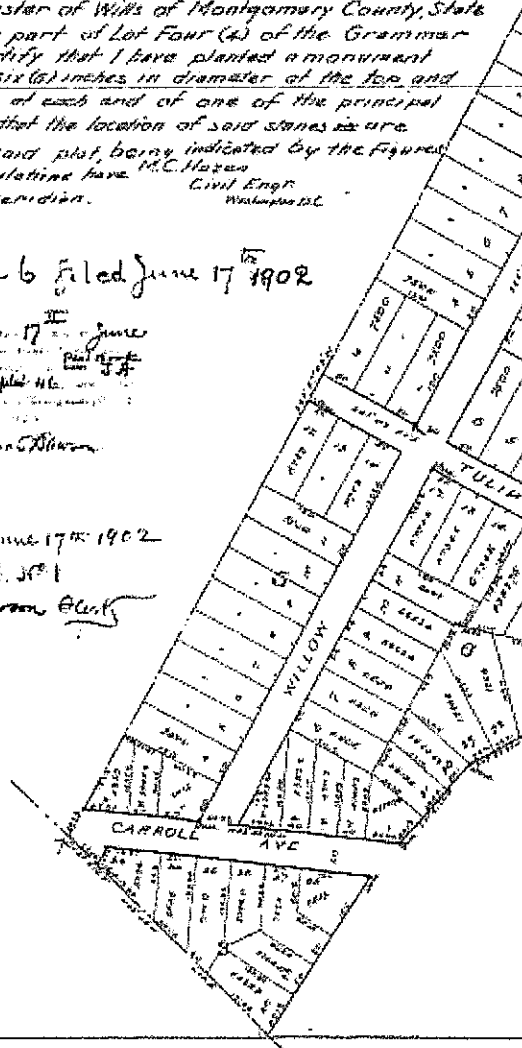
I certify that the lots, blocks and streets indicated in the above plat are a part of the whole land devised to Elizabeth Thornton by the last will and testament of Gottlieb C. Grammar, duly recorded in the office of the Register of Wills of Montgomery County, State of Maryland, and being a part of Lot Four (4) of the Grammar Farm. And I further certify that I have planted a monument stone of not less than six (6) inches in diameter at the top and two (2) feet in the ground at each end of one of the principal lines of said plat, and that the location of said stones is ure properly indicated on said plat, being indicated by the figures 1 and 2 and that the calculations have been made to the true meridian.

M.C. Hazen
Civil Eng.
Washington, D.C.

Plat No 46 Filed June 17th 1902

June 17th 1902
 M.C. Hazen
 Civil Eng.
 Washington, D.C.

Plat No 46 Filed June 17th 1902
 in Plat Book No 34, p. 1
 Jas. Thomas Dawson Clerk





LOT # 4

N. 61° 02' 51" W. 50.0'

LOT # 3
BLOCK 9

LOT # 39

S. 28° 57' 09" W. 150.0'

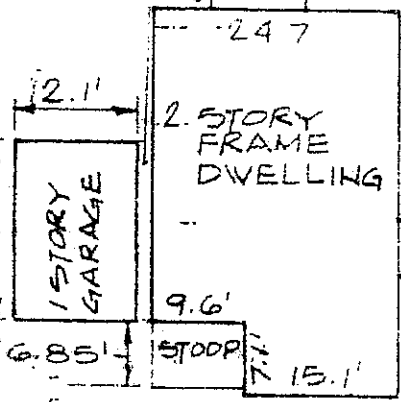
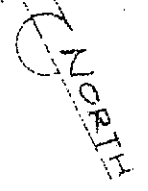
N. 28° 57' 09" E. 150.0'

ENCLOSED WALKWAY

5' ±

9.8' 9.7'

1 STORY ADDITION



LOT # 2

312 TULIP AVE

S. 61° 02' 51" E. 50.0'

P.L.

