EXPEDITED MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10701 Rockville Pike, Bethesda Meeting Date: 3/22/2017

Resource: Master Plan Site #30/12A Report Date: 3/15/2017

(Strathmore Mansion)
Public Notice: 3/8/2017

Applicant: Nuray Anahtar Tax Credit: Yes

Review: HAWP Staff: Michael Kyne

Case Number: 30/12-17A

PROPOSAL: Repairs to building envelope

STAFF RECOMMENDATION:

Approve Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Master Plan Site

DATE: 1900

STYLE: Classical Revival

PROPOSAL:

The applicant is proposing to undertake repairs to the building envelope at the subject property. The proposed repairs include waterproofing the basement walls, installing window wells, creating subsurface drainage, repointing and masonry repairs, cleaning and removal of water stains and organic growth, repair and repainting of wooden surfaces, stabilizing a settling porch, installing ADA signage, and paving repairs.

MHT holds an easement on the subject property, and, in accordance with the HPC's policies, have reviewed and approved the proposed work prior the applicant submitting this HAWP application.

APPLICABLE GUIDELINES:

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

IV. The Expedited Staff Report format may be used on the following type of cases:

1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.

Montgomery County Code; Chapter 24A-8

(a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought

would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission <u>approve</u> the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion.

Once the work is completed the applicant will <u>contact the staff person</u> assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

DP8-#8



HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

contact mail:info@noarchitects.com	Conditions Indiay attained, AIA
	Daytime Phone No.: (301)951-7933
Tax Account Ne.:	
Name of Property Owner:Montgomery County c/o Rass	a Davoodpour Daytime Phone No.: 240-777-6002
Address: Department of General Services - DGS,	101 Monroe Street, 9th Floor, Rockville, MD 20850
Street Number City	Staet Zip Code
Contractor: To be selected	Phone No.: 301-294-6390x112
Contractor Registration No.:	
Agent for Owner: Nuray Anahtar, AIA	Daytime Phone No.: (301)951-7933
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Town/City: North Bethesda Nearest	
Lot: Block: Subdivision:	
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1A. CHECK ALL APPLICABLE:	CHECK ALL APPLICABLE:
☐ Construct ☐ Extend ☐ Alter/Renovate	☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Dack ☐ Shad
☐ Move ☐ Install ☐ Wreck/Raze	☐ Soler ☐ Fireplace ☐ Woodburning Stove ☐ Single Femily
☐ Revision 🏻 Repair ☐ Revocable.	☐ Fence/Wall (complete Section 4) ☐ Other:
1B. Construction cost estimate: \$ \$2,800,000.00	
1C. If this is a revision of a previously approved active permit, see Permit	# No
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2B. Type of water supply: 01 💢 WSSC 02 □	Well 03 🗆 Other:
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18. Indicate whether the fence or retaining wall is to be constructed on	one of the following locations:
☐ On party line/property line ☐ Entirely on land of own	
hereby cartify that I have the authority to make the foregoing application	m, that the application is correct, and that the construction will comply with plans
approved by all agencies listed and I hereby ecknowledge and accept the	is to be a condition for the issuance of this permit.
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Signature of owner or authorized agent	Date
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Approved:	For Chairperson, Historic Preservation Commission
Disapproved: Signature:	Darter:
Application/Permit No.:	Date Filed: Date Issue6:
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SEE REVERSE SIDE FOR INSTRUCTIONS

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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:
 Listed on the Maryland Inventory of Historic Properties. The mansion was built in 1899 by Captain James
 Frederick Oyster and designed by Washington, DC architect Appleton P. Clark, Jr. In 1908, the house was
 sold to Charles L Corby and his wife, Hattie. Corby and his brother William had patented machinery and
 techniques that would revolutionize the baking inclustry. In 1912, the Corby's made extensive modifications
 and additions to the house. In 1981, the mansion underwent a \$685,000 renovation which included the
 addition of the elevator and upgrades to heating and electrical. In 1990, another restoration occurred which
 renovated the exterior, sealed teaks, repaired foundation damage, replaced rotten elements in the structure,
 recovered several sections of roof, rebuilt the south portico columns and balustrade. In 1997, a \$3.2 million
 renovation added 30% more space through a large east addition and smaller west addition that provided exitsteinwells, a conference room, expanded gift shop, and new offices. Roofing and skylight repairs were completed in
- 2016.
 b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

 The primary goal is to make long needed repairs that are mostly related to moisture penetration, and the deteriorating elements on the building facades and interior.

 The package that was approved by the MHT includes the roofing and skylight repairs.

 Reofing, skylight and donwspout repairs were completed last year. The remaining work is targeted under this permit.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.
 All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Kyne, Michael

From: Yavuz Anahtar <yavuza.noa@gmail.com>

Sent: Thursday, March 09, 2017 4:22 PM

To: Kyne, Michael
Cc: Nuray Anahtar, AIA

Subject: HAWP Application for Strathmore Hall

Hello Michael,

Thank you for agreeing to receive the files in PDF format. You can download both the building permit application set and a PDF file containing the MHT application, approvals and the extension letter from the following DropBx link:

https://www.dropbox.com/sh/yna5pons7ai17t5/AAAPjEaFdaj9KwGZr1v2W0mfa?dl=0

The scope is of work is covered in detail on Dwgs A0.00 and A0.01. Tasks that were completed are noted as completed on these sheets. All other remaining tasks in the MHT approval is what we are applying for at this time. A brief description is as follows:

The Corby Mansion has not had major maintenance work done since a major renovation in 1996. In 2013 the Strathmore management had hired Quinn Evans Architects to evaluate the condition of the property and prepare an assessment report to recommend repairs. In 2014 Montgomery County DGS hired NOA architects to implement some of the recommended the repair, especially those that had to be done to prevent further damage to the property due to moisture penetration. NOA prepared the attached application to MHT and received the attached approvals.

The repairs were categorized as follows:

- 1. Interior
- 2. Roof
- 3. Skylight
- 4. Exterior

Because the funding was not sufficient to perform all the repairs, they were prioritized and the Roofing and Skylight work were done in 2015, completed in 2016.

Now that the roof is sealed, we are now applying for a new permit to stop the moisture penetration and deterioration on the facades and to repair the damage in the interior.

The interior work mainly consists of repairing moisture damaged surfaces, and paintwork; repair of damaged flooring, base and woodwork; replacement of the non-historic VCT flooring in the kitchen;, and ADA improvements.

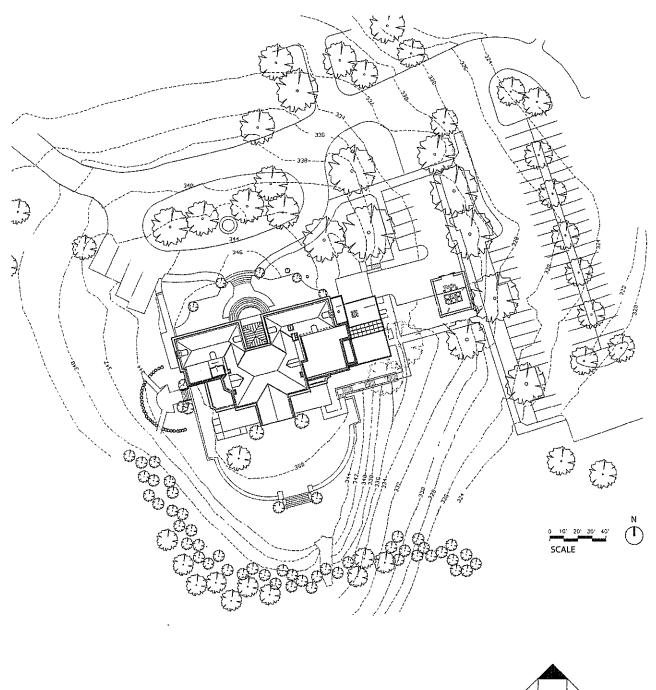
The exterior work mainly consists of waterproofing the basement walls below grade, window wells and providing sub-surface drainage to prevent water from entering through the basement windows; repairing cracked stones; cleaning water stain and organic growth from exterior surfaces; repair and re-painting of deteriorating wood surfaces and flaking paint; and repairing the settling rear porch area; re-pointing loose or missing mortar joints; some ADA required signage; site paving repairs and pruning adjacent landscaping. As I mentioned before detailed descriptions of the proposed work are on Dwgs A0.00 and A0.01 and are identical to the items on the MHT application.

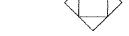
The DGS has already contracted the work and is very anxious to get started while the weather is favorable to get the work done. We would appreciate any help in getting the permit process expedited. Please let us know if you have any questions or need any further information.

Thanks,

Yavuz Anahtar, RA, NCARB, CDT

NOA Architecture Planning Interiors, LLC (301) 951 7933
yavuz@noaarchitects.com





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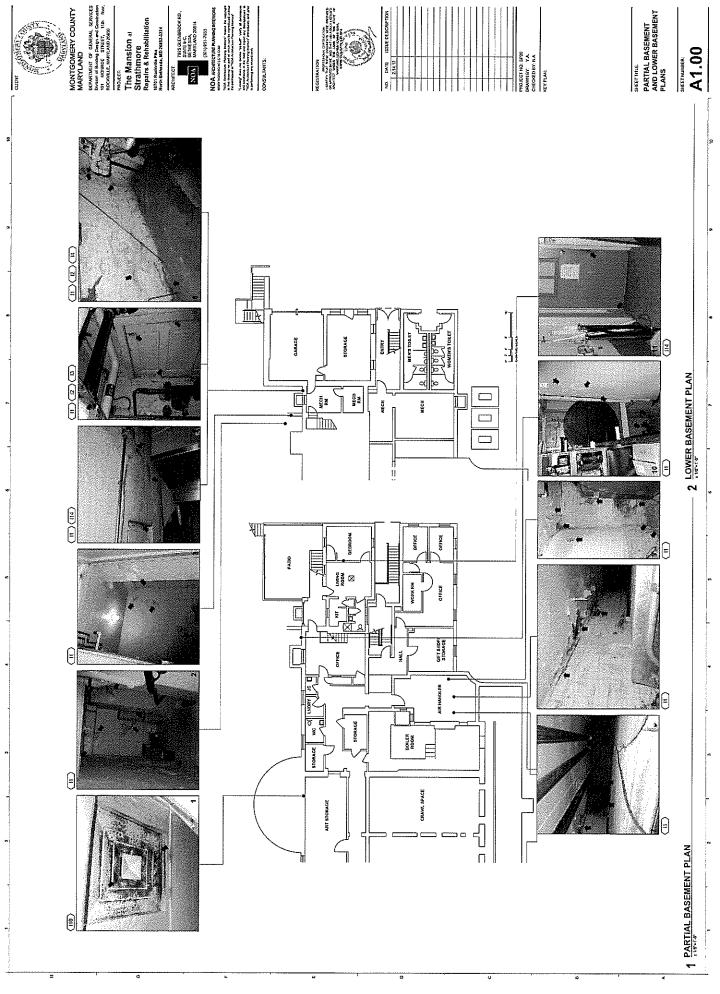
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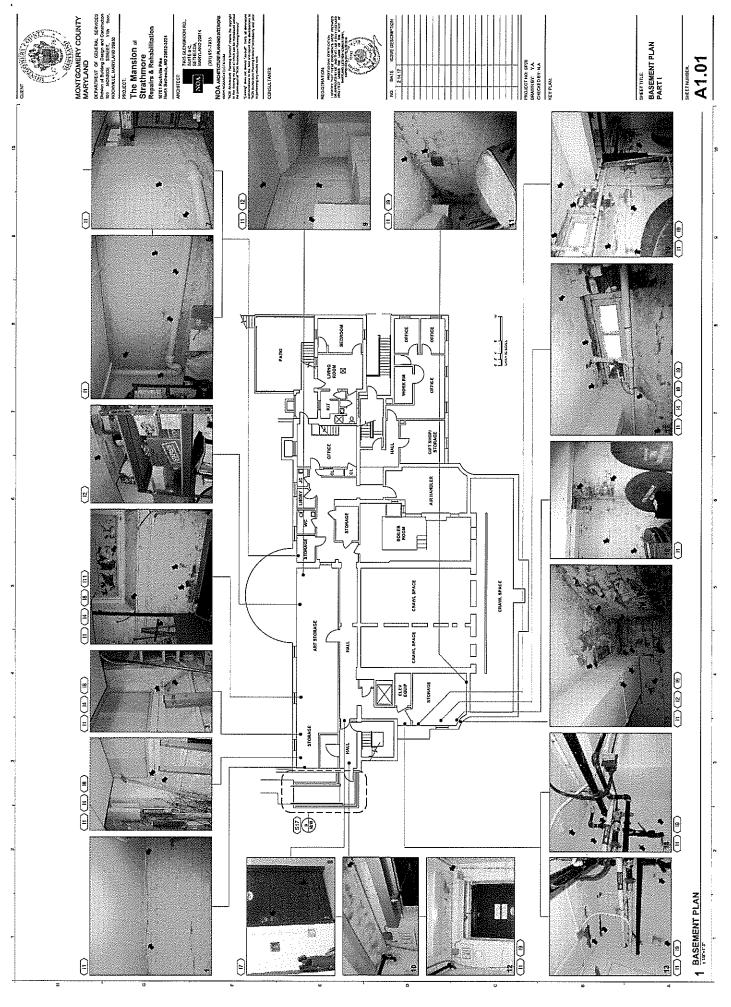
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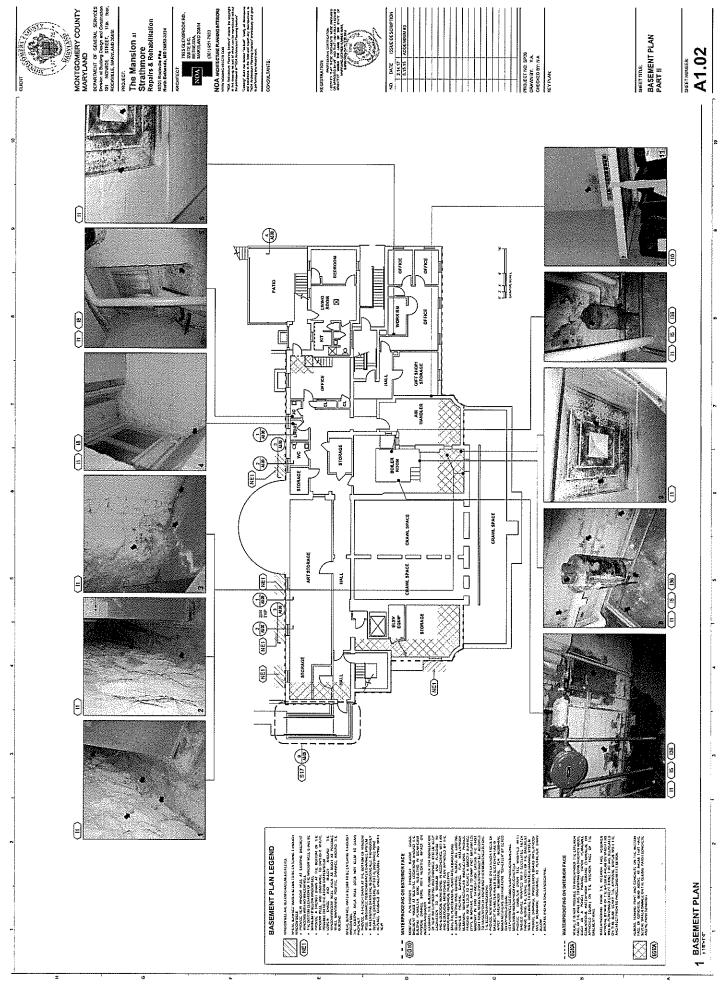
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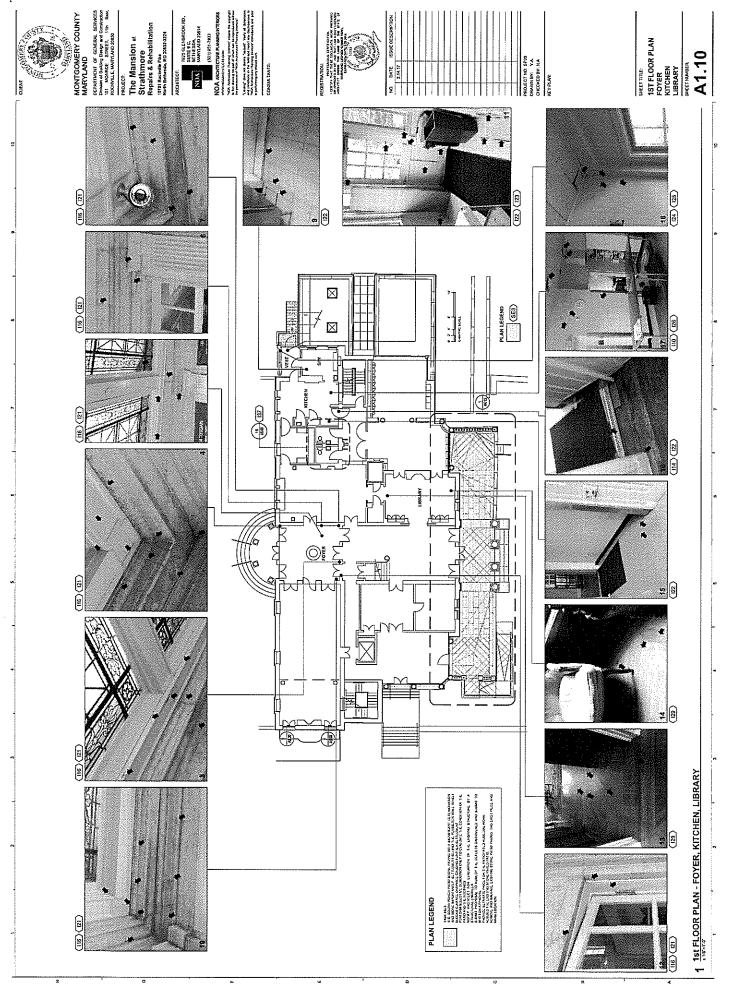
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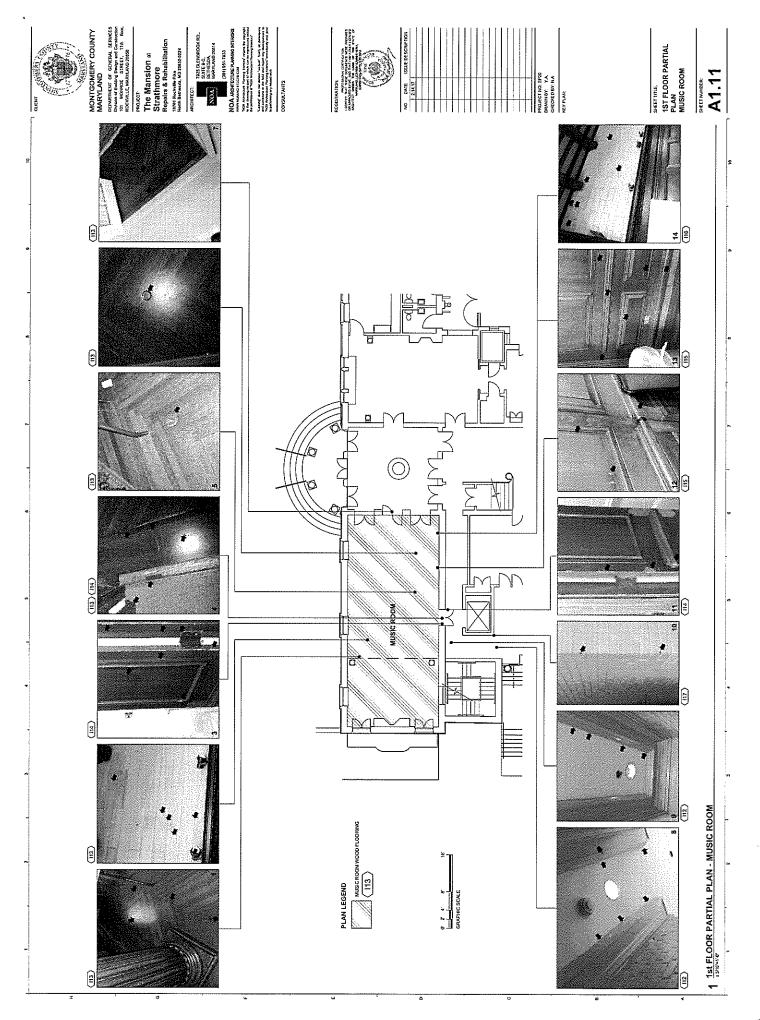
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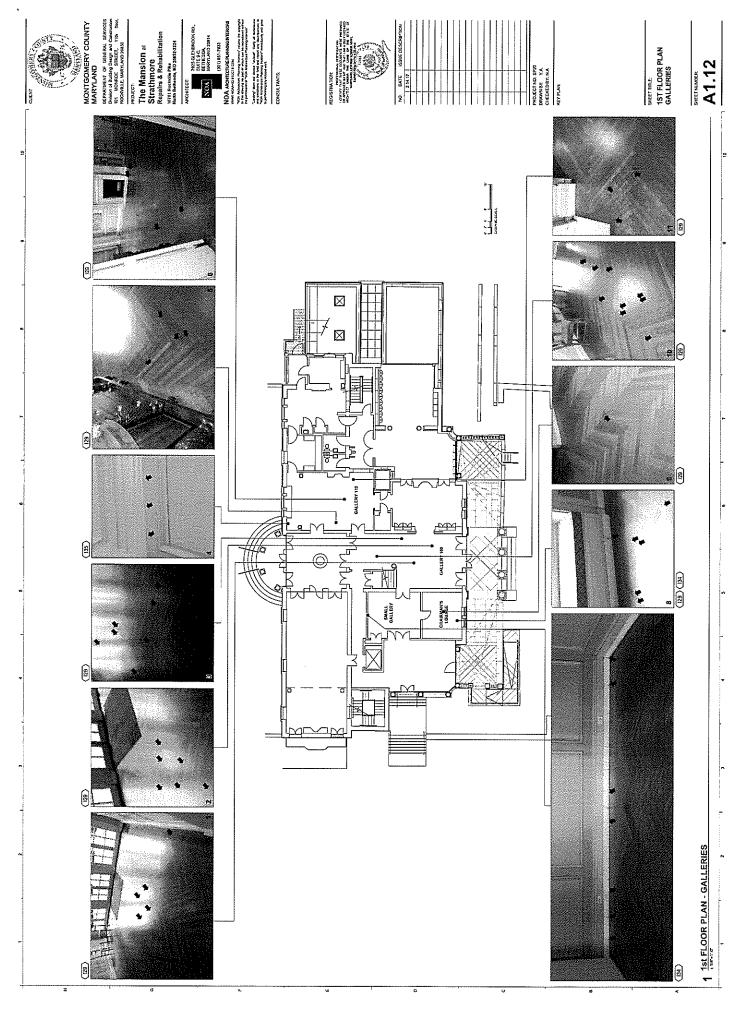