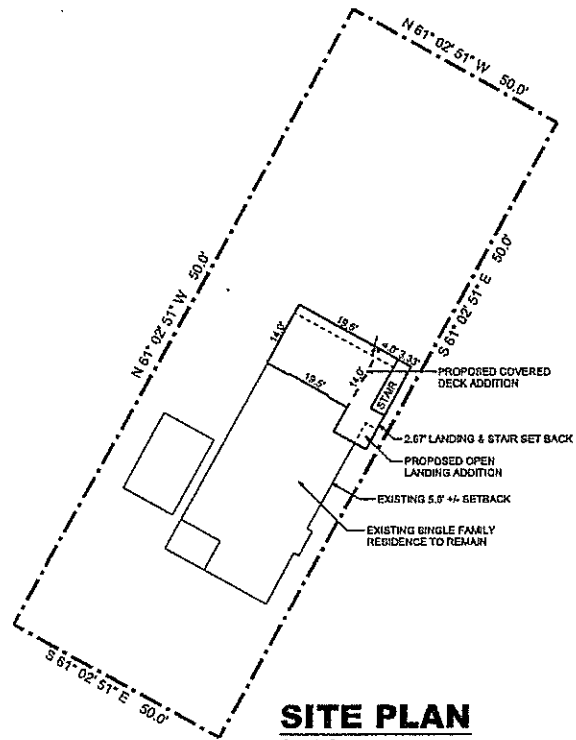
TULIP AVENUE

Covered Deck Addition

David H & J U Aaronson
 312 Tulip Avenue
 Takoma Park, Maryland

INDEX OF DRAWINGS

- 1.0 DRAWING INDEX / SITE PLAN
- 2.0 CONSTRUCTION SPECIFICATIONS
- 3.0 FLOOR PLAN
- 4.0 REAR ELEVATION (A/4.0)
- 5.0 SOUTH ELEVATION (B/5.0)
- 6.0 NORTH ELEVATION (C/6.0)



SITE PLAN

1" = 20'-0"



1200 432-2415
 for 1200 432-2415
Mastercraft Design & Build, Inc.
 13300 Mt. Vernon Ave.
 Suite 200
 Pikesville, MD 21093

**Covered Deck Addition
 312 Tulip Avenue
 Takoma Park, Maryland**

DRAWN & CHECKED
CHECKED
DATE October 29, 2010
SCALE AS NOTED
JOB NO.
SHEET 1.0
OF 4 SHEETS

CONSTRUCTION SPECIFICATIONS

Ground Snow Load = 30
 Wind Speed = 80
 Seismic Design Category = B
 Subject to Damage From:
 Weathering - Severe
 Frost Line Depth = 24"
 Tremble - Moderate to Heavy
 Decay - Slight to Moderate
 Winter Design Temp = 13
 Ice Shield Underlayment = Yes
 Flood Hazard = 7-2-78
 Air Freezing Index = 300
 Mean Annual Temp = 55

1. All construction to be in conformance with IRC one and two family dwelling code, 2015 edition and all Montgomery County additions and revisions.
 2. Design Loads:

Sleeping roof load = 30 psf
 Floor load = 40 psf
 Roof load = 30 psf
 Deck load = 80 psf
 Garage load = 50 psf

3. Soil bearing to be 2000 psf minimum
 4. Design wind load 80 mph
 5. Bottom of all concrete footings to be 24" minimum below finish grade
 6. Foundation walls shall comply to IRC Sec. R-401 thru 404
 7. Foundation drainage shall comply to IRC Sec R-405
 8. Foundation waterproofing shall comply to IRC Sec R-405
 9. Attached garages shall comply to IRC Sec R-309
 10. Concrete floors shall comply to IRC Sec R-506

11. All concrete to be 150 psi and conform to the latest ACI 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 psi concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 psi concrete. All other concrete to be 3000 psi.
 12. All CMU used in basement and foundation walls shall be load bearing units conforming to ASTM C 90-70 for hollow units. At wood post and wood beam bearing locations on CMU wall coils shall be filled solid with grout or mortar for top two courses minimum.
 13. All CMU walls shall have standard truss type DWP-D-100 bed joint reinforcing at maximum 16" vertical spacing.
 14. All brick units used in exterior shall conform to ASTM C 52 or ASTM C 216
 15. All mortar shall be type "S" conforming to ASTM C 270-82
 16. Stone and masonry veneer shall conform to IRC Sec R-703.7
 17. Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced CMU walls are braced against overturning.
 18. Maximum allowable lateral pressure on basement walls 10 psf
 19. All reinforcing steel to be grade 60 and conform to ASTM Spec. A 615
 20. Steel post cap plates to conform to ASTM Spec A 36, Fy = 36,000 psi, bolts shall be ASTM A 307 or better
 21. Steel columns in basement to be adjustable 3" ID S40 columns unless specified otherwise
 22. All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by the National Forest Products Association. Framing lumber shall be of the following grades or better:

Posts - #1 DF -
 Bending "Fb" = 1200, Modulus of Elasticity "E" = 1600000

Headers, Beams, Roof Hips - #1 SP
 Bending "Fb" = 1850 (2x4)
 1650 (2x6)
 1500 (2x8)
 1300 (2x10)
 11250 (2x12)
 Modulus of Elasticity "E" = 1700000

Rafters, Joists & Studs - #2 HF
 Bending "Fb" = 1000, Modulus of Elasticity "E" = 1500000

23. All headers to be 2 - 2x12 unless specified otherwise
 24. Provide double jack studs at each end of headers and beams, 6'-0" and longer, unless noted otherwise
 25. Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0"
 26. All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications
 27. Contractor to provide design professional with shop drawings for all roof and floor trusses. Shop drawings to be provided to design professional for approval prior to ordering trusses.
 28. Provide solid blocking under all jack studs not bearing directly on joists or TJs
 29. In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.
 30. Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045") thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.
 31. Double beams and double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.
 32. Unless specified otherwise, provide the following brack over masonry openings:

Brack up to
 3'-0" = 3.5" x 4.0" x 1/4"
 5'-0" = 3.5" x 5.0" x 5/16"
 6'-0" = 3.5" x 6.0" x 5/16"
 8'-0" = 6.0" x 4.0" x 5/16"
 8'-0" = 6.0" x 6.0" x 5/16"
 8'-0" = 6.0" x 8.0" x 3/8"
 8'-0" = 8.0" x 8.0" x 7/16"

33. All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or masonry to be pressure treated.
 34. All prefabricated fireplaces to be UL listed and installed according to the manufacturer's specifications.
 35. Chimney and fireplace construction to be in accordance with IRC Chapter 10 and fig. R-1001.1
 36. Fireplace hearth to project 20" from front of facing and 12" to side of opening
 37. Firestopping shall be provided according to IRC Sec R-602.8. The integrity of all firestopping shall be maintained.
 38. Draftstopping shall be provided according to IRC Sec R-602.8
 39. Provide radon mitigation according to IRC - Appendix F
 40. Sawsaws shall comply with IRC Sec R-311. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 9" and minimum riser to be 8 1/4"
 41. Handrails and guardrails shall comply to IRC Sec R-311 & 312
 42. All exits shall comply to IRC Sec R-311
 43. Sleeping room windows shall comply with IRC Sec R-310 - Maximum sill height 44" above finished floor, minimum sill height shall be 18" when the window is located more than 72" above finished grade or surface below
 44. All glazing shall comply to IRC Sec R-308
 45. All ceiling heights shall comply to IRC Sec R-305
 46. All exterior wall coverings shall comply to IRC Sec R-703
 47. Electrical wiring must conform to the latest 2002 National Electrical Code and county requirements