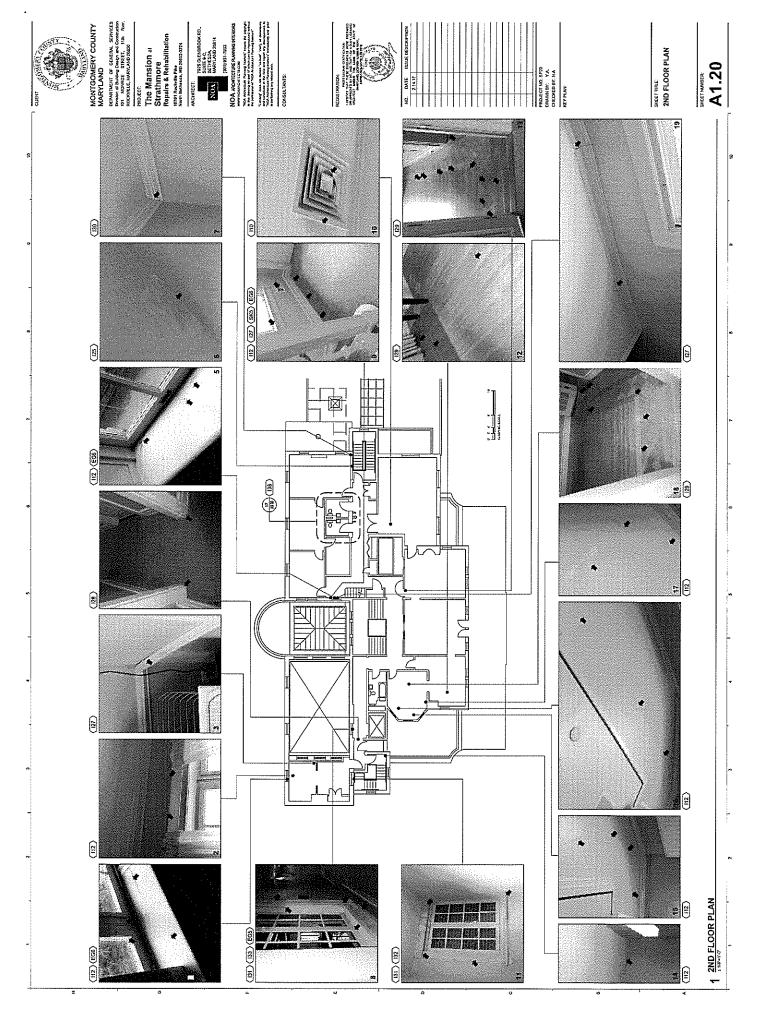


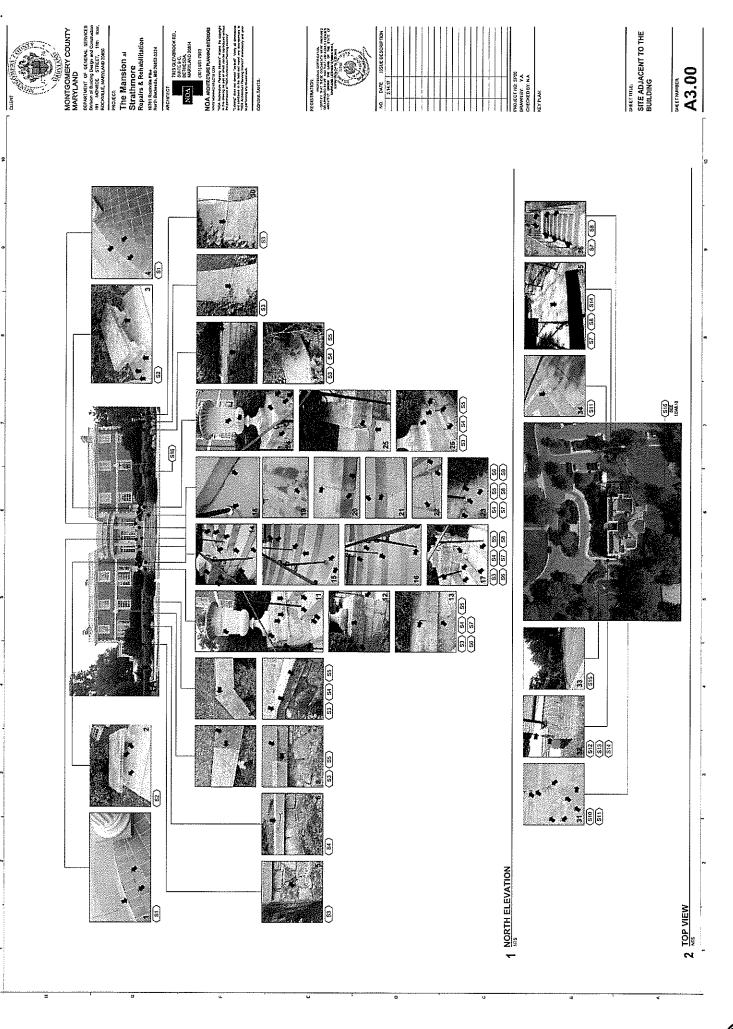


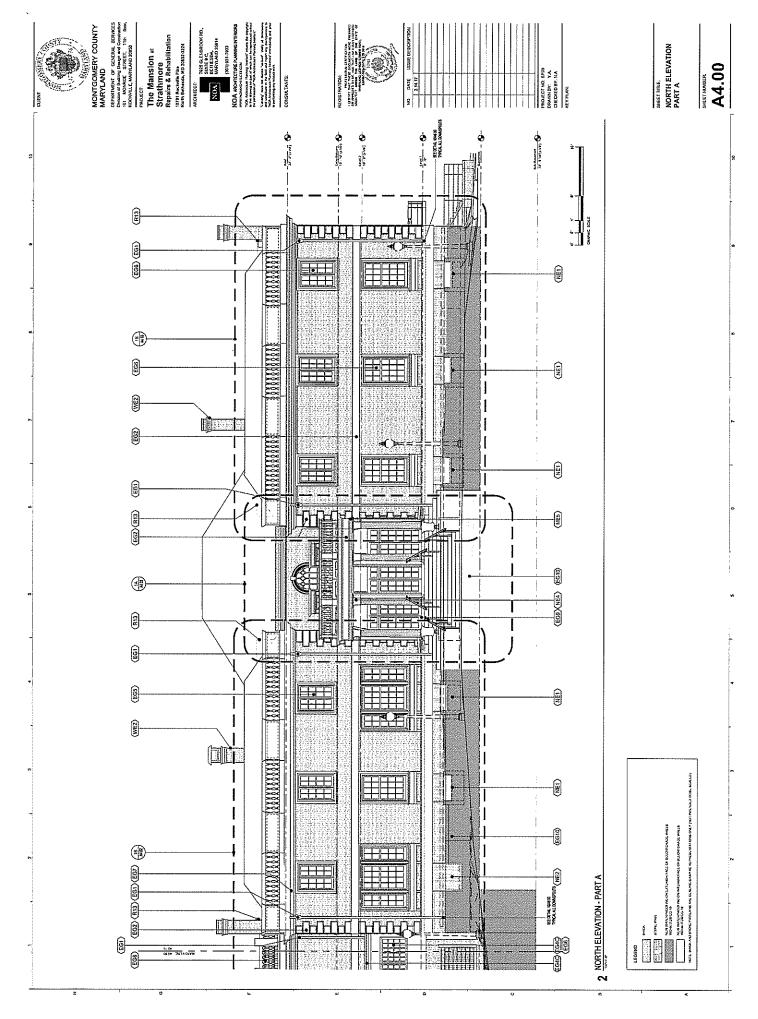


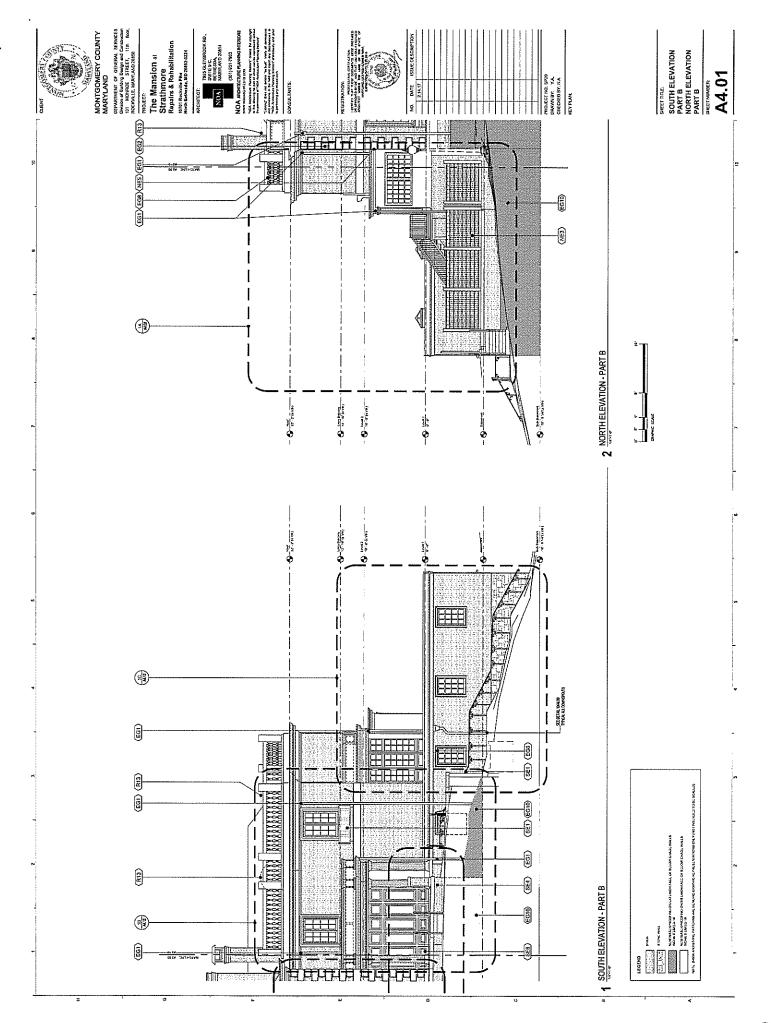


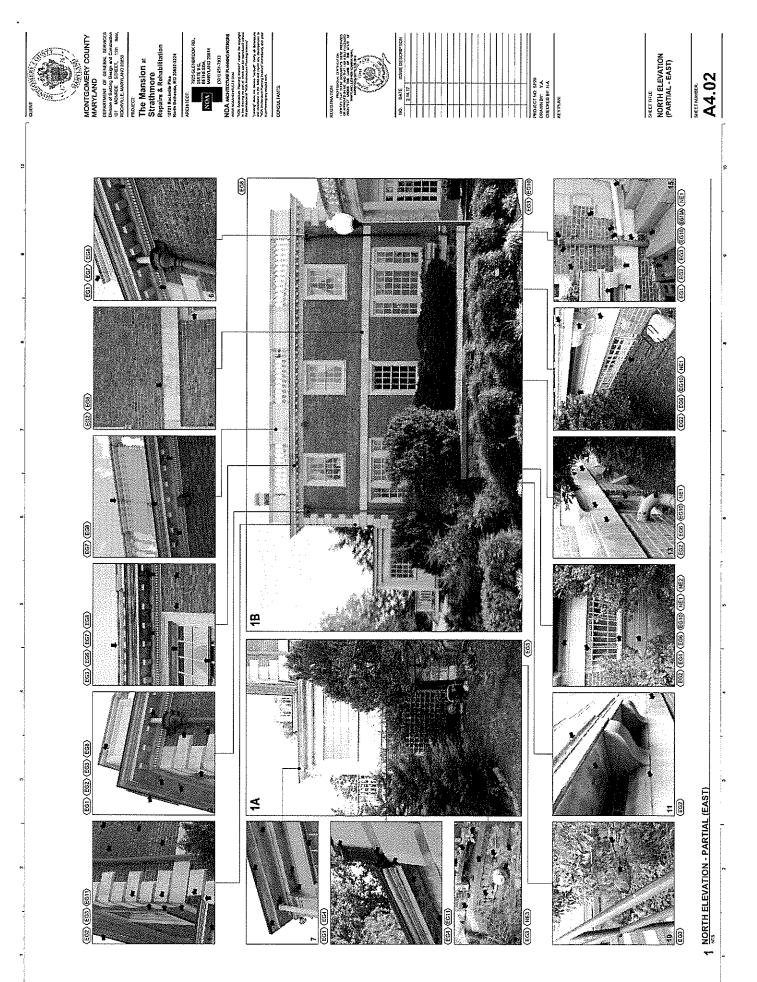


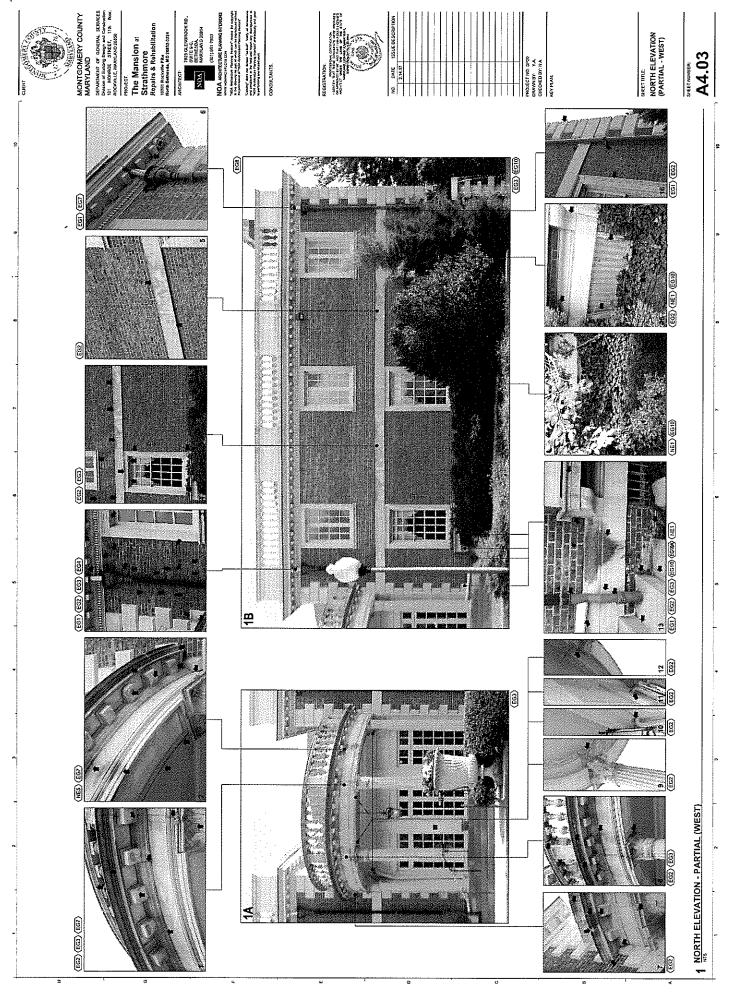


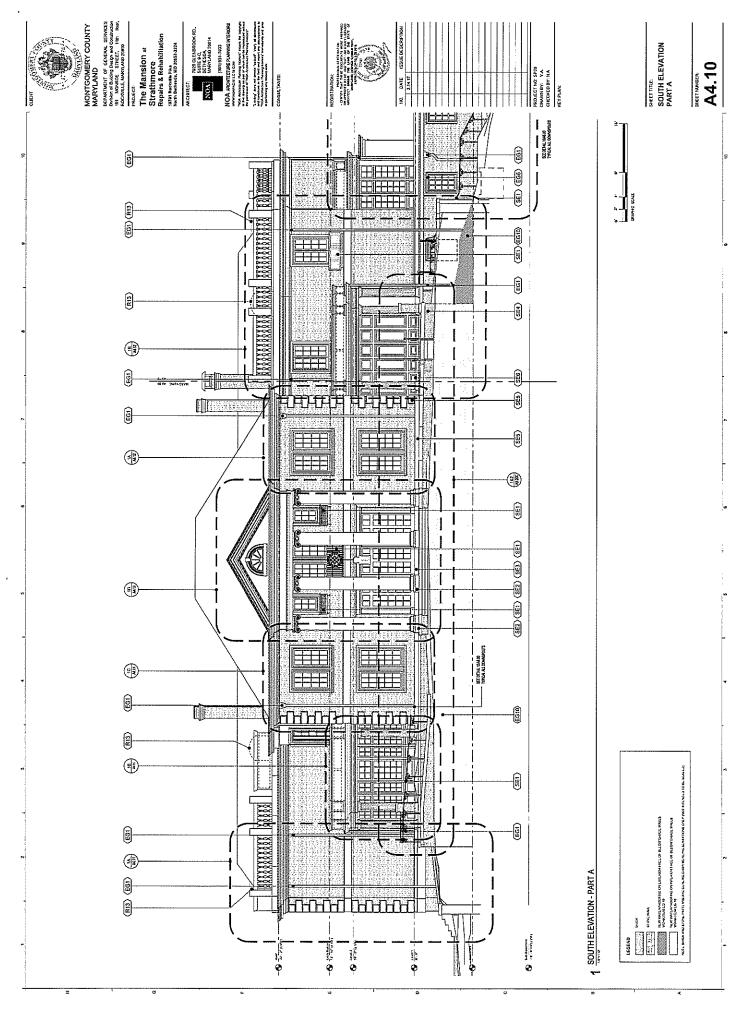


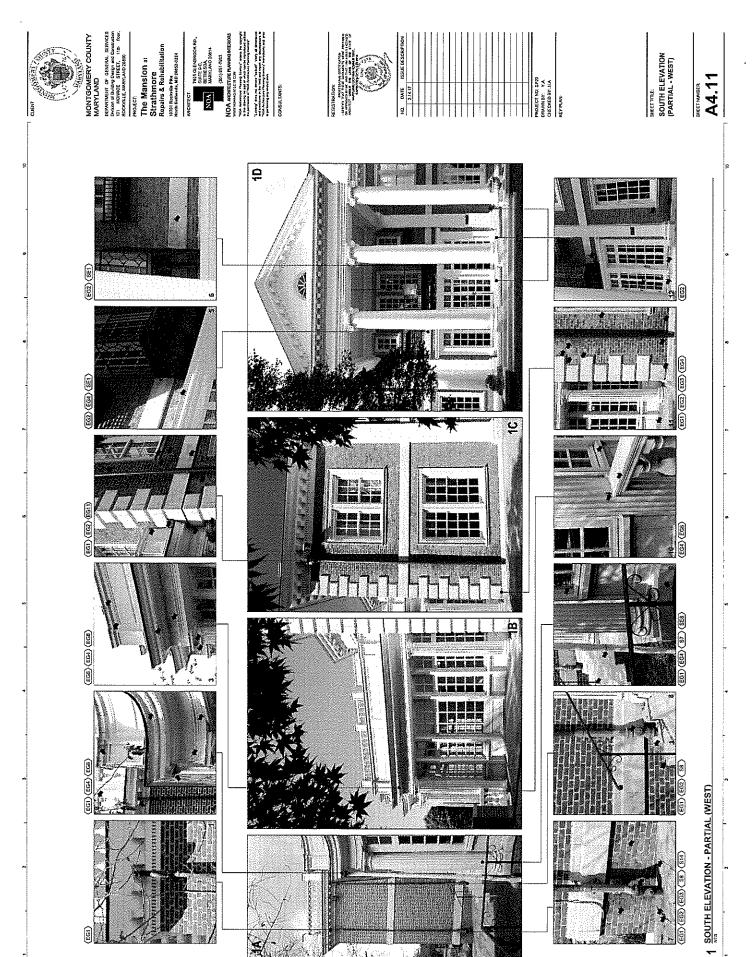




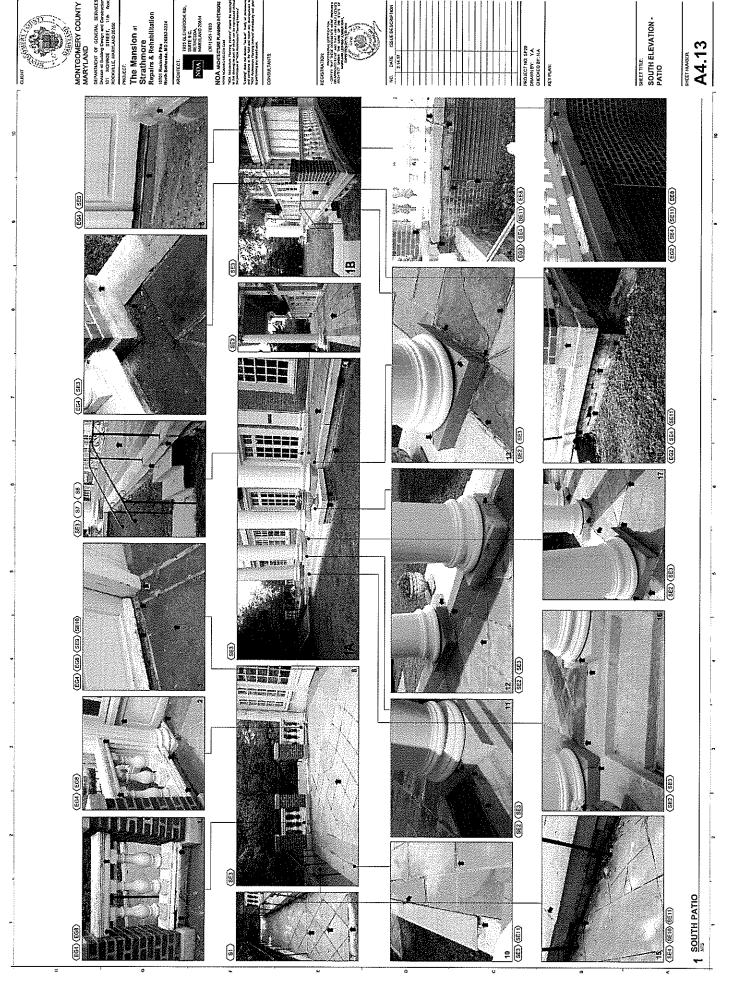


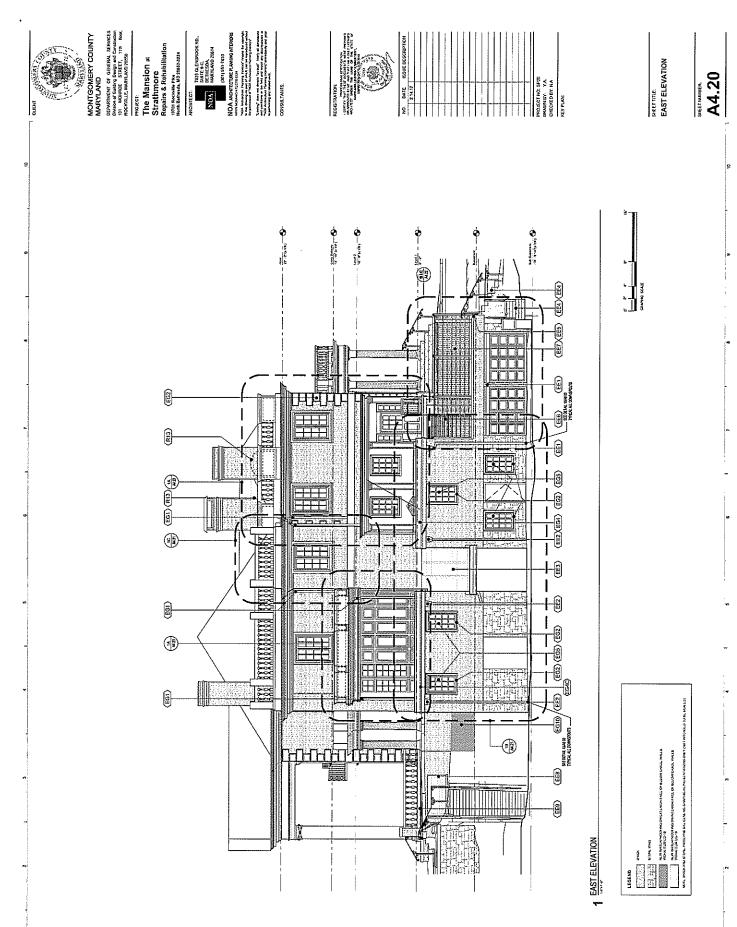


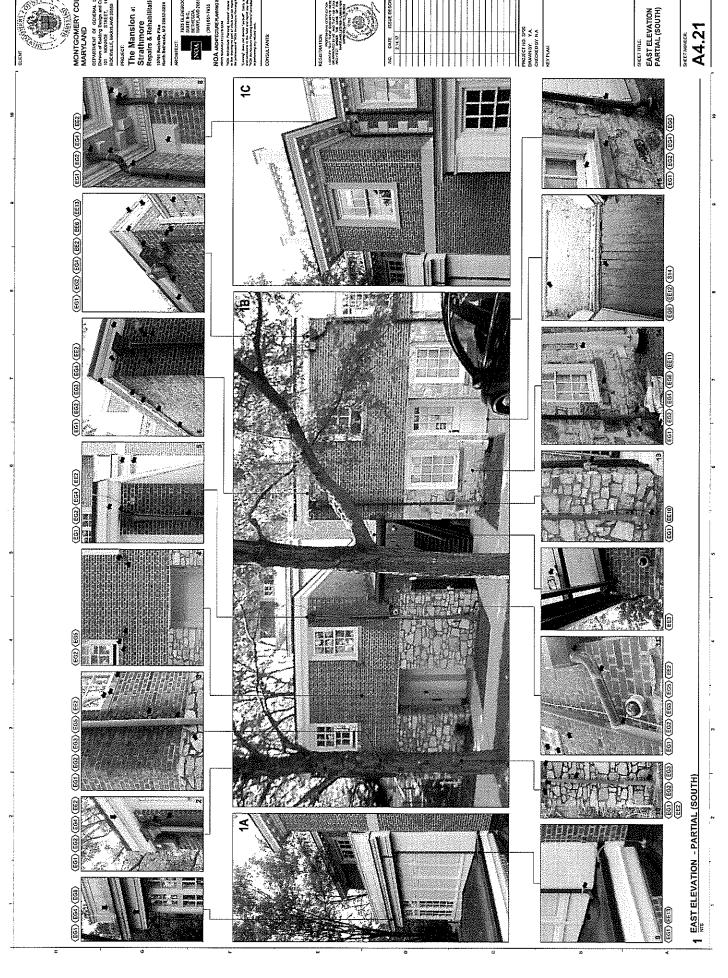


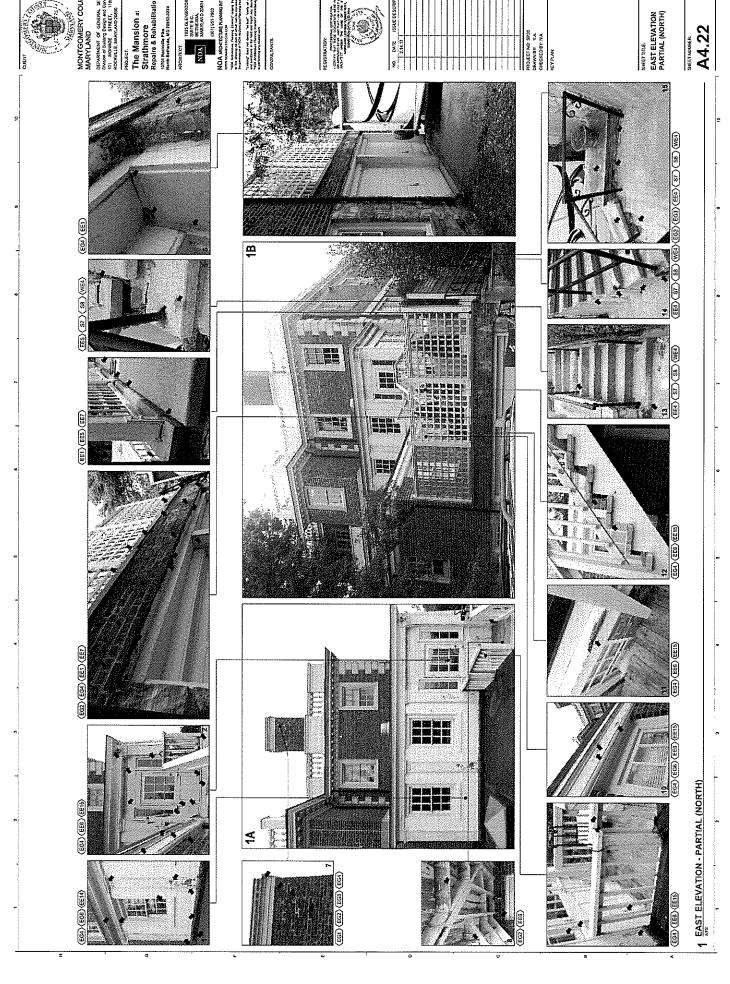














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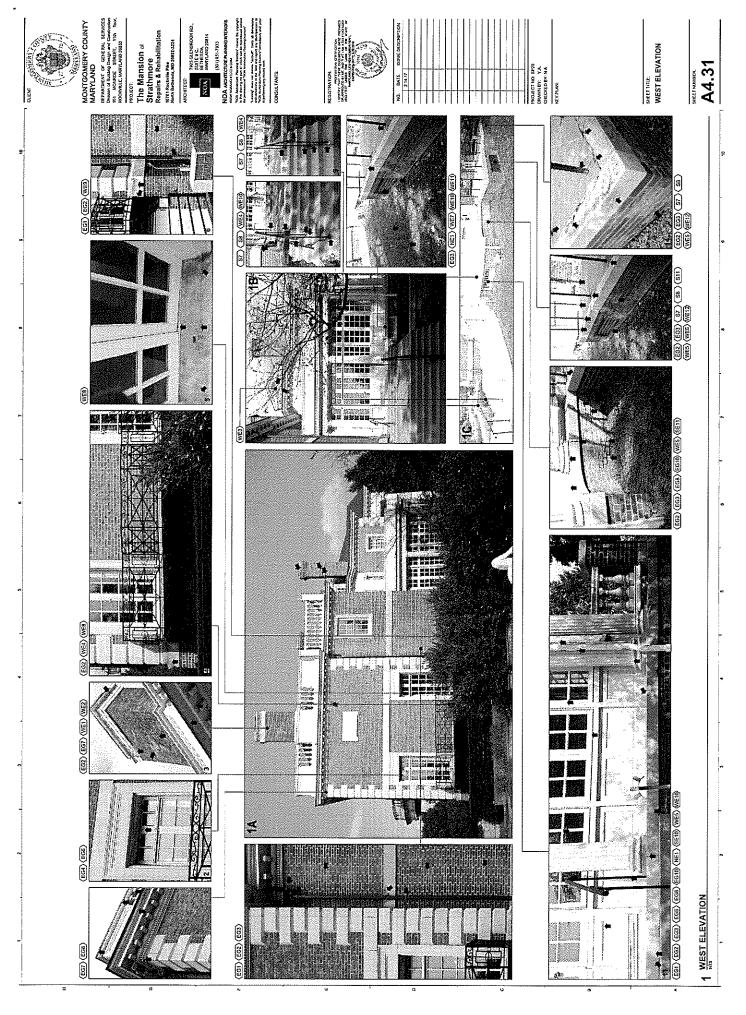
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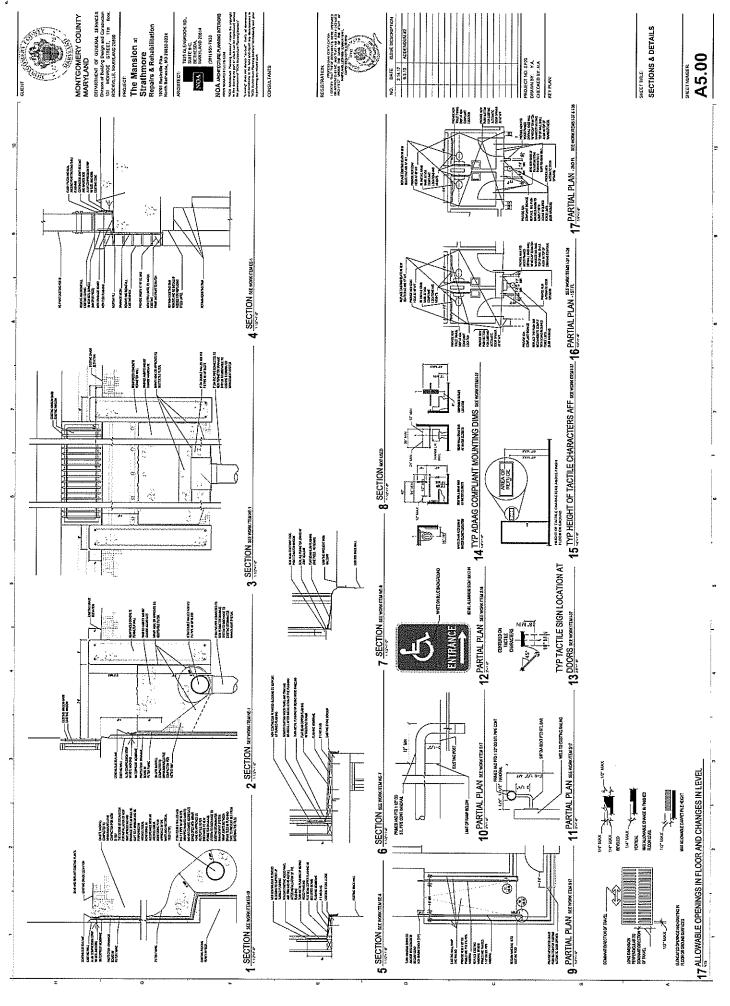
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SWEET ELEVATION

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Rassa Davoodpour	Nuray Anahtar, AIA
Section Chief, Studio 4	
Division of Building Design and Construction - DB	7925 Glenbrook Rd., Suite 9C
Department of General Services - DGS 01 Monroe Street, 9th Floor,	Bethesda, MD 20814
Rockville, MD 20850	Dottiosod, MD 20014
	P
Adjacent and confronting Property Owners mailing addresses	
WMATA Parking Garage (South)	
Mr. Patrick Schmitt	
Office of Parking	
WMATA	
600 Fifth Street, NW - 4G-10 JGB	
Washington, DC 20001	
Symphony Park Townhomes Developer (North)	
Mr. Howard B Katz	
Streetscape Partners	
Michael Harris Homes	
One Preserve Parkway' Suite 750	
Rockville, Md 20852	
•	





Larry Hogan, Governor Boyd Rutherford, Lt. Governor Wendi W. Peters, Secretary
Ewing McDowell, Deputy Secretary

September 27, 2016

Nuray Anahtar, AlA NOA Architecture Planning Interiors 7925 Glenbrook Rd. Suite 9C Bethesda, MD 20814

Re:

Strathmore, Montgomery County - Extension Maryland Historical Trust Preservation Easement

Dear Mr. Anahtar:

We are in receipt of your request for an additional six month extension of an approved change or alteration to Strathmore, located in Montgomery County. Original approval was granted in a letter dated July 1, 2015, with additional approval granted in a letter dated July 23, 2015 for work items #SE-8, #WE-7, #WE-8, and #SK-4.

I approve of the request to repair the skylight (#SK-I) and crank mechanism (#SK-5), renovate bathrooms for ADA compliance (#I-37), install new ADA compliant drinking fountains (#I-38), directional signage (#S-16 replace existing handrail leading to accessible entrance, install new handrail on opposite side of ramp leading to accessible entrance, and install new push button for door (#S-17). This work is consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties, in particular General Rehabilitation Standards 2, 6, and 7.

The request for approval to conduct selective demolition to assess and repair wood flooring (#1-13) is approved on the condition that no work should commence until the results of the exploration and any proposed scope of work are submitted to the MHT for review and approval. Additionally the Committee requests detailed photos, narrative, and floor plans to be submitted showing extent of damage.

The request to waterproof interior basement walls with a vapor permeable cementitious waterproof coating (#EG-10A) is approved on the condition that it is used only in the kitchen and office due to the inability to use less invasive measures in those inhabited areas. This work is consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties, in particular General Rehabilitation Standards 7. In all other areas noted on submitted drawing A2.02, waterproof coating must not be used. Please resubmit detail for an alternate approach such as cutting the concrete slab away from the basement wall to alleviate moisture issues.

Approval of the request to restore the chimney (#WE-I) and clean and repair brick joints (#WE-2) is conditioned upon the review and approval of the mortar and masonry repair specifications prior to initiating work. This work is consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties, in particular General Rehabilitation Standards 6.

The related request to replace the wood sill (#SE-9) is approved with the condition that the replacement of the original threshold should be hard wood to match, not pressure treated wood. This work is consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties, in particular General Rehabilitation Standards 6.

The highlighted conditionally approved work items still require additional information prior to initiating work, as dictated in the July 1, 2015 Director's Letter.

1 approve of the south porch (#SE-8, #WE-7, #WE-8) and tripartite window (#SK-4) proposals as detailed below, provided that the outlined conditions are met. This work is consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties, in particular General Rehabilitation Standards 6 and 7.

- South Porch (#SE-8, #WE-7, #WE-): The exploratory demolition of areas of the south porch / terrace in order to establish the existing construction and sources of possible failures is approved. However, it is understood that for budgetary reasons this exploratory demo might not be done at this time; therefore, it is understood that you will not necessarily be able to resolve all the issues with the south porch enclosures and terrace holistically as the Committee had suggested (or hire an envelope consultant as suggested). Clearly the immediate priority is to halt any water infiltration and further deterioration of building elements, including the stone cap. Therefore, I approve details 5 and 6/A6.10 to provide flashing in vulnerable areas, particularly over the joint in the paving. However, the detail should be revised to allow the flashing to terminate on the face of the wall rather than within the wall, as this will (a) allow easier monitoring; (b) be more readily reversible; and (c) be less destructive to existing wall finish. Positive slope of the flashing away from the wall should also be achieved. The Committee understands that the flashing will protect the area of greatest perceived water infiltration (joint in paving) but will have to pass behind the columns.
- Detail at tripartite window (#SK-4): I approve the installation of raised exterior sill and flashing even without a storm window. If it is proposed to not install a storm window, the detail should be revised to allow the flashing not to terminate on the window so that the lower sash will still be operable, i.e. with separate flashing on bottom rail of window sash overlapping the flashing on the raised sill. (If there IS a storm window, flashing would terminate on the window sill instead of on the window anyway.)

This approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Kate Bolasky, Easement Administrator, at (410) 514-7632 or by email at kate.bolasky@maryland.gov.

Sincerely,

Elizabeth Hughes

Director

Maryland Historical Trust

EH/KB

Larry Hogan, Governor Boyd K. Rutherford, Lt. Governor David R. Craig, Secretary Wendr W. Peters, Deputy Secretary

Maryland Department of Planning Maryland Historical Trust

July 23, 2015

Yavuz Anahtar, AIA NOA Architecture Planning Interiors 7925 Glenbrook Rd. Suite 9C Bethesda, MD 20814

Re: Strathmore, Montgomery County- Change/Alteration Maryland Historical Trust Preservation Easement

Dear Mr. Anahtar.

The Maryland Historical Trust (MHT) is in receipt of your additional information, provided July 21, 2015 regarding the south porch and tripartite window proposals.

Based upon the review and recommendation of Easement Staff, I approve of the south porch and tripartite window proposals as detailed below, provided that the outlined conditions are met. This work is consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties, in particular General Rehabilitation Standards 6 and 7. This approval is valid for a period of six months from the date of this letter.

- South Porch: The exploratory demolition of areas of the south porch / terrace in order to establish the existing construction and sources of possible failures is approved. However, it is understood that for budgetary reasons this exploratory demo might not be done at this time; therefore, it is understood that you will not necessarily be able to resolve all the issues with the south porch enclosures and terrace holistically as the Committee had suggested (or hire an envelope consultant as suggested). Clearly the immediate priority is to halt any water infiltration and further deterioration of building elements, including the stone cap. Therefore, I approve details 5 and 6/A6.10 to provide flashing in vulnerable areas, particularly over the joint in the paving. However, the detail should be revised to allow the flashing to terminate on the face of the wall rather than within the wall, as this will (a) allow easier monitoring; (b) be more readily reversible; and (c) be less destructive to existing wall finish. Positive slope of the flashing away from the wall should also be achieved. The Committee understands that the flashing will protect the area of greatest perceived water infiltration (joint in paving) but will have to pass behind the columns.
- Detail at tripartite window: I approve the installation of raised exterior sill and flashing even without a storm window. If it is proposed to not install a storm window, the detail should be revised to allow the flashing not to terminate on the window so that the lower sash will still be operable, i.e. with separate flashing on bottom rail of window sash overlapping the flashing on the raised sill. (If there IS a storm window, flashing would terminate on the window sill instead of on the window anyway.)

The following conditionally approved items still require additional information prior to initiating work, as dictated in the June 23, 2015 Director's Letter.

- The results of the selective demolition wood flooring exploration and any proposed scope of work submitted to the MHT for review and approval. Additionally the Committee requests detailed photos, narrative, and floor plans to be submitted showing extent of damage.
- * Waterproofing the kitchen and office interior basement walls with a vapor permeable cementitious waterproof coating (#EG-10A). In all other areas noted on submitted drawing A2.02, waterproof coating must not be used. Please resubmit detail for an alternate approach such as cutting the concrete slab away from the basement wall to alleviate moisture issues.
- Mortar and masonry repair specifications for the chimney repair and brick joint repair prior to initiating work.

Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Kate Bolasky, Easement Inspector, at (410) 514-7616 or by email at kate.bolasky@maryland.gov.

Sincerely. Sicular Hoge

Elizabeth Hughes Acting Director

Maryland Historical Trust

EH/KB

7925 Glenbrook Rd., Suite 9C, Bethesda, MD 20814 .. (301) 951-7933 .. Fax: (301) 951-7934 .. e-mail: info@.noaarchitects.com

Maryland Historical Trust Preservation Easement Programs 100 Community Place Crownsville, MD 21032

Attn: Amy Skinner, Administrator

6.15.15

Re: Corby Estate (Strathmore Hall Arts Center), Easement No: M: 30-12 10701 Rockville Pike, (MD 355)

Dear Ms. Skinner,

Our application for the work items that were denied or found incomplete in our previous application per the Director's letter of 2.12.15, is attached.

Also included in this application are additional items that were requested to be added into the scope per Montgomery County's agreement with the Department of Justice for ADA improvements.

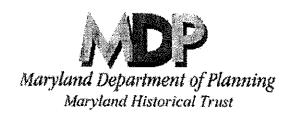
It is our understanding that we can proceed the work on the items that were approved while these items are being reviewed. Please let us know if that is not correct, and if you have any questions.

Sincerely.

Nuray Anahtar, AIA Principal

Encl.

- Application Checklist
- Change/Alteration Proposal Application
- Detailed description of work (13 pages)
- Reference drawings A1.00, A2.02, A2.10, A2.11, A2.30A, A2.31, A2.31A, A5.20B, A5.20C, A5.30, A5.30A, A6.10
- Copy of the Director's letter of 2.12.15



Martin O'Malley Governor Anthony G. Brown 14. Governor Richard Elserhard Mall Secretary Matthew J. Power Daputy Secretary

Historic Preservation Easement Program (I) Checklist: Change/Alteration Proposal Application

This checklist is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to ensure that their Change/Alteration Proposal Application contains at least the minimum documentation required for review as outlined below.

All applications must be submitted at least <u>one week</u> prior to the scheduled meeting date. The application review period (as specified by each Deed of Easement) will not commence until a complete application is received.

Return the checklist with the Change/Alteration Proposal Application (and other information) to:

Amy Skinner, Administrator, Historic Preservation Easement Program

Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032

(410) 514-7632/askinner@mdn state md us

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Name of Easement Property: The S		The Strath	more Mansio	1		***************************************		
Alternative Na	me:	Corby Esta	orby Estate (Strathmore Hall Arts Center)					
		10701 Roc	10701 Rockville Pike					
		North beth	esda	······	Çc	ounty:	Montgomery	
Maryland Inve	ntory of Historic Places	(if known)	4		8.6.70 17			
	mation visit http://mht.m			vey.html)	M:30-12			
ESCRIPTIO	N OF WORK - Part II o	of the Chang	ze/Alteration	Proposal /	Application	on should	d describe the pro	posed
	Place a check the box for							
vill clarify for t	he Easement Committee	which featu	res should be	considered	during re	view of p	project.	
Please ch <mark>eck</mark> a	il that apply Work ite	ms previou	ısly not appı	roved, and	l additio	nal ADA	L compliance w	ork items
SITE	⊠ Main House/Buildir	ng .	☐ Garage		- Indicate of	Arch	eological Site	
	☐ New Construction		🔲 Outbuild			Utilit	•	
	Other Structure			pe/Pool/Gra	uding		r <u>along building</u>	<u>perimeter</u>
EXTERIOR	Windows/Frames/S	ash					s/Grates/Grills	
	□ Doors/Doorways		□ Porches/		s	*****	rative Features/	
	Walls/Facades		⊠ Gutters/l	~~		Orname		
	⊠ Roof						r Details	
INTERIOR	Walls/Ceilings		📗 Stairs/St					
	☐ Floors/Flooring		Fireplace				room(s)	. v v b
	□ Doors		□ Decorati		t t		r plan/Spatial Re	
	Windows ✓ Windows		Ornamentat	ion/Other L	Details		nanical/Electric/I	umbing
Picase check ti	nat you have included t	he following	; information	as part of	your con	iplete ap	plication:	
Required:			As Necessary (Recomm		onimendi	₽d):		
☐ Part I: Checklist			⊠ Site Plan/Dra			awings/Plans (dated)		
Part II: Change/Alteration Project Proposal Ap			Produc	at Informa	tion/Spe	cifications		
□ Printed Pho	otographs & CD; properly	y labeled/ide	ntified	Other			· · · · · · · · · · · · · · · · · · ·	
The Easement l	Property Owner and/or th	ne Authorize	d Proposal Co	ontact is end	couraged	to keep a	duplicated copy	of all
application info	ormation sent to the MHT	f. including	photos and pl	ans, as the l	MHT stafi	f may ne	ed to discuss the	
application with	h the applicant prior to st	ibmission to	the Easemen	t Committe	e.			
	Signature of Owner or A	uthorized Re	epresentative:	Date:				

Historic Preservation Easement Program (II) Change/Alteration Proposal Application

Easement Property Information All applicable fields must be filled				ed					
Name of Easement Property:		Corby Estate (Strathmore Hall Arts Center)							
Address of Property:			1071 Rockville Pike, north Bethesda, MD 20852-3224						
Property Owner Informat		,							
Name of Current Property			gomery Co				W		
Address of Property Owner	r:	Depa	rtment of G	enera	al Servi	ces, 101 N	Monroe St., 9th Floor		
(If different than property address)		Rock	ville, MD 2	0850	1		Date of Purchase:	1978	
Work/Home Telephone:	(240)7	77-612	6			Fax:			
Mobile Telephone:		Email: hamid.omidy			hamid.omidvar@mon ntymd.gov	tgomery	ycou		
If application is completed	by somec	ne oth	er than own	er (o	nly con	nplete if a	pplicable):		
Name of Authorized Project	•		Nuray Ana			* *	•		
Relationship to owner:			Architect	•					
Address of Authorized Pro	ject Con	tact:	7925 Glen	broo	k Rd. S	uite 9C			
	•		Bethesda,	MD	20814				
Daytime Telephone:	(301)9:	51-793	3			Fax:	(301)951-7934		
Mobile Telephone:	(301)2:	57-629	1			Email:	nuray@noaarchitects.	com	
Deed of Easement Inform	ation:								,
Does the Easement require review of									
changes and alterations to the:			No	\boxtimes					
Current Use of Owner-Occupied Residence Commercial Government					nt				
Property: Museum Archeological Site Landscape Other Arts Center									
Is the scope of work locate	d inside 1	the	Yes 🖂	Do	you bel	lieve that t	the proposed work is	Yes	\boxtimes
easement boundary?			No 🔲	pen	mitted,	with appro	oval from the Trust,	No	
				und	ler the t	erms of th	e easement?		
Are physical changes (i.e. o	construct	ion, rec	construction	ւ, imլ	orovem	ent, enlarg	gement, painting	Yes	\boxtimes
/decorating, alteration, dem	iolition, i	mainte	nance, repai	r, gra	ading or	r excavatio	on) to the easement	No	
property required as part of	the prop	osed v	vork?						
If yes, will the physical cha	inge affe	ct histo	oric material	l (ove	er 50 ye	ars old)?		Yes	\boxtimes
								No	
* For a copy of the easement of	locument,	, please	contact Kath	іу Ор	ferman	(410) 514-	7627/ <u>kopferman@mdp.s</u>	tate.md.	<u>us</u>
Project Funding Information:									
Is this project being funded by any of MHT Capital Grant (FY)									
the following sources?									
		[] МНАА С	apita	l Grant	(FY	_)		
☐ Historic Tax Credits (☐ Residential/ ☐ Commercial)									
Please check all that apply: Bond Bill (Chapter/Year)									
Other State/Federal Funding									
☑ Other Funding Montgomery County									

Detailed Description of Proposed Rehabilitation/Preservation Work

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item #I-13

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products		
Approximate date of feature: Pre -1981 renovation			
Describe existing feature and its condition:	Photo no. 1,4,5,6,7/A2.11	Drawing no. A2.11	
The wood flooring inside the Music Room appears to have been sanded too many times and reached the limit of its usable thickness. The request to replace the Music Room floor is denied as no new information was provided from the previous submission. The Committee did not feel the floor was deteriorated beyond repair and in need of full replacement. They recommended that a selective area around the electrical box be removed to further assess the floor condition and composition. A proposal to repair the floor should be submitted for review and approval prior to any work being undertaken.			

^{*} Please print this page again to include as many work items as necessary.