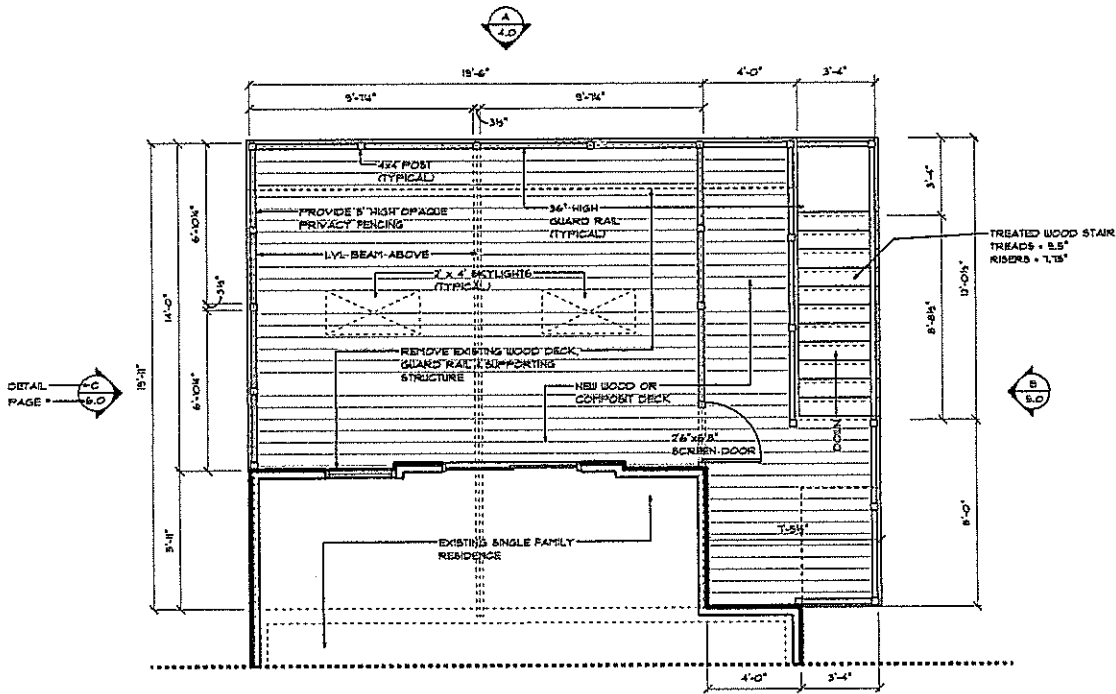
Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joist framing inspection

Note: Trusses shall be braced per the manufacturer's recommendations.

18111 021 218
 01/18/2016 10:41 AM
 Measurement Design & Build, Inc.
 13261 Tulip Avenue
 Laurel, MD 21050
 One-Point
 Construction Firm

Covered Deck Addition
312 Tulip Avenue
Takoma Park, Maryland

DRAWN
 G. HICKLEY
 CHECKED
 DATE
 October 7, 2010
 SCALE
 AS NOTED
 JOB NO.
 SHEET
2.0
 OF 4 SHEETS



DETAIL
PAGE # 6.0

LEGEND

- EXISTING 2x4 EXTERIOR FRAME WALL w/ SHEATHING & SIDING
- EXISTING ELEMENT TO BE REMOVED
- 4x4 POST (NON-LOAD BEARING)
- 4x4 POST (LOAD BEARING)
- LVL BEAM ABOVE

FLOOR PLAN

SCALE: 1/4" = 1'-0"



(BR) 132 213
131 (80) 152-6033
Mastercraft Design & Build, Inc.
1200 114th Avenue
Suite 100
Princeton, NJ 08540
201-991-2769

**Covered Deck Addition
312 Tulip Avenue
Takoma Park, Maryland**

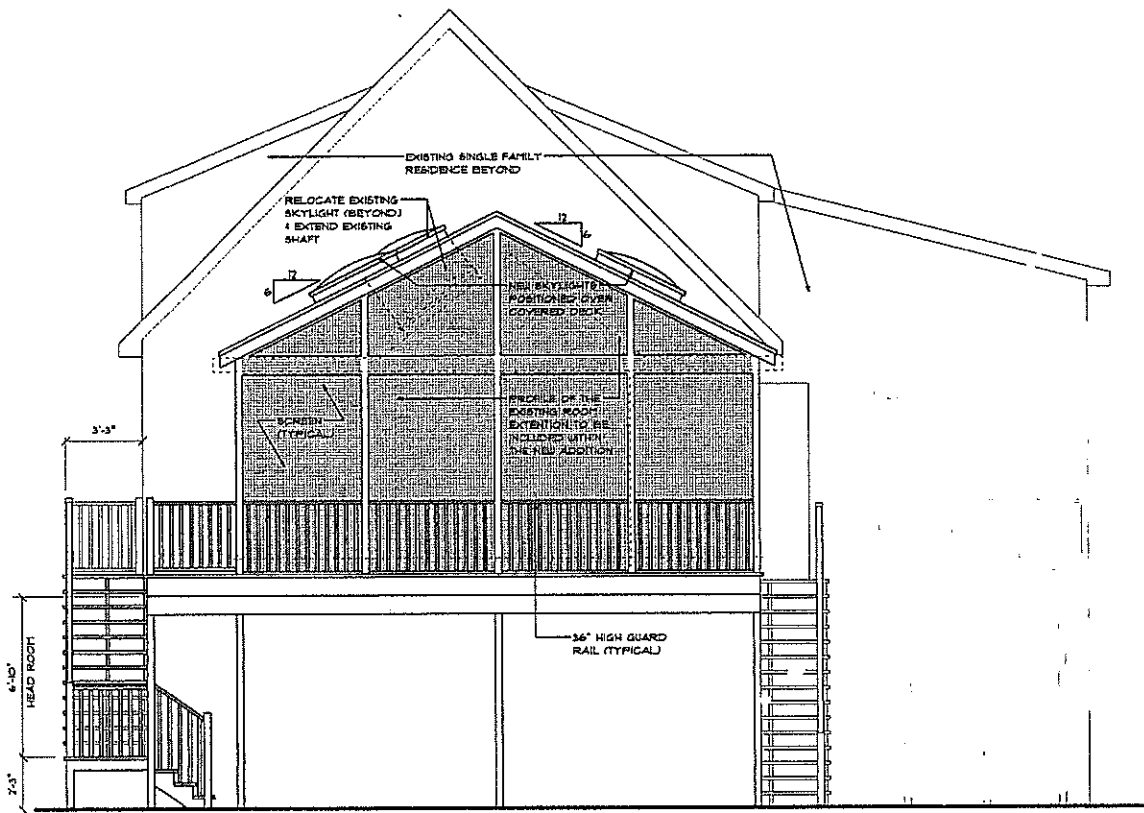
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S. MICKLEY
CHECKED