100 Community Place • Crownsville, Maryland 21032-2023
Telephone: 410.514.7600 • Fax: 410.987.4071 • Toll Free: 1.800.756.0119 • TTY Users:
Maryland Relay Internet: www.marylandhistoricaltrust.net

Architectural/Landscape feature:	Describe, in detail, th	e proposed work
Exterior - General	and impact on existing feature:	
Approximate date of feature:	Be sure to include det	ails and
All Periods	specifications on prop	osed products
Describe existing feature and its condition:	Photo no.	Drawing no. 1/A2.02
Moisture penetration through below grade basement walls at multiple locations around the building perimeter, some resulting in significant physical damage, some with negative impact on indoor air quality. MHT letter of 2.12.15 states: The application noted that waterproofing the interior surfaces of certain basement walls was proposed in areas where the exterior surface of the basement walls is not accessible. The Committee requested clarification or further investigation of these areas, specifically the raised terrace at the rear and any porches or projections. Waterproofing on the exterior is the more desirable and more effective solution to the moisture issues and should be employed wherever possible. Other remediation such as cutting the concrete slab away from the basement walls and installing a French drain may be considered. A recommendation should be submitted for the Committee's review and approval.	exterior face of the construction above s vapor permeable of coating (Thoroseal or interior face of the baseline bottom face of concrete have severe water dam The exact extent waterproofing is to be	•

Architectural/Landscape feature:	Describe, in detail, the proposed work	
South Elevation	and impact on existing feature:	
Approximate date of feature:	Be sure to include details and	
Pre - 1981 renovation	specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1A, 1B, 4, 5, 8, Drawing no. A2.10,	
	9, 10,11,12,13,16/A5.20C 1/A5.20C	
The patio stone paving with significant deterioration and more importantly, settlement behind the perimeter wall which blocks surface drainage causing further settlement. MHT letter of 2.12.15 states:	The extent of the area involved is shaded and keyed on the floor plan on A2.10. •Perform selective demolition only to evaluate the condition of the patio and the footings. •Notify architect to inspect the condition of the	
The proposal for the proposed porch work is denied as it is too destructive; the stone may not be cut with flashing installed beneath An alternate and less invasive solution should be discussed, such as installing copper flashing on the top and turning up into the inside wall. A revised proposal for the porch stone must be submitted for review and approval. If this approach is not feasible, sealing the stone should be investigated, but it is a less desirable option as it is not reversible. Following some selective demolition to the porch floor, a section detail showing proposed flooring reinstallation must be provided prior to undertaking any reinstallation.	structure below together with a structure engineer to develop proposal to remedy the defects discovered, and submit to MHT for approval.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed	
South Elevation	work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and	
Pre-1981 renovation	specifications on proposed products	
Describe existing feature and its condition:	Photo no. Drawing no. 12,13/A5.20B,	
	12,13/A5.20B Section 5/A6.10	
Significant water damage below the ledge with a where the stone paving, stone ledge and the joints in between are not capable of providing an effective water barrier for the slab, ceiling and wall below. MHT letter of 2.12.15 states: The proposal for the proposed porch work is denied as it is too destructive; the stone may not be cut with flashing installed beneath. An alternate and less invasive solution should be discussed, such as installing copper flashing on the top and turning up into the inside wall. A revised proposal for the porch stone must be submitted for review and approval. If this approach is not feasible, sealing the stone should be investigated, but it is a less desirable option as it is not reversible. Following some selective demolition to the porch floor, a section detail showing proposed flooring reinstallation must be provided prior to undertaking any reinstallation.	 Provide new flat seam copper flashing w/ soldered seams over preservative treated wood blocking with a sloping surface over existing stone. Remove paneling/base trim behind. Turn copper flashing up and reinstall paneling/base trim. Paint re-installed wood trim. Seal all joints. 	

Architectural/Landscape feature:	Describe, in detail, the proposed		
South Elevation	work and impact on existing feature:		
Approximate date of feature:	Be sure to include details and		
1975 renovation	specification	s on proposed products	
Describe existing feature and its condition:	Photo no. Drawing no. A5.20C		
	3/A5.20C	-	
Deteriorated wood in direct contact with patio paving and	Replace rotten wood sill with new pressure		
exposed to surface water.	treated wood sill.		
MHT letter of 2.12.15 states:			
The request to replace the south elevation's deteriorated threshold			
with an aluminum threshold is denied. The deteriorated threshold			
may be replaced with wood, or possibly wood wrappedwith metal such			
as copper to protect the stone.			

^{*} Please print this page again to include as many work items as necessary.

Work Item #SK-1

priorto any work being undertaken.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Skylight	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Pre - 1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no. 1,3-6, 8, 10, Drawing no. 1/A2.31,		
	12,15-21/A2.31A 1/A2.31A, Plan on A2.31A,		
	Section 8/A6.10		
There are multiple leaks, has undergone many repairs,	Remove or protect the leaded glass lay light panels		
many of which were crudely done.	and trim below the skylight.		
Joints of the muntins rely on caulking or roofing	• Remove existing skylight glazing and curb and		
cement with no mechanical cover to resist water	gutter flashing.		
penetration.	• Replace the metal cladding around the skylight		
The curb below the vents on the South side does not	muntins that are currently split at all joints and		
have sufficient height from the gutter surface below	sealed with large chunks of roofing cement.		
to prevent leaks to the interior during heavy rain or	Repair the existing steel structural members under		
snow accumulation.	the cladding.		
The glazing is cracked and patched. The wire in the	Replace the broken glass and the glazing that does		
glass is rusting along the edges.	not match the original glass, w/ laminated safety		
The copper gutter is bent, warped and damaged in	glazing that is visually the closest available match.		
multiple locations.	• Seal the existing side vents to be stationary (not		
It is in a general state of disrepair and deterioration	operable) with fully sealed joints all around.		
and a chronic source of damage to the leaded glass lay	Provide condensation channels and weeps on the		
light and stone walls below.	underside of new glazing/muntins.		
) (I/(D) (2) 12 15	• Ventilate the space between the skylight and the		
MHT letter of 2.12.15 states: Work proposed for the skylight was determined to be	leaded glass panels into the building interior		
incomplete. Per MHT's guidance following the site visit, the	through the adjacent joist spaces.		
metal structure or skeleton should be retained and repaired.	Reinstall the leaded glass lay light panels below.		
The Committee further recommended that the overall form and	Replicate the raised copper gutters around the		
any possible historic fabric be retained, i.e. the curb maintained	skylight. Solder all copper seams and seal.		
at the existing height with the vents fixed in place and the crank mechanism retained. Flashing may then be installed around	Provide new downspouts from the upper gutter cround the skylight to connect directly to the layer.		
the entire exterior of the curb, covering the vents. A detail	around the skylight to connect directly to the lower		
showing this work must be submitted for review and approval	downspout (without discharging into the open gutter) to reduce the volume of water in the lower		
priorto any work being undertaken.	guiler) to reduce the volume of water in the lower		

* Please print this page again to include as many work items as necessary.

lower gutter and flashing.

· See Work Item SK-4 for improvements to the

gutter.

Work Item #SK-4

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Skylight	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Pre - 1981 renovation	proposed products		
Describe existing feature and its condition: The curb below the grand stair windows does not have sufficient height from the gutter surface below to prevent leaks to the interior during heavy rain or snow accumulation. The flashing is was not terminated properly, relying on multiple layers of caulking at many joints. MHT letter of 2.12.15 states: Additionally, the proposal for the tripartite windows near the skylight was determined to be incomplete. The Committee noted that building up a wooden curb or stop at the bottom of the window to receive flashing would trap water or snow against the window. The Committee recommended installing an exterior storm window and fixing flashing to the outside of the window, or to a curb below the storm window. A detail showing the proposed solution must be submitted for review and approval prior to any work being undertaken.	Photo no. 1,2,3,5,6,10,12,17,18,21/A2.31A •Turn new copper flashing up masonry and wood surfaces as sills, over new wood blocking along the south edge of the 8/a6.10). Those windows will not solder all copper seams and seen new copper flashing will not be stair inside the building. •Provide a single pane glass for from wind driven rain and rising below, on the three windows all the skylight, installed on the inthe outside face of the lower seglass will overlap with the rebelow for lapping shingle effect into copper gutter below. The new glass will be narrow for reinterior view. There will be a gof the glass and the flashing for space between the new and exist	A2.31A Section 8/A6.10 a minimum 8" on and over the windows skylight (see detail not be operable. The visible from the open protection of the sill ag water in the gutter ong the south edge of side of the frame on ash of windows. The new copper flashing ct to drip rain water framing around the minimal impact from tap between the back for ventilation of the	

* Please print this page again to include as many work items as necessary.

100 Community Place • Crownsville, Maryland 21032-2023 Telephone: 410.514.7600 • Fax: 410.987.4071 • Toll Free: 1.800.756.0119 • TTY Users: Maryland Relay Internet: www.marylandhistoricaltrust.net

Work Item #SK-5

Architectural/Landscape feature: Skylight	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 1,9,13,14,18/A2.31A	Drawing no. A2.31A, Section 8/A6.10	
The crank mechanism which was used to operate the vents below the skylight has significant corrosion, some parts are missing, and is not operational. MHT letter of 2.12.15 states: Work proposed for the skylight was determined to be incomplete. Per MHT's guidance following the site visit, the metal structure or skeleton should be retained and repaired. The Committee further recommended that the overall form and any possible historic fabric be retained, i.e. the curb maintained at the existing height with the vents fixed in place and the crank mechanism retained. Flashing may then be installed around the entire exterior of the curb, covering the vents. A detail showing this work must be submitted for review and approval prior to any work being undertaken.	1,9,13,14,18/A2.31A Section 8/A6.10 • Clean and repair the crank shaft mechanism place or remove repair/clean and re-install. • The assembly will be retained for preservat purposes only. The new vents will not be opera in order to be able to have a sealed curb along copper gutter.		

Work Item #WE-1

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1/A5.30; Drawing no. A5.3 A5.30A	
Significant damage on the stone band at top of chimney. MHT letter of 2.12.15 states: The request to seal the chimney with "Sure Klean Weather Seal Siloxane" is denied as sealants are not reversible, not truly	Repair spalled stone band on Chimney. See Work Item WE-2 for brick joint repair of chimneys.	
breathable and trap water beneath the surface causing further deterioration and spalling. A traditional method for solving moisture issues, such as repointing with mortar, should be submitted for review and approval prior to any work being undertaken.		

* Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
West Elevation	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Pre -1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no. 10/A2.30A; 1/A5.30; 3/A5:30A	Drawing no. A2.30A, A5.30, A5.30A	
Loose or missing mortar in masonry joints on chimney walls. MHT letter of 2.12.15 states: The request to seal the chimney with "Sure Klean Weather Seal Siloxane" is denied as sealantsare not reversible, not truly breathable and trap water beneath the surface causing further deterioration and spalling. A traditional method for solving moisture issues, such as repointing with mortar, should be submitted for review and approval prior to any work being undertaken.	 Clean masonry surfaces with possible, such as low detergents, using natural brist. Use low-pressure water was areas of more persistent grim (never metal) brush. Cleaning in combination with water or clear water wash to remove the chemical cleaners from the chemical cleaners from the cleaning masonry surfaces when they are not heavily suintroducing chemicals or materials shall be avoided. A limewash or absorbent apoultice with a solvent can salts or stains from the surfaces. Test the cleaning technic inconspicuous location on The test patch or patches weather for a period of time complete seasonal cycle, in or the cleaned area will not be wet or freezing weather or a cleaning process. Repair brick joints on all Chinkemove all loose or crachimneys throughout the roo existing and re-point to mate. 	pressure water and the brushes. It or steam, scrubbing to with a natural bristle gragents may be used a steam, followed by a steam of the selected stale, whiting or clay be used to draw out a stale, whiting or clay be used to draw out a stale, whiting or clay be used to draw out a stale, whiting or clay be used to draw out a stale, whiting or clay be used to draw out a stale, whiting or clay be used to draw out a stale, whiting or clay be used to draw out a stale be allowed to a stale be allowed to a stale by a s	

* Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: West Elevation	Describe, in detail, work and impact o	
Approximate date of feature: Pre -1981 renovation	Be sure to include a	· ·
Describe existing feature and its condition:	specifications on pr Photo no.	Drawing no. Section
	10/A5.30A	6/A6.10
Significant water damage below the ledge with a where the stone paving, stone ledge and the joints in between are not capable of providing an effective water barrier for the slab, ceiling and wall below.		
MHT letter of 2.12.15 states: The proposal for the proposed porch work is denied as it is too destructive; the stone may not be cut with flashing installed beneath. An alternate and less invasive solution should be discussed, such as installing copper flashing on the top and turning up into the inside wall. A revised proposal for the porch stone must be submitted for review and approval. If this approach is not feasible, sealing the stone should be investigated, but it is a less desirable option as it is not reversible. Following some selective demolition to the porch floor, a section detail showing proposed flooring reinstallation must be provided prior to undertaking any reinstallation.	• Replace all craci joint sealant and t	ked caulking with new packer rod.

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing
Approximate date of feature: Pre -1981 renovation Describe existing feature and its condition:	Be sure to include details and specifications on proposed products Photo no. Drawing no. A5.30A; 4, 5, 12/A5.30A Section 7/A6.10
Significant water damage below the stone sill. The stone sill is not capable of providing an effective water barrier for the slab and the ceiling below. MHT letter of 2.12.15 states: The proposal for the proposed porch work is denied as it is too destructive; the stone may not be cut with flashing installed beneath. An alternate and less invasive solution should be discussed, such as installing copper flashing on the top and turning up into the inside wall. A revised proposal for the porch stone must be submitted for review and approval. If this approach is not feasible, sealing the stone should be investigated, but it is a less desirable option as it is not reversible. Following some selective demolition to the porch floor, a section detail showing proposed flooring reinstallation must be provided prior to undertaking any reinstallation.	 Provide new painted flat seam copper flashing over pressure treated wood blocking painted to match stone. Fully solder all copper joints. Replace all cracked caulking with new joint sealant and backer rod. Seal perimeter joint around the flashing with continuous joint sealant. See section 7/A6.10

^{*} Please print this page again to include as many work items as necessary.

Work items added for ADA Compliance:

Work Item #I-37

Describe, in detai	l, the proposed work and
impact on existin	g feature:
Be sure to include	details and specifications on
proposed products	3
Photo no.	Drawing no. A6.10
See 13,14,15,16	& 17/A6.10
Provide ADAAC	G compliant signage.
• Provide new au	tomatic door opener with push
buttons both ins	ide and outside the toilet rooms.
All wiring shall l	be run in concealed conduits.
• Provide a coat	hook at ADAAG compliant
1 0	1
• Reinstall the toi	let paper dispensers at ADAAG
compliant access	ible height and location.
• Reinstall the gr	ab bars at ADAAG compliant
accessible height	and location.
• Replace toilet s	eat to attain ADAAG required
1	above finished floor.
	s of the existing stone threshold to
2:1 slope per AD	AAG 303.3
	impact on existin Be sure to include proposed products Photo no. See 13,14,15,16 Provide ADAAC Provide new au buttons both ins All wiring shall to remark accessible height Reinstall the toi compliant access Reinstall the gracessible height Replace toilet s minimum of 17"

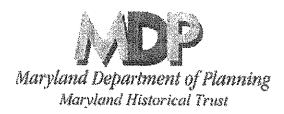
Architectural/Landscape feature: Interior	Describe, in detai	l, the proposed work and g feature:	
Approximate date of feature: Post -1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no.	Drawing no. A6.10	
ACCESSIBILITY IMPROVEMENT Accessibility improvements on two drinking fountains (1 on first floor, 1 on second floor) in the hall way outside the bathrooms. • The drinking fountain controls do not comply with ADAAG.	ADAAG require Provide new win	10 n-bar mechanism to comply with d maximum force of 5lbs. g walls on each side of the as to comply with ADAAG 307.2	
• New wing walls are needed to comply with ADAAG's cane detection requirements (the drinking fountains protrude into the walkway by more than 4" above 27" height).			

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: In front of North Elevation	Describe, in detai	l, the proposed work and
Approximate date of feature:		e details and specifications on
Post -1981 renovation	proposed products	2 0
Describe existing feature and its condition:	Photo no.	Drawing no. A1.0, A6.10
	1A/A1.0	
ACCESSIBILITY IMPROVEMENT	See 12A/6.10.	
A directional sign is needed at the main entrance to alert users of the accessible entrance on the West elevation.	the landscaped a wall on the right	ounted accessible entrance sign in rea in front of the stone retaining hand side of the main entrance. sign is to align with the stone hind.

WOIN ICHI πD-1/		
Architectural/Landscape feature:	Describe, in detai	l, the proposed work and
Ramp on West Elevation	impact on existing	g feature:
Approximate date of feature:	Be sure to include	details and specifications on
Post -1981 renovation	proposed products	,
Describe existing feature and its condition:	Photo no.	Drawing no. A6.10
ACCESSIBILITY IMPROVEMENT	See 9,10 7 11/A6.1	.0
The existing railing at the ramp to the accessible entrance does not comply with ADAAG.	to the accessible e Provide a new han that leads to the ac Provide a push	ng handrail at the ramp that leads entrance. Idrail on the other side of the ramp eccessible entrance. Button for the automatic door wiring shall be in concealed

^{*} Please print this page again to include as many work items as necessary.



Martin O'Malley Governor Anthony G. Brown 11. Governor Richard Elberhard Hall Secretary Matthew J. Power Deputy Secretary

Historic Preservation Easement Program

(I) Checklist: Change/Alteration Proposal Application

This checklist is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to ensure that their Change/Alteration Proposal Application contains at least the minimum documentation required for review as outlined below.

All applications must be submitted at least one week prior to the scheduled meeting date. The application review period (as specified by each Deed of Easement) will not commence until a complete application is received.

Return the checklist with the Change/Alteration Proposal Application (and other information) to:

Amy Skinner, Administrator, Historic Preservation Easement Program

Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032

(410) 514-7632/askinner@mdn.state.md.us

Name of Easer	nent Property:	The Strathi	more Mansio	ì	***************************************		
Alternative Na	me:	Corby Esta	ite (Strathmoi	e Hali Ans	Center)		
Address of Pro	perty:	10701 Roc	kville Pike			w 2 2 3 4 4 1 0 2	SOCIAL MANUEL AND R. HIP V V V V
		North beth	esda	***************************************	Cc	ounty:	Montgomery
Maryland Inve	ntory of Historic Places #	(if known):			* 4.70 15		
	mation visit http://mht.m			vey.html)	M:30-12		
	N OF WORK – Part II o Place a check the box for						
will clarify for t	the Easement Committee	which featu	res should be	considered	during re	view of	project.
Please check a	di that apply						
SITE	⊠ Main House/Buildin	g	☐ Garage			Arci	neological Site
	☐ New Construction		🗌 Outbuild				ity Work
	Other Structure		Landsca _l	oe/Pool/Gra	ding		er <u>along building perimeter</u>
EXTERIOR	Windows/Frames/Sa	ısh	⊠ Foundati	on			ts/Grates/Grills
	□ Doors/Doorways		□ Porches/	Steps/Deck	5	⊠ Deco	orative Features/
	☑ Walls/Pacades		☑ Gutters/I	Drainage		Orname	entation
	⊠ Roof			s/Flues		○ Othe	er Details
INTERIOR	☑ Walls/Ceilings		☐ Stairs/St	aircase			hen
	∑ Floors/Flooring		☐ Fireplace	s/Mantels			iroom(s)
	☑ Doors		□ Decorati				or plan/Spatial Relationship
	Windows		Ornamentat	ion/Other D	etails [☐ Mec	hanical/Electric/Plumbing
Piesse check ti	aar you have included th	e following	information	as part of	vour con	iplete ai	mication:
Required:				As Necess	ary (Rece	mmend	led):
[5] Part I: Chec	eklist						s (dated)
	inge/Alteration Project	Proposal A	pplication				ecifications
	orographs & CD; properly			☐ Other		_	
The Easement I	Property Owner and/or th	e Authorize	d Proposal Co	ontact is en	couraged t	o keep a	a duplicated copy of all
application info	ormation sent to the MHT	, including (ohotos and pli	ans, as the l	VHT stafi	Çmay ne	ed to discuss the
anolication with	h the applicant prior to su	bmission to	the Easemen	t Committe	e, (.	1	
	Signature of Owner or Ai	utnarizeti Re	presentative:	Date:	<u>L</u>		[[[]

REVISED 1.20.2015

100 Community Place & Crownwille, Maryland 21032-2023

Telephone: 410.514, "600 & First 410.98", 40" 1 & Tall Free, 1-800, "36,0119 & TTY Users Maryland Relay

Internet mem marylandbistarcaltrast net

Historic Preservation Easement Program (II) Change/Alteration Proposal Application

Easement Property Inform	nation					A	ll applicable fields mus	t be fill	ed
Name of Easement Propert	y:	Corby Estate (Strathmore Hall Arts Center)			nter)				
Address of Property:		1071 Rockville Pike, north B			, north E	Bethesda, N	MD 20852-3224		
Property Owner Informat									
Name of Current Property		Mont	gomer	y Count	у				
Address of Property Owner	- :	Depa	rtment	of Gene	eral Serv	vices, 101 Monroe St., 9th Floor			
(If different than property address)	_	Rock	ville, N	MD 2085	50		Date of Purchase:	1978	
Work/Home Telephone:	(240)7	77-6126			Fax:				
Mobile Telephone:						Email:	hamid.omidvar@mon ntymd.gov	tgomery	cou
If application is completed to	by someo	ne oth	er thar	i owner	(only cor	nplete if a			
Name of Authorized Project	ct Contac	:t:		y Anahta		······································			
Relationship to owner:			Archi	itect			, yesiin	-	
Address of Authorized Pro	ject Cont	tact:	7925	Glenbro	ok Rd. S	Suite 9C			
			Bethe	esda, MI	20814				
Daytime Telephone:	(301)95	51-793	3			Fax:	(301)951-7934		
Mobile Telephone:	(301)2:	57-629	1			Email:	nuray@noaarchitects.	com	
Deed of Easement Informa	ation:								
Does the Easement require	review c	of		Exterior	Does	the easem	ent include protection	Yes	
changes and alterations to t				Interior	of arc	heological	l resources?	No	\boxtimes
]Owner-		ied Re	sidence		[Commerc	ial Governmen	at	
]Museur		Archeo	ological		Landscap		Center	
Is the scope of work located	d inside t	he	Yes		•		the proposed work is	Yes	\boxtimes
easement boundary?			No	; -	-	* *	oval from the Trust, e easement?	No	
Are physical changes (i.e. o	onstruct	ion, red	constru					Yes	\boxtimes
/decorating, alteration, dem								No	
property required as part of				1 / C	, 3		,		
If yes, will the physical cha				terial (o	ver 50 ye	ears old)?		Yes	
•				`	_			No	
* For a copy of the easement d	locument,	please	contac	t Kathy C	Opferman	(410) 514-	7627/ <u>kopferman@mdp.s</u> t	ate.md.ı	 1 <u>S</u>
Project Funding Informat	ion:								
Is this project being funded		of [MHT	Γ Capital	Grant (FY)			
the following sources?		of MHT Capital Grant (FY) MHT Loan							
			MHA	AA Capi	tal Grant	: (FY	_)		
							ntial/ Commercial)		***************************************
Please check all that apply	:		Bond	Bill (C	hapter	/Year			}
] Othe	r State/F	ederal F	unding			
		🛭	Othe	r Fundin	ig Monte	gomery Co	unty		

Detailed Description of Proposed Rehabilitation/Preservation Work

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item #I-1

Architectural/Landscape feature:	Describe, in detail, the p	proposed work and
Interior	impact on existing feats	ıre:
Approximate date of feature:	Be sure to include detail	ls and specifications on
All periods	proposed products	
Describe existing feature and its condition:	Photo no. 2,3,4,5,6,7,8,9,10/A1; 1,2,3,4,6,7,9,10,11,12,1 3,14,15,16/A1A;	Drawing no. A1, A1A, A1B
	1 thru 9/ A1B	
Visible moisture damage on walls, ceilings and doors due to leaks through exterior surfaces.	prior to interior work. Divert gutter and downsponding. Remove existing finish, st finishes and areas. Remove all mildew or org	rains, damaged or spalling ganic residue and sanitize. wall and/or ceiling surface as

Architectural/Landscape feature: Interior Approximate date of feature:	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on
All periods	proposed products
Describe existing feature and its condition:	Photo no. 4,5,6,11/A1; Drawing no. A1 5,9/A1A;
Rust stains on finished surfaces.	Remove the stains and rust. Prime and re-finish to match.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, impact on existing f	the proposed work and
Approximate date of feature: Pre -1981 renovation		etails and specifications on
Describe existing feature and its condition:	Photo no. 5/A1	Drawing no. A1
Damage on door surfaces and door hardware.	* -	efinish the door and frame. e that complies with current

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature: Possibly pre -1981 renovation, not clear.	Be sure to include details and specifications on proposed products
Describe existing feature and its condition:	Photo no. 6/A1; Drawing no. A1, A1A 2,3,4,17/ A1A
Soiled wall surfaces.	Clean soiled surfaces, and re-finish.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1981renovation or later	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 7,8,10/A1B Drawing no. A1B	
Extensive corrosion on mechanical or plumbing lines and/or fixtures.	Replace all corroded, rusted or decomposed components that are beyond repair.	

Work Item #I-6

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications or proposed products	
Describe existing feature and its condition:	Photo no.	Drawing no.
Not Used		

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Assumed to be from 1981 renovation.	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 8/ A1A Drawing no. A1A	
Hardware parts are missing.	Re-finish door. Replace broken hardware with new	
The door finish is damaged.	hardware that complies with current codes.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2,3,4,17/A1A Drawing no. A1A	
Evidence of water leaks through the window sill.	Eliminate potential for leaks through window sills (also see exterior tasks). Seal glazing and window perimeter joints.	

Work Item #I-9

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 11,12,13,14,15,17/A1A	Drawing no. A1A	
Moisture damage and/or spalling concrete on ceiling or floor slab above.			

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1/A1; 17/A2A	Drawing no. A1, A2A
Mold or mildew on diffuser surfaces and surrounding area.	Remove all mildew and/or organic residue. Re-finish using mildew resistant paint (semi-gloss metal paint on metal surfaces)	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Assumed to be from 1981renovation or later.	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 4/A1 Drawing no. A1	
Signs of excessive moisture on interior surfaces.	Service the de-humidifier. Check performance. Repair as needed.	

Work Item #I-12

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Interior	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Assumed to be from 1981 renovation.	proposed products	
Describe existing feature and its condition:	Photo no. 8,9/A2 Drawing no. A2	
Moisture damage on painted surfaces and joints.	Remove the source of moisture penetration.	
	Remove blistering finish and spalling substrate.	
	Patch, prime and re-finish to match.	

Architectural/Landscape feature: Interior Approximate date of feature: Pre -1981 renovation	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1,2,4,5,6,7/A2; 13,14/A2A Drawing no. A2, A2A	
have been sanded too many times and reached the limit	Replace with matching salvaged wood if available.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: All periods	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 11/A1; Drawing no. A1, A2 4,11/A2	
Moisture damage and rust on door and door frame.	Repair damaged areas. Re-finish door and frame to match.	

Work Item #I-15

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 12,13/A2;	Drawing no. A2,
Damaged millwork.	Repair damage. Re-finish millwork to match, up to the trim around the closest untouched area.	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: Pre -1981 renovation	Be sure to include dei proposed products	tails and specifications on	
Describe existing feature and its condition:	Photo no. 14/A2; 4,5,6,7,8,10,12/A2A	Drawing no. A2, A2A	
Water stains on stone surfaces.	moisture penetration (a	leak that is the source of lso see exterior tasks). emove stains and all mildew or	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Assumed to be from 1981 renovation.	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 10/A2 Drawing no. A2	
Chipped corners on brick wall.	Repair brick corners. Re-finish to match.	

Work Item #I-18

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1/A2A	Drawing no. A2A
Previous repairs were made with glass that does not match.	Replace crudely done previous repairs to the leader glass lay light panels, and those that were made wi glass that does not match the pattern.	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2/A2A Drawing no. A2A	
Broken glass.	Replace broken glass with new glass to match.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre -1981 renovation		
Describe existing feature and its condition:	Photo no. 3/A2A Drawing no. A2A	
Some of the leaded glass lay light panels are sagging.	Repair sagging leaded glass lay light panels.	

Work Item #I-21

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Interior	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 4,5,6,7,8,10,12/A2A	Drawing no. A2A
Water stains on stone surfaces and moisture damage on painted wood moldings.	Repair roof or flashing leak that is the source of moisture penetration (also see exterior tasks). Repair damage to the trim and moldings. Patch, primand re-finish to match.	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Possibly from 1981 renovation	Be sure to include details and specifications of proposed products	
Describe existing feature and its condition:	Photo no. 9,11,15,16/A2A Drawing no. A2A	
Floor is failing and appears worn out.	Replace entire kitchen VCT flooring with new seamless flexible epoxy flooring and base.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior Approximate date of feature: Possibly from 1981 renovation	Describe, in detail, the proposed work and impact on existing feature:	
	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 11/ A2A Drawing no. A2A	
Damage on door and hardware.	Repair and refinish the door and provide new hardware. New finished hardware should include a kick plate.	

Work Item #I-24

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Possibly from 1981 renovation		
Describe existing feature and its condition:	Photo no. 18/A2A	Drawing no. A2A
Sagging ceiling tile.	Reset/replace the ceiling tile.	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation Describe existing feature and its condition:		
	Photo no. 18/A2A; 6/A3	Drawing no. A2A, A3
Moisture damage along the corner of the wall starting from the ceiling level.	Waterproof exterior surfaces (also see exterior tas Divert gutter and downspout water away from the building. Remove blistering paint, and damaged or spalling finishes and areas. Remove all mildew or organic residue. Patch, prepand prime wall and/or ceiling surface as required. Refinish with mildew resistant paint.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior Approximate date of feature: Pre - 1981 renovation	Describe, in detail, the proposed work and impact on existing feature:	
	Approximate date of feature: Be sure to include details and specification	Be sure to include details and specifications on
Describe existing feature and its condition:	Photo no. 17/A2A	Drawing no. A2A
Irregular surfaces on the upper half of the wall.	Repair irregular areas and re-finish to match.	

Work Item #I-27

Describe, in detail, the proposed work and	
impact on existing feature:	
Be sure to include details and specifications on	
proposed products	
Photo no. 3,9,19/A3 Drawing no. A3	
Remove, clean and reinstall wood molding.	
Caulk joint and refinish molding and wall to match.	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation		
Describe existing feature and its condition:	Photo no. 4/A3	Drawing no. A3
Damaged painted wood casing.	Repair damage. Re-finish wood casir	ng to match.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: Possibly, pre - 1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 1 thru 6 & 8 thru 11A2B; 12,13,18/A3 Drawing no. A2B, A3		
Isolated damage or dents on wood flooring.	Repair damage, fill and re-finish to match. Where repairs are not possible, replace damaged piece with a matching salvaged wood piece to match.		

Work Item #I-30

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no.7/A3 Drawing no. A3	
Water damage on ceiling cove molding.	Remove the source of moisture penetration. Remove, clean and reinstall wood molding. Caulk joint and refinish molding and wall and ceiling to match.	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 11/A3 Drawing no. A3		
Water stains on stone surround, and chipped corner.	Clean stone surfaces (remove all stains, mildew or organic residue). Repair chipped corner.		

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Interior	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Pre - 1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no. 11/A3 Drawing no. A3		
Stone joints that need to be re-pointed	Repair and re-point stone joints to match.		

Work Item #I-33

Describe, in detail, the proposed work and		
impact on existing feature:		
Be sure to include details and specifications of proposed products		
Photo no.	Drawing no.	
	impact on exi Be sure to incomproposed prod	

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: Possibly, pre - 1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 7/8/A2B	Drawing no.A2B	
Cracked stone base, crudely done previous repairs.	Remove the stone base. Bond broken pieces with hairline joints. Reinstall and caulk to match.		

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in d	Describe, in detail, the proposed work and		
Interior	impact on exi	impact on existing feature:		
Approximate date of feature:	Be sure to include proposed prod	lude details and specifications on lucts		
Describe existing feature and its condition:	Photo no.	Drawing no.		
Not Used		,		

Architectural/Landscape feature: Interior	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Possibly, pre - 1981 renovation		
Describe existing feature and its condition:	Photo no. 7,8,10/A1B	Drawing no. A1B
Damage on concrete floor.	Clean, patch and	seal concrete floor.

^{*} Please print this page again to include as many work items as necessary.

WOIR ICH TEG-1	***		
Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Exterior - General	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
All Periods	proposed products		
Describe existing feature and its condition:	Photo no. 1,2/A6; 2,6,7,15/A8;	Drawing no.	
	3,5,13,16/A9;	A6, A8, A9,	
	1,2,4,7,9,11/A10;	A10, A11,	
	1,2,6,7,8,10,14,15/A11;	A13, A14, A15	
	6,7,11/A13;		
	1,2,3,5,6,7,8,9,10,11,13,14,16/A14; 7/A15		
Overflowing, leaking, clogged downspouts.	• Replace existing downspouts that are	e 4" or larger	
3" diameter downspouts are too prone to clogging and	diameter, in kind.		
do not provide sufficient capacity.	Replace existing downspouts that are		
Some 4" diameter downspouts discharge to a smaller	diameter with 4" diameter copper dov	~	
diameter pipe below.	Replace all connected pieces that are	not the correct	
Some downspouts do not have cleanouts at the base.	size for the new downspout.		
Most of those that do, are rusted and not usable.	Replace all components of downspour		
Some downspouts are full of debris.	copper with copper components with	the exception of	
Drain lines are clogged.	the standpipes and boots.	afmainted toin	
	Paint sections of downspouts in front to match the trim as needed to match	- 1	
	• Solder all copper joints/seams. Inspe	-	
	seams for pinpoint leaks by flood testi	- 1	
	downspouts. Re-solder when question		
	Downspouts seams shall be fully sold	E	
	from the connection to the gutter to th	- 1	
	• Replace standpipes and boots that ar		
	with copper downspouts, and/or are n		
	size for the downspout, and/or are wit		
	including those with cleanouts that are		
	functional.	Ű	
	• Separate between dissimilar metals.		
	• Clean conductor heads. Replace crus	shed, corroded or	
	unserviceable components with new.	·	
	• Conduct a full capacity flow test after	er cleaning.	
	• Patch and seal gaps around downspo	out penetration	
	thru wood trim and paint to match.		
1. 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1			

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Exterior - General	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
All Periods	proposed products		
Describe existing feature and its condition:	Photo no. 1,3,4,5,8,10,15,16/A4; 1,2,5,11,12,13,14,15/A8; 1,2,4,5,7,8,9, 10,11,12,13,15,16/A9; 4,5,7,8,11,12/ A10; 1,2,3,6,7,8,9,1011,13,14,15/A11; 3,4,6,7,11,12,13,14/A13; 2,3,4,5,6,7,8, 10,11,14,16/A14; 3,7,8,15/A15		
Stains and/or efflorescence on masonry surfaces.	Remove stains (copper oxidation, water, rust, efflorescence, paint, mildew, mold, mud etc.) On painted surfaces and On Masonry surfaces; • Use low-pressure water wash or steam, scrubbing areas of more persistent grime with a natural bristle (never metal) brush. Cleaning agents may be used in combination with water or steam, followed by a clear water wash to remove the residue of dirt and the chemical cleaners from the masonry. • A limewash or absorbent talc, whiting or clay poultice with a solvent can be used to draw out salts or stains from the surface of the selected areas of a building facade. • Test the cleaning technique on area in an inconspicuous location on the building surface. The test patch or patches shall be allowed to weather for a period of time, preferably through a complete seasonal cycle, in order to determine that the cleaned area will not be adversely affected by wet or freezing weather or any by-products of the cleaning process.		

Work Item #EG-3

Describe, in detail, the proposed work and	
impact on existing feature:	
Be sure to include details and specifications on	
proposed products	
Photo no.	Drawing
1,3,5,8,10,15,16/A4; 1,2,3,1A,1B,9,10,	no. A4, A8,
15/A8; 1,3,4,1A,1B,8,13/A9; 7/A10;	A9, A11,
1,2/A11; 7,10,11,12,13,14/A13;	A13, A14,
3,6,10,11/A14; 7,15/A15	A15
ts. Remove all loose grout. Grout all hollow masonry	
joints with grout color to match existing.	Tuck point to
match adjacent joints.	-
	impact on existing feature: Be sure to include details and specifical proposed products Photo no. 1,3,5,8,10,15,16/A4; 1,2,3,1A,1B,9,10, 15/A8; 1,3,4,1A,1B,8,13/A9; 7/A10; 1,2/A11; 7,10,11,12,13,14/A13; 3,6,10,11/A14; 7,15/A15 Remove all loose grout. Grout all hollow joints with grout color to match existing.

* Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Exterior - General	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
All Periods	proposed products		
Describe existing feature and its condition:	Photo no. 4/A4; 1/A6; 7,8,12/A8; Drawing no. A4		
	3/A9; 2,3,5,9,10,11/A10;	A6, A8, A9, A10,	
	1,3,4,5,6,7,8,11,12/A11;	A11, A12, A13,	
	1,2,3,5,6/A12; 2/A13;	A14, A15	
	1,2,5,6,7,8,14,16/A14;		
	1,2,3,6,7,9,10,11,12/A15		
	Remove all blistering, peeling & discolored paint a- Blistering Paint b- Paint Blistering and Peeling c- Signs of mildew • Sand all surfaces to a uniform finish, wipe down with a damp cloth, then wipe down with mineral spirits, wipe with a clean dry cloth and let dry. • Repair structural defects and surface damage to the wood using advanced repair 2 part epoxies. • Apply primer to all surfaces per paint manufacturer's recommendations, allow to dry. Apply two coats of Semi-gloss latex paint to all paintable surfaces.		