DATE
October 28, 2010

SCALE
AS NOTED

JOB NO.

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3.0
OF 4 SHEETS

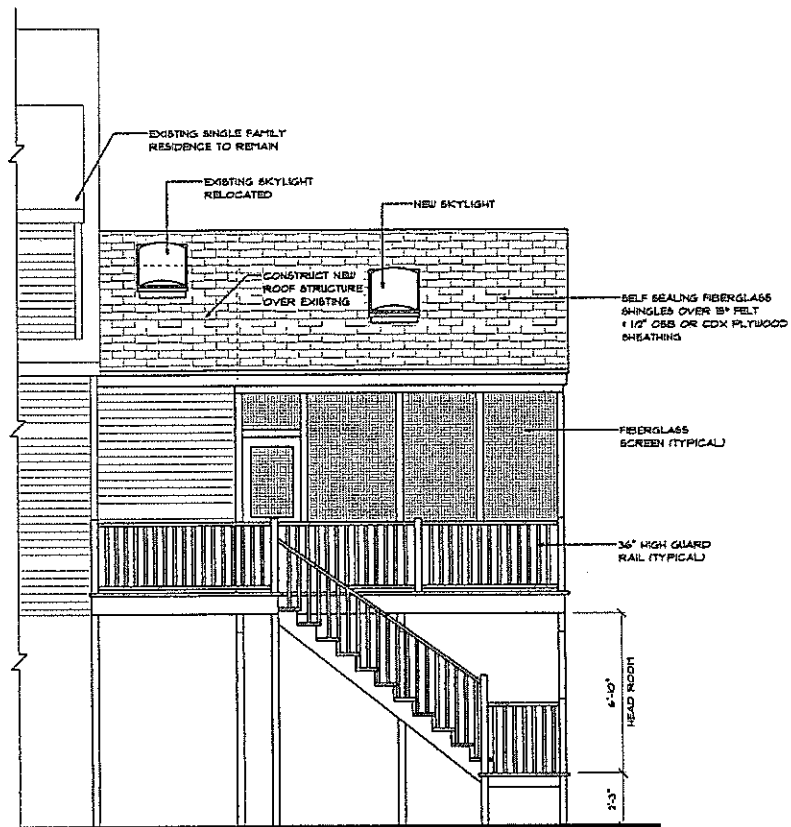


REAR ELEVATION (A/4.0)
SCALE: 1/4" = 1'-0"

0501132 215
 1-800-122-4673
 Mattreall Design & Build, Inc.
 13201 Two Maryland Ave
 Silver Spring, MD 20914
 One Point
 Professional 1789

Covered Deck Addition
312 Tulip Avenue
Takoma Park, Maryland

DRAWN S. MCKLEY
CHECKED
DATE October 29, 2010
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JOB NO.
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OF 4 SHEETS



SOUTH ELEVATION (B/5.0)

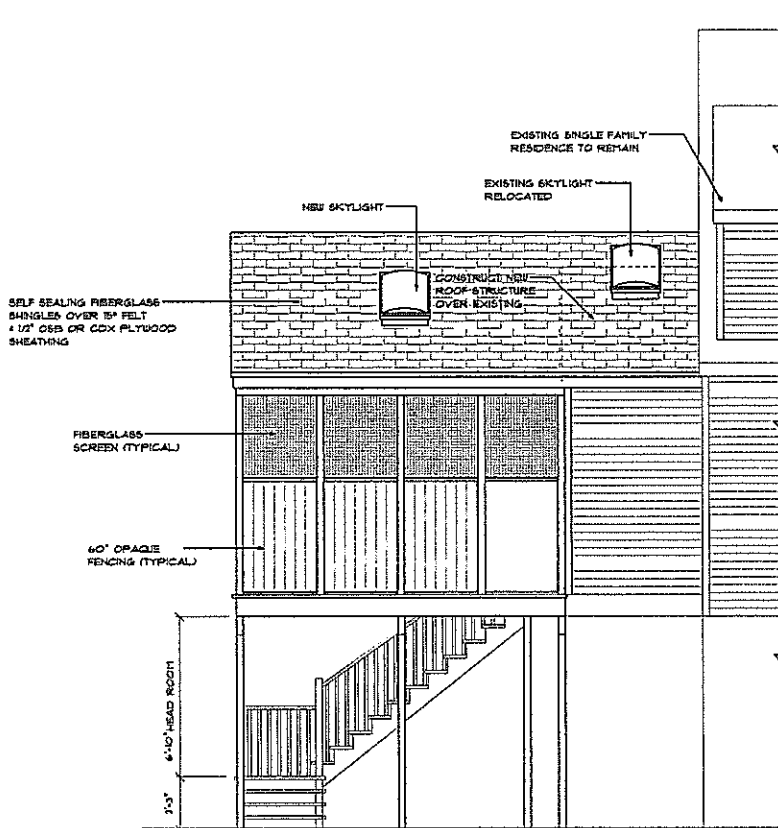
SCALE: 1/4" = 1'-0"

1301 232-2715
 Fax: 1301 621-4013
 Masterson Design & Build, Inc.
 1320 17th Street, NW
 Washington, DC 20036
 1320 17th Street, NW
 Washington, DC 20036

**Covered Deck Addition
 312 Tulip Avenue
 Takoma Park, Maryland**

DRAWN B. PECKLEY
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OF 4 SHEETS





NORTH ELEVATION (C/5.0)