Architectural/Landscape feature: Exterior - General	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: All Periods		
Describe existing feature and its condition:	Photo no. 1/A6; 4,5,11/A14 Drawing no. A6,	
Windows with blistering or peeling paint, and/or nonfunctioning or missing hardware.	Re-finish in place, existing windows or doors with no visible damage. • Re-paint wood window or door if needed to match restored historic windows. • Inspect and prepare all operational surfaces, remove paint build up. • Repair or replace nonfunctioning hardware in kind	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Exterior - General	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
All Periods	proposed products		
Describe existing feature and its condition:	Photo no. 10/A4; 1,2/A6;	Drawing no.	
Describe existing leature and its condition.	3,5,12,13,14/A8; 3/A10;	A4, A6, A8,	
	2,11/A13, 14,16/A14;	A10, A13,	
	1,10/A15	A14, A15	
W. I			
	ed Repair existing windows or doors with visible damag		
glazing putty, operable sashes that are stuck, and/or	• Repair or replace hardware as necessary.		
nonfunctioning or missing hardware.	• Inspect and prepare all operational surfaces, remov		
	paint build up.		
	• At double-hung windows:		
	• Provide solid bronze sash chain when	re sash chord is	
	missing.		
	• Lightly sand the sides of the vertical sash rails and		
	inside of the jambs. Apply a wood sealer to these		
	surfaces.		
	• Install sash in a lubricated track.		
	• Sand all surfaces to a uniform finish, wipe down with		
	a damp cloth, then wipe down with mineral spirits,		
	wipe with a clean dry cloth and let dry.		
	• Repair structural defects and surface damage to the		
	wood using advanced repair 2 part epo	oxies.	
	Stabilize window joints as needed.		
	• Replace cracked or missing glass or glazing putty.		
	Remove glass and re-glaze where previous glazing		
	repair was done crudely.		
	 Prime all new or replacement glass bedding surfaces. Set new or replaced glass in silicone for added stability. Secure with glazing points and fix with oil based glazing compound. Allow glazing compound to dry, usually 7-14 days. 		
	• Install new or restored hardware, as necessary.		
	• Apply primer to all surfaces per paint manufacturer's recommendations, allow to dry. Apply two coats of		
	Semi-gloss latex paint to all paintable		
	• Clean all glass	Surfaces.	
	• Re-install new or restored hardware.		
	- Re-instant new of restored nardware.		

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Exterior - General	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature: All Periods	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 1/A6; 3,4,6/A8; 1,2,5/A9; 2/A11; 1,3/A13	Drawing no. A6, A8, A9, A11, A13	
Blistered and peeling paint on Cornices. Some areas show signs both atmospheric and biological material discoloring. Modillions under the cornice are spalling and have a good deal of material loss in some areas.	Refinish/restore the cornice		

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Exterior - General	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
All Periods	proposed products	
Describe existing feature and its condition:	Photo no. 2,3,4,6,13/A8;	Drawing no. A8,
	1B/A9; 2,3/A10;	A9, A10, A11, A12,
	3,4,5,6,7,8/A11; 1,2,3/A12	A13, A14
	1,11,12/A13; 1/A14	
Painted balustrade surface is showing areas of both	Refinish/restore the balustrade	
atmospheric and biological material discoloring the	• Remove all organic material.	
finished surface.	• Repair, repairable elements.	
	• Replace parts that have deteriorated beyond repair.	
	• Apply primer to all surfaces per paint manufacturer's	
	recommendations, allow to dry. Apply two coats of	
	Semi-gloss latex paint to all paintable surfaces.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Exterior - General	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: All Periods	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1/A6; 15/A14	Drawing no. A6, A14
Many areas where finished wood is in direct contact with exterior floor paving on grade.	Inspect building for termite and pest damage replace damaged wood as needed. Notify architect if current or recent activity is discovered.	

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Exterior - General	impact on existing feature:	
Approximate date of feature: All Periods	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1,2/A6; 1,5,1B/A8; 1B/A9; 11,12/A13	Drawing no. A6,A8, A9, A13
Moisture penetration through below grade basement walls at multiple locations around the building perimeter, some resulting in significant physical damage, some with negative impact on indoor air quality.	Provide new waterproofing arour Excavate to expose basement we wall. Clean existing wall surface, remember of membrane permanufacturer's instructions. "Coapproved equal: http://www.cetcous/Products/Building-Materials/Verovide of the basement wall. Discharge to system. Provide drainage /protection boomembrane. Discharge to perimete Backfill and restore landscaping. Where it is not possible to water the wall due to existing constructions on basement wall.	alls down to bottom of hove all existing finishes. hembrane manufacturer's heeded to create a smooth o damp (not saturated) yers. The first coat to be lowed to harden for 24 the second application.) her membrane reflex" by CETCO or o.com/en- Vaterproofing/COREFLEX rapped with washed gravel ric along the entire length ho storm water drainage and waterproof over her drain below. Typroof the exterior face of hion above such as a porch, tious waterproof coating

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Exterior - General	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
All Periods	proposed products	
Describe existing feature and its condition:	Photo no. 15/A8; 13/A9	Drawing no. A8, A9
Moisture penetration through below grade basement walls at locations where it is not possible to waterproof the outside face of basement wall without damaging existing construction such as patios, steps that are attached to the building.	Provide vapor permeable ceme coating (Thoroseal or approved face of concrete slab above, at water damage on the ceiling.	entitious waterproof I equal) on the bottom

Work Item #EG-11		
Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Exterior - General	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1,8/A8; 4/A10	Drawing no. A8, A10
Existing flashing not wrapped fully or terminated properly to cover the construction it is intended to protect.	Replace flashing/counterflashing	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Roof	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. Drawing no	
	1,2,4,5,6,7,13,14,15,16,17,18/A4	
Roof leaks.	Remove all slate and copper roofing and the	
Damaged slate roofing. A significant percentage of slate	e underlayment. Salvage and store re-usable slate tiles.	
tiles.	Examine the condition of roof sheathing.	
	Replace sheathing and rafters that are found to have	
	deteriorated. Provide unit price for repairing the wood	
	sheathing and rafters.	
	Provide new Ice & Water Shield membrane under all	
	slate and copper roofing throughout.	
	Reinstall salvaged slate tiles by blending the new with	
	existing.	
	Provide new copper roofing, flashing, counterflashing	
	gutters and downspouts in accordance with SMACNA	
	and CDA guidelines, with fully soldered seams.	
	Provide 1-year labor warranty with an option for 2nd	
	year for slate and copper roofing.	

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation		
Describe existing feature and its condition:	Photo no. 1,2,4,5,7,13,14,15,16,17, 18/A4	Drawing no. A4
Roof leaks. Copper seams sealed with caulking instead of soldering. Flashing terminations that are not properly sealed.	Replace all existing copper copings and copper	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Roof	_ · · · · · · · · · · · · · · · · · · ·	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products		
Describe existing feature and its condition:	Photo no. 1,2,4,5,7,13,14,15,16,17, 18/A4	Drawing no. A4	
Roof leaks. Copper flashing missing or improperly installed.	Provide copper flashing at all valleys per SMACN. guidelines.		

Work Item #R-4

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1,2,4,5,6,13/A4	Drawing no. A4
Roof leaks. Roof ridges sealed with roofing cement only.	Form ridge cap using The use of asphalt rocacceptable.	slate tiles. ofing cement as ridge cap is not

Architectural/Landscape feature: Roof		Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation			
Describe existing feature and its condition:	Photo no. 1,5/A4	Drawing no. A4	
Snow guards crushed, broken or missing.	Replace all snow guard	ls.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the p	proposed work and
Roof	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1,2/A4	Drawing no. A4

Work Item #R-7

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1,2,3,4,5/A4 Drawing no. A4	
Brick joints with missing grout or grout covered with	Remove all organic residue in brick joints. Remove	
organic growth that holds moisture and promotes	spalling grout in brick joints, rake back, re-point with	
deterioration.	fresh mortar to match.	

AA OT K Treitt #TZ-0		
Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Roof	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
1996 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 8,9/A4	Drawing no. A4
Metal coping not covering porous surfaces completely.	Cover all horizontal	or low slope wall caps completely
	with copper flashing	g

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: 1996 renovation		
Describe existing feature and its condition:	Photo no. Drawing no. A4 4,6,7,8,13,14,15,16/A4	
Roof leaks. Base flashing and/or counterflashing or membrane roofing corners not properly detailed, installed, or deteriorated.	Provide new base flashing vertical surfaces along the roofing (flat roofing), who has deteriorated. Lap men recommendations at all jo	e perimeter of single ply ere none exists or existing obrane per manufacturer's

Work Item #R10

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1996 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 8/A4 Drawing no. A4	
Organic growth on fiberglass balustrades.	Clean all fiberglass and wood balustrade.	
	Remove all organic residue.	
	Prepare surfaces, prime and paint.	

Work Item #R11

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 11,12/A4	Drawing no. A4
Areas of plaster soffit collapse as a result of roof leaks above.	,	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products Photo no. 4, 8, 9,14/A4 Replace existing membrane roofing (flat roofing) wit a single-ply fully adhered membrane roofing (SIKA Sarnafil or approved equal). Provide 5-year system warranty for single-ply membrane roofing.	
Approximate date of feature: 1996 renovation		
Describe existing feature and its condition:		
Roof leaks. Existing membrane roofing showing signs of having reached the end of service life.		

Work Item #R13

Architectural/Landscape feature: Roof		Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	• • • • • • • • • • • • • • • • • • •	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2,4/A4	Drawing no. A4	
Damaged and deteriorating wood trim.	frames. Replace	ged wood trim, window and louver e parts or components that are not eare surfaces, prime and paint.	

Work Item #R14

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no.	Drawing no.
Not used		

^{*} Please print this page again to include as many work items as necessary.

Describe, in detail, the proposed work and impact on existing feature:	
Be sure to include details and specifications on	
proposed products	
Photo no. Drawing no. A4	
3,4,5,8,16/A4	
Remove stains on stone	and brick surfaces.
	impact on existing fea Be sure to include deta proposed products Photo no.

Work Item #R16

Architectural/Landscape feature: Roof	Describe, in detail, the proposed work and	
Approximate date of feature: 1981 renovation Describe existing feature and its condition:	impact on existing feature: Be sure to include details and specifications on proposed products Photo no. 16/A4, Drawing no. A4, A4A 17/A4A	
	integrity and contin Re-solder seams as continuously solder	ng on flat seam joints. Inspect the uity of the solder along the joints. needed. All seams to be red, and seal the perimeter. for repairing and replacing flat seam

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Skylight	impact on existing feature:	
Approximate date of feature:	Be sure to include details and s	pecifications on
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no.	Drawing no.A4A
	1,3,4,5,6,8,10,12,15,16,17,18,	
771 1, 1 1 1 1	19,20,21/A4A	• • • • • • • • • • • • • • • • • • • •
There are multiple leaks, has undergone many repairs, many of which were crudely done. Joints of the muntins rely on caulking or roofing cement with no mechanical cover to resist water penetration. The curb below the vents on the South side does not have sufficient height from the gutter surface below to prevent leaks to the interior during heavy rain or snow accumulation. The glazing is cracked and patched. The wire in the glass is rusting along the edges. The copper gutter is bent, warped and damaged in multiple locations. It is in a general state of disrepair and deterioration and a chronic source of damage to the leaded glass lay light and stone walls below.	Option #1: Replace the skylight with a minimum number of true of replicate the rest of the existing p muntins (the muntins are visible of the skylight through the windorfloor). Option #2: Replace the skylight with true divided lights that mater For both options: Remove or protect the leaded gland trim below the skylight. Remove existing skylight and offlashing. Build up curbs around the skylight surrounding gutters to provide a reflashing. Replicate the existing skylight with the skylight of the skylight with the skylight surrounding gutters to provide a reflashing.	divided muntins, attern with applied only from the outside was on the second with new skylight h existing. Lass lay light panels urb and gutter ght opening and the minimum of 8" tall with new copper clad
	stainless steel muntins and laming glazing that is visually the closes: The new side vents shall be stat with sealed joints. Provide condensation channels underside of glazing. Ventilate the space between the leaded glass panels into the build the adjacent joist spaces. Reinstall the leaded glass lay lige. Replicate the copper gutters. So and seal. Provide new downspout to the lower downspout (without open gutter). Option #3: Build a polycarbonate existing skylight.	ated insulating safety tavailable match. ionary (not operable) and weeps on the skylight and the ing interior through the panels below. Ider all copper seams to connect directly discharging into the enclosure over the

* Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Skylight	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Pre - 1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no.	Drawing no. A4A	
	1,5,6,10,12,15,16,17,20,21/A4		
The copper flashing is not tall enough and not	Replace all copper flashing and	counterflashing, and	
terminated properly, relying on multiple layers of	concealed gutters in this area.	-	
caulking at many joints.	Turn new copper flashing up mi	nimum 8" on brick	
	wall.		
	Cut a continuous reglet in the ne	ext closest brick joint.	
	Insert the top edge of new coppe	er counterflashing into	
	the reglet per SMACNA guideli	nes and seal. See R2	
	for additional notes.		

Architectural/Landscape feature: Skylight	· _ · _ ·	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation	Be sure to include detail		
Describe existing feature and its condition:	Photo no. 7/ A4A	Drawing no. A4A	
The stone head has cracked and is sagging.	Repair the cracked stone of	on window nead.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Skylight	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. Drawing no. A4A	
	1,2,3,5,6,10,12,17,21/A4A	
The curb below the grand stair windows does not have sufficient height from the gutter surface below to prevent leaks to the interior during heavy rain or snow accumulation. The flashing is was not terminated properly, relying on multiple layers of caulking at many joints.	Turn new copper flashing up a masonry and wood surfaces and including the bottom rail of the windows along the South edge owindows will not be operable. Fanew copper counterflashing on to with termination bars and seal. Seams and seal the perimeter. The will not be visible from the open floor gallery inside the building. Provide a single pane glass for perform wind driven rain and rising below, on the three windows alouthe skylight, installed on the insitioutside face of windows. The glathenew copper flashing below for effect to drip rain water into copper framing around the new glass with minimal impact from interior viegap between the back of the glas ventilation of the space between glazing.	over the window sills, window sash of the f the skylight. Those asten the top edge of the wood surfaces older all copper to the wood surfaces older all copper to the end copper flashing stair or the second to the sill water in the guttering the South edge of the frame on the lass will overlap with or lapping shingle per gutter below. The ll be narrow for the sw. There will be a sand the flashing for

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Skylight	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 9/A3;	Drawing no. A3, A4A
vents below the skylight has significant corrosion, some parts are missing, and is not operational.	Restore the crank shaft mechanism and install in new skylight assembly. The assembly will be restored for preservation purposes only. The new vents will not be operable in order to be able to have a sealed curb of minimum of 8" height along the copper gutter.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Possibly, 1981 renovation, or later	proposed products		
Describe existing feature and its condition:	Photo no. 1,4/A5; 7/A12 Drawing no. A5, A12		
Loose or missing grout in some paver joints. Potential for further deterioration as a result of freeze/thaw cycles.	Remove all organic growth in paver joints. Remove spalling mortar in paver joints, Clean joint, fully mortar and re-point to match.		

Work Item #S-2

Architectural/Landscape feature:	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on	
Site		
Approximate date of feature:		
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 2,3/A5	Drawing no. A5
Water stains and mildew and/or moss on stone benche	s. Clean stains on existing s	stone benches and legs.
	Align and secure stone l	egs.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Site	impact on existing feature:		
Approximate date of feature:	Be sure to include details and specifications on		
Pre - 1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no. 5, 7,8,9,10,11,12,13, 14,15,16,17,24,25,26,27,28,29, 30 /A5	Drawing no. A5	
Loose or missing grout in some joints of the stone wall. Potential for further deterioration as a result of freeze/thaw cycles, and organic growth in joints.			

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation		
Describe existing feature and its condition:	Photo no. 6,9,10,11,12,13, 14,15,16,17,24,25,26,27,28 /A5	Drawing no. A5
Existing stone coping has cracks and is spalling in largehunks.	ge Bond broken piece, patch and s	eal to match.

Work Item #S-5

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation		
Describe existing feature and its condition:	Photo no. 7,8,9,10,11,12,13, 14,15,16,17,20,21,22,23,24,25, 26,27,28/A5	
Water satins and organic stains on the stone.	Remove stains and organic growth on stone.	

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre - 1981 renovation		
Describe existing feature and its condition:	Photo no. 11, 12,13, 14,15,16, 17,20,21,22,23/A5	Drawing no. A5
Loose or missing grout in the joints of the stone coping. Potential for further deterioration as a result of freeze/thaw cycles, and organic growth in joints.		

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and		
Site Approximate date of feature:	Be sure to include details and s	impact on existing feature: Be sure to include details and specifications on	
Pre -1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no. 11, 12,13, 14,15,16, 17,20,21,22,23,35,36/A5; 9/A10; 4/A12; 8,9,13,14/A13 5,13,14,15/A15	Drawing no. A5, A10, A12, A13, A15	
Loose and/or cracked grout at the bases of posts. Rust on the lower parts of posts.	Remove spalling and/or cracked ganchor points. Remove paint and rust at the base Cut and remove portions that are repair. Weld replacement pieces to match paint railing posts. Re-grout post bases with non-shrip	of posts. corroded beyond h. Sand, prime and	

Work Item #S-8

Architectural/Landscape feature:	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on	
Site		
Approximate date of feature:		
Possibly 1981 renovation or later	proposed products	•
Describe existing feature and its condition:	Photo no. 14,15,16,17,20,21,	Drawing no. A5,
-	22,23,35,36/A5;	A10, A12, A13, A15
	7,8/A10;	
	4/A12;	
	8,9,13,14/A13	
	5,13,14,15/A15	
Rust on the lower parts of posts.	Remove rust stains.	
Rust stains on paving and/or steps.		
· · · · · · ·		

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1996 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 20,21,23/A5 Drawing no.	A5
Aggregate finish on concrete sidewalk worn out / damaged at isolated areas.	Patch worn out portions of paving with matchin finish.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products Photo no. 31/A5 Drawing no. A5	
Approximate date of feature: Reinstalled during 1996 renovation		
Describe existing feature and its condition:		
Missing and damaged stone pavers.	Provide new matching stone pavers to replace the missing piece.	

Work Item #S-11

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Site	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Reinstalled during 1996 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 31, 34, 35/A5; 13/A13	Drawing no. A5, A13
Potential for further deterioration as a result of freeze/thaw cycles, and organic growth in joints.	Replace delaminated and crushed loose or cracked grout. Rake back joints. Clean joint, fui to match.	