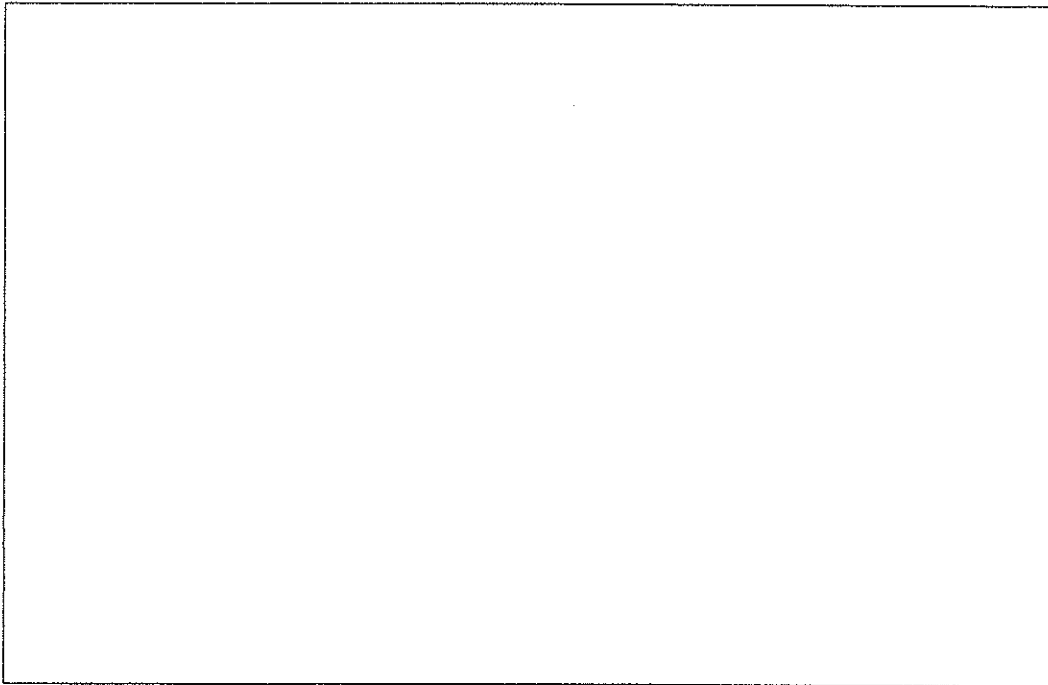
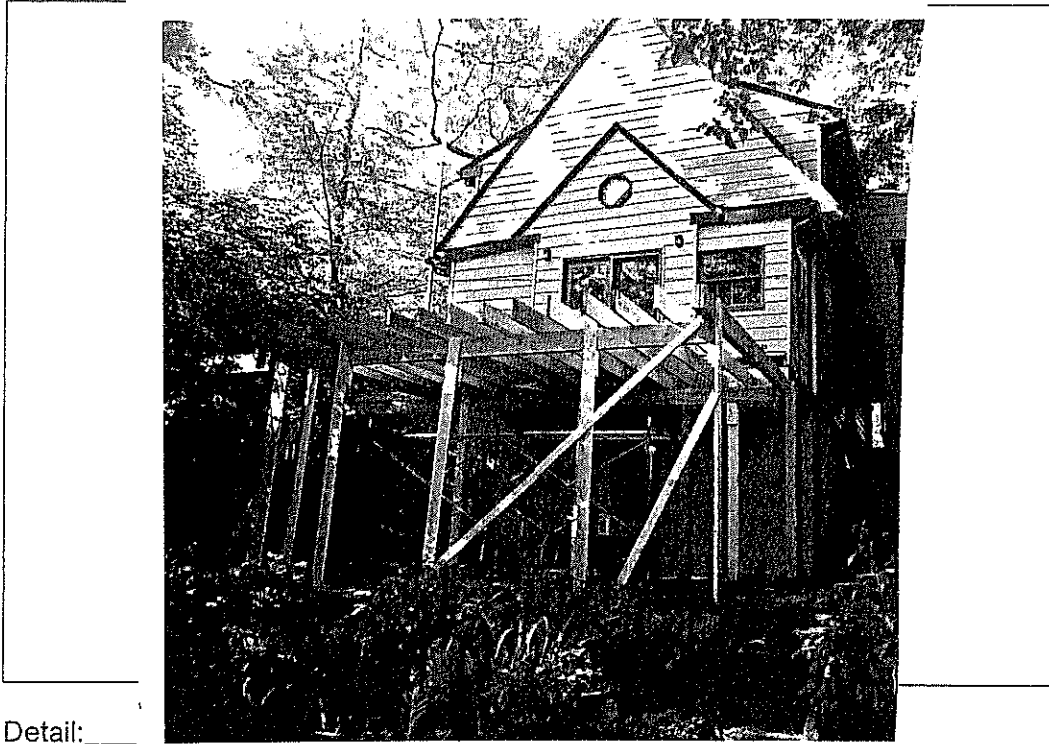
SCALE: 1/4" = 1'-0"

1801113 2/18
 Fax: 4801127-2511
 Mastcraft Design & Build, Inc.
 13301 Newberg Ave.
 Silver Spring, MD 20906
 410-992-7199
 Mastcraft, Inc. 2/18

Covered Deck Addition
312 Tulip Avenue
Takoma Park, Maryland

DRAIN S. MCKEY
CHECKED
DATE October 28, 2010
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OF 4 SHEETS

Existing Property Condition Photographs (duplicate as needed)



Applicant: _____

Page: _____

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

312 Tulip ave
Takoma Park, Md
20912

Owner's Agent's mailing address

8

Adjacent and confronting Property Owners mailing addresses

310 Tulip ave
Takoma Park, Md
20912

316 Tulip ave
Takoma Park, Md
20912

7204 Willow
Takoma Park,
Md 20912

7208 willow
Takoma Park, Md
20912