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
Site	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
1981 renovation	1	
Describe existing feature and its condition:	Photo no. 32/A5	Drawing no. A5
Loose or missing grout in the joints of the brick wall. Organic growth on wall surface.	Photo no. 32/A5 Remove all organic residue in brick joints and face Remove spalling grout in brick joints, rake back, cl joint, fully mortar and re-point to match.	

^{*} Please print this page again to include as many work items as necessary.

Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Re-set the loose offer.	
	impact on existing feating Be sure to include detail proposed products

Work Item #S-14

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products Photo no. 32/A5; 7/A10; 15/A14 Drawing no. A5, A1 A14	
Approximate date of feature: 1996 renovation		
Describe existing feature and its condition:		
Open joints in concrete paving. Potential for further deterioration as a result of freeze/thaw cycles.	Rake back, clean and sea	al the paving joint.

Architectural/Landscape feature: Site	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products Photo no. 33/A5 Drawing no. A5	
Approximate date of feature: 1996 renovation		
Describe existing feature and its condition:		
Handicapped parking signs leaning.	Re-install the handicapped parking signs plumb.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
North Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1/A6; Drawing no. A6, A8, 12,13,14,15/A8; A13 13,14,15/A9; 10,11/A13	
	Provide new window well a windows with no window well a The bottom elevation of the minimum 18" below window Provide a French drain at the well, and discharge to daylighthe storm drain system. Lower grade and mulch around area as much as possible positive drainage around the NE1a & b).	well. window well shall be w sill. e bottom of the window ght where possible or to und the window/window le while maintaining

Work Item #NE-2

WOLK ICCH HIVE-2		
Architectural/Landscape feature:	Describe, in detail, the proposed work and	
North Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1/A6; 12/A8 Drawing no. A6, A8	
Surface water seems to be entering through window sill.	II. Provide a French drain at the bottom of window well.	
The existing area well does not seem to drain properly.	y. Discharge to storm water drainage system.	
	If an existing drain line is discovered, thoroughly clea	
	the existing line up to the discharge point.	
	Replace crushed or unservice	ceable piping with new.

Architectural/Landscape feature: North Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1/A6; Drawing no. A6, A8 9/A8	
Blistering or peeling paint.	Wood Lattice Paint Finish is blistering, peeling and show signs. Clean, prepare surfaces, prime and paint.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
North Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1/A6 Drawing no. A6	
Portico Cornice & Column Condition	Remove stains and restore modillions.	
Portico cornice and columns are stained with both		
atmospheric and biological material discoloring the		
finished surface. Modillions under the cornice are		
spalling and have a good deal of material loss in some		
areas.		

Work Item #NE-5

A 1.14 - 4 - 1.17 1 C 4			
Architectural/Landscape feature:	Describe, in detail, the proposed work and		
North Elevation	impact on existing feature:		
Approximate date of feature:	Be sure to include details of	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products		
Describe existing feature and its condition:	Photo no. 1/A6; 2/A9	Drawing no. A6, A9	
Gap between cornice trim and masonry wall.	Seal gaps between the Portion	co Cornice and the	
	adjacent wall surface with Jo	oint sealant and backer	
	rod.		

Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2/A6; Drawing no. A6,A10 5,6/A10	
Corrosion on ornamental railing.	Repair and refinish rusting ornamental railing. See general instructions regarding exterior ornamental metal.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre - 1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2/A6; 16,17/A12	Drawing no. A6, A12
Continuous crack along the interface between the pave area and the back of the border over the perimeter wall	ed Repair all four cracked column bases.	

Work Item #SE-3

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
South Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 2/A6; 11/A11; Drawing n	
	4,5,8,1A,9,1B,10,11,12,13,16,17/A12	
The patio stone paving with significant deterioration and	Rebuild the existing stone paved patio.	
more importantly, settlement behind the perimeter wall	• Remove and salvage existing stone pa	itio paving. Tag
which blocks surface drainage causing further	each piece and mark location.	
settlement.	Demolish existing subbase	
	• Remove existing fill to sufficient dept	th to
	accommodate the new patio floor const	ruction.
	• Fill depressed areas with controlled co	ompacted fill.
	Take measures to prevent damage to su	rrounding
	masonry wall.	
	 Provide a 4" thick layer of crushed stone over 	
	compacted surface.	
	• Provide a 4" thick concrete slab w/ wwf.	
	• Reinstall salvaged stone in 1-1/4" thick mortar	
	setting bed. Repair and bond broken pieces. Replace	
	pieces that are beyond repair with new stone to match.	
	Submit samples for approval.	
	• The finished surface shall be sloped to drain all the	
	way to the South edge (over the copings on the	
	masonry perimeter wall).	
	• Re-install loose stone copings on the p	
	around the patio paving. The top surface of the	
	copings shall not be higher than the pat	
	shall allow the surface drainage run off to the	
	landscaped area.	
	• Fully mortar all joints.	
	* Field verify after demolition: The condition of the	
	footing below the cracks and whether underpinning is	
	needed. Provide unit price for underpinning the	
	perimeter wall footing if found to be ne	cessary.

^{*} Please print this page again to include as many work items as necessary.

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Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Possibly 1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2/A6; Drawing no. A6, A12 14,15,18,19/A12	
Significant deterioration on the upper part of the wall over the louver and towards the out corner.	Repair masonry wall. Clean masonry, replace loose mortar and bricks. Cleajoint, fully mortar and re-point to match. * Field verify after demolition: The condition of the footing below the cracks.	

Work Item #SE-5

Architectural/Landscape feature:	Describe, in detail, the pr	Describe, in detail, the proposed work and	
South Elevation	impact on existing featur	impact on existing feature:	
Approximate date of feature:	Be sure to include details	and specifications on	
Pre - 1981 renovation	proposed products	1	
Describe existing feature and its condition:	Photo no. 2/A6, 11/A11	Drawing no. A6, A11	
Split stone corner at base quoin.	 Remove pieces of the exist and caulking on stone piece Bond pieces back and seal 	S.	

Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1996 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2/A6; Drawing no. A6, A11, A11/A11; 6/A12	
The joint between the wall and the floor is not sealed and cannot be reliably waterproofed in its current form.	Provide new concrete curb behind metal flas	hing

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on	
Approximate date of feature:		
1996 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 15/A11 Drawing no. A11	
Open joint between the window well surround and the face of the building.	Seal joint between curb and build	ling.

Work Item #SE-8

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
South Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 12,13/A11	Drawing no. A11
Significant water damage below the ledge with a where	Remove the portions of stones between the columns,	
the stone paving, stone ledge and the joints in between	and wood paneling behind. Provide asphalt	
are not capable of providing an effective water barrier	impregnated copper flashing under stone. Turn	
for the slab, ceiling and wall below.	flashing up behind wood wall paneling.	
	Re-install removed stones and wood paneling.	
	Please see attached sketch SE8.	

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
South Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
1975 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 3/A12	Drawing no. A12
Deteriorated wood in direct contact with patio paving and exposed to surface water.	Replace rotten woo	d sill with aluminum threshold.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 3,5,11/A12 Drawing no. A12	
Wood trim in direct contact direct contact with patio paving and exposed to surface water.	Separate wood from patio paving. Provide a sealed joint in the vertical plane.	

Work Item #SE-11

Architectural/Landscape feature: South Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on	
Describe existing feature and its condition:	Photo no. 10,12,14,18,19/A12 Drawing no. A12	
Chipped and spalling stone border paving.	Repair broken stone border.	

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details an proposed products	
Describe existing feature and its condition:	Photo no. 1/A7; 3/A13	Drawing no.A7, A13
	Repair spalled stone band on Apply clear, water repellent cas brick chimney walls (silox allows the masonry to breather Seal Siloxane" or approved each	coating on stone, as well ane type clear sealer that e: "Sure Klean® Weather

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
West Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 10/A4; 1/A7;3/A13	Drawing no. A4, A7,
		A13
Loose or missing grout in masonry joints on chimney	Repair brick Joints on all Chimneys. Apply clear,	
walls.	water repellent coating on stone.	
	Remove all loose or cracked grout on all chimneys	
	throughout the roof. Re-mortar to match existing and	
	re-point to match existing. Apply clear, water repellen	
	coating on all brick chimneys.	•

Work Item #WE-3

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
West Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 10/A4; 1/A7; Drawing no. A4, A7,	
	1B/A13	A13
Demilune Window.	Repair the demilune window, and the two adjacent	
The demilune window in the attic has lost much of its	windows per Item EG-6	
glazing putty and needs to be fully restored, re-installed	Repair/restore the wood trim below the sill of the	
and sealed.	demilune window, as well as the trim around the other	
The wood trim below the sill of the demilune window,	windows below per Item EC	G-4.
the trim around the other windows below it, as well as		
the windows themselves have visible moisture damage		
and need to be repaired.		

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include detail proposed products	ls and specifications on
Describe existing feature and its condition:	Photo no. 1/A7; 4,8,9/A13; 5,13,14,15/A15	Drawing no. A7; A13, A15
Loose and/or cracked grout at the bases of posts. Rust on the lower parts of posts.	Repair and refinish rustin See general instructions re metal.	g ornamental railing. egarding exterior ornamental

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Possibly 1981 renovation	proposed products	-
Describe existing feature and its condition:	Photo no. 11,12,13,14/A13	Drawing no. A13
Significant water damage and deterioration on brick wall.	Repair masonry wall. Clean masonry, replace loose or bricks. Re-mortar and re-point jo Field verify after demolition: The condition of the footing belo	oints to match.

Work Item #WE-6

TOTAL TEEM // TV IS O		
Architectural/Landscape feature:	Describe, in detail, the proposed work and	
West Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Possibly 1981 renovation	proposed products	•
Describe existing feature and its condition:	Photo no. 1/A7; 13/ A13	Drawing no. A7, A13
Significant deterioration in and around the mechanical	Remove existing louver. Cle	an insect screen and duct.
louver below the patio with drainage and waterproofing		
issues.	perimeter joint with backer r	od and joint sealant.
	Provide head flashing below	brick with weeps at 16"
	on center maximum.	_
	I	

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products
Describe existing feature and its condition: Significant water damage below the ledge with a where the stone paving, stone ledge and the joints in between are not capable of providing an effective water barrier for the slab, ceiling and wall below.	Photo no. 10/A13 Drawing no. A13 Provide new metal flashing painted to match stone. Replace cracked caulking with new joint sealant and backer rod. Seal stone with clear, water repellent sealer.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 5/A13 Drawing no. A13	
_	and wood paneling Provide asphalt imp stone. Turn flashing up be	behind. regnated copper flashing under hind wood wall paneling. stones and wood paneling.

Work Item #WE-9

Describe, in detai	l, the proposed work and
impact on existing feature: Be sure to include details and specifications on	
Photo no. 6/A13	Drawing no. A13
Replace cracked car	ulk around penetrations through the
building exterior.	
	impact on existin Be sure to include proposed products Photo no. 6/A13 Replace cracked ca

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products
Describe existing feature and its condition:	Photo no. 8,10,11/A13 Drawing no. A13
Chipped corners at stone border.	Repair/patch the parts of stone that are chipped off.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: West Elevation	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: Pre -1981 renovation		
Pre -1981 renovation	10,12/A13	
Open joints between building components and stone border or patio paving.	Seal joint betwe	en patio paving/border and building.

VY OFK Item # VV E-12		
Architectural/Landscape feature:	Describe, in detail, the pro	posed work and
West Elevation	impact on existing feature	:
Approximate date of feature:	Be sure to include details a	nd specifications on
Not known	proposed products	
Describe existing feature and its condition:	Photo no. 13,14/A13	Drawing no. A13
Cracked, loose or missing grout in patio paving joints.	Replace mortar in joints betw	veen stone paving and
	stone border, with joint seala	nt.
		•

^{*} Please print this page again to include as many work items as necessary.

Work Item #EE-1 Architectural/Landscape feature:	Describe in detail the prepared week and
East Elevation	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature:	Be sure to include details and specifications on
Pre -1981 renovation	proposed products
Describe existing feature and its condition:	Photo no. 2/A7; 3,4,6/A15 Drawing no. A7, A15
Garage Door Header at East Terrace Garage Doors and above A. Loose coping. B. Open masonry joints. Evidence of moss growing in joint C. Water penetration into masonry wall. D. Lack of flashing above steel lintel. E. Rusted steel lintel staining adjacent surfaces.	• Remove coping and brick above steel lintel. Salvage brick for re-use. • Replace the steel lintel. Prime and paint the new steel lintel. • Provide new through-wall flashing over the new steel lintel with weeps at 16 "on center max. • Reinstall the coping over flashing with SSTL dowels. Seal around all penetrations through flashing below. • Fully mortar and re-point all mortar joints to match existing. • Remove rust stains from adjacent masonry surfaces. • Remove Hornet nests. • Sand, fill prime and paint the wood trim. • Restore garage doors to fully operational condition. Sand, fill prime and paint. • Apply joint sealant over backer rod, at all wood/wood and wood/masonry joints. * Field verify after demolition: The condition of the waterproofing above the garage to be evaluated after the coping is removed.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: East Elevation Approximate date of feature: Pre -1981 renovation (North) & 1996 renovation (South)	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 2/A7; 2,3,5,6,7,8,10,11/A14	Drawing no. A7, A14
Stained brick due to overflowing downspout conductor heads. Location: East Elevation 3 of the 4 downspouts. The condition is worse on the South side. A. Water and moisture stains, and moss and/or mildew growth on brick surfaces adjacent to the downspouts. B. Overflowing downspout conductor heads.	 Clean conductor heads, down up to the stormwater dischar Conduct video surveillance of water lines. Clean clogged as portions. Conduct a full capacity flow Provide strainer over the soroof to prevent leafs from cless conductor heads. Seal/solder any gaps or hole heads and downspouts. Remove organic growths as surfaces. 	ge points. of underground storm reas, replace crushed test after cleaning. supper drain points on the ogging the downspouts. between scuppers and es on scuppers, conductor

Architectural/Landscape feature: East Elevation	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature: 1996 renovation		
Describe existing feature and its condition:	Photo no. 2/A7; 12/A14	Drawing no. A7; A14
Debris and stains on sloped glazing over the East entrance.	Clean sloped glazing Remove debris from skyligl	nt and clean glass.

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Architectural/Landscape feature: East Elevation	Describe, in detail, the principle impact on existing feats	
Approximate date of feature:	Be sure to include details and specifications on	
Pre - 1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 2/A7; 4,13,14,15/A15	Drawing no. A7, A15
Concrete steps are chipped and has significant areas and spalled surfaces.	Repair chipped & spalling	g concrete steps

Work Item #EE-5

Architectural/Landscape feature:	Describe, in detail, the pr	oposed work and
East Elevation	impact on existing featur	·e:
Approximate date of feature:	Be sure to include details	and specifications on
Pre -1981 renovation	proposed products	-
Describe existing feature and its condition:	Photo no. 2/A7; 5/A15	Drawing no. A7, A15
Gaps in the wall under stone coping.	Fully grout gap in wall und	er coping.

Architectural/Landscape feature: East Elevation	Describe, in detail, the proposimpact on existing feature:	sed work and
Approximate date of feature: Pre -1981 renovation	Be sure to include details and proposed products	specifications on
Describe existing feature and its condition:	Photo no. 2/A7; 7/A14; 8,9,10,11,12/A15	Drawing no. A7, A14, A15
Loose and cracked wood treads with blistering paint.	Wood Stair and railings Repair /replace loose or cracked components. Sand, fill prime and paint the tr	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: East Elevation	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature:	Be sure to include details and specifications on
Pre -1981 renovation	proposed products
Describe existing feature and its condition:	Photo no. 2/A7; 3,4/A15 Drawing no. A7,A15
Fence with washed off or blistering paint.	Paint Fence

Work Item #EE-8	
Architectural/Landscape feature:	Describe, in detail, the proposed work and
East Elevation	impact on existing feature:
Approximate date of feature:	Be sure to include details and specifications on
Possibly 1981 renovation	proposed products
Describe existing feature and its condition:	Photo no. 2/A7; 14,19/A12 Drawing no. A7, A12
Significant deterioration on brick wall and stone border	Mechanical Louver
over and around the mechanical louver.	Verify the condition of the steel lintel after the
	masonry and patio paving above are removed. Consult
	w/ architect regarding the need for repair or
	replacement.
	Prime and paint existing or new lintel.
	Remove existing louver.
	Clean insect screen and duct.
	Re-finish and re-install after patio is re-built.
	Seal perimeter joint with backer rod and joint sealant.
	Provide head flashing below brick with weeps at 16"
	on center maximum.

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: East Elevation	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature:		
Possibly 1981 renovation		
Describe existing feature and its condition:	Photo no. 2/A7	Drawing no. A7
Significant deterioration on brick wall and stone border over and around the mechanical louver.	Remove/rebuild collapsing mass patio construction. Re-use salva reconstruction. If new brick has match existing brick. Use new brareas and areas not exposed to very possible. See notes on the 1st Florida.	ged brick for to be introduced, rick in below grade iew, as much as

Work Item #EE-10

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
East Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
1996 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 2/A7; 13/A14	Drawing no. A7, A14
Corrosion on gate hardware.	Repair/replace corroded has	rdware.

Architectural/Landscape feature: East Elevation	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products Photo no. 14/A14 Drawing no. A1	
Approximate date of feature: Pre -1981 renovation		
Describe existing feature and its condition:		
Damaged door and hardware.	Repair door and hardware, remove organic residustrip blistering paint, prime and paint.	

^{*} Please print this page again to include as many work items as necessary.

Architectural/Landscape feature: East Elevation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Pre -1981 renovation	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 15/A14	Drawing no. A14
Significant moisture damage on wood floor in direct contact with exterior floor.	Repair wood floor. Replace parts that have rotten beyond repair, to match. Remove aluminum threshold Clean and re-install on a bed of sealant. Seal all perimeter joints.	

Work Item #EE-13

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
East Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
1996 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 9/A14	Drawing no. A14
Numerous leaks through the membrane roofing (flat	Replace existing membrane roofing (flat roof).	
oof) and damage to building perimeter around the roof.	roof. Provide new crickets to divert water discharged from the downspouts away from the wall. Turn base flashing up at least 8" behind wall cladding. Provide new gravel stop with taller upturn to prevent overfle along the edges of the roof. Provide new leaf strains	
	over the drain locations.	
	I .	

Architectural/Landscape feature:	Describe, in detail, the proposed work and	
East Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 1/A15 Drawing no. A1	
Membrane roofing flashing not capped properly (turned up behind the exterior wall finish).		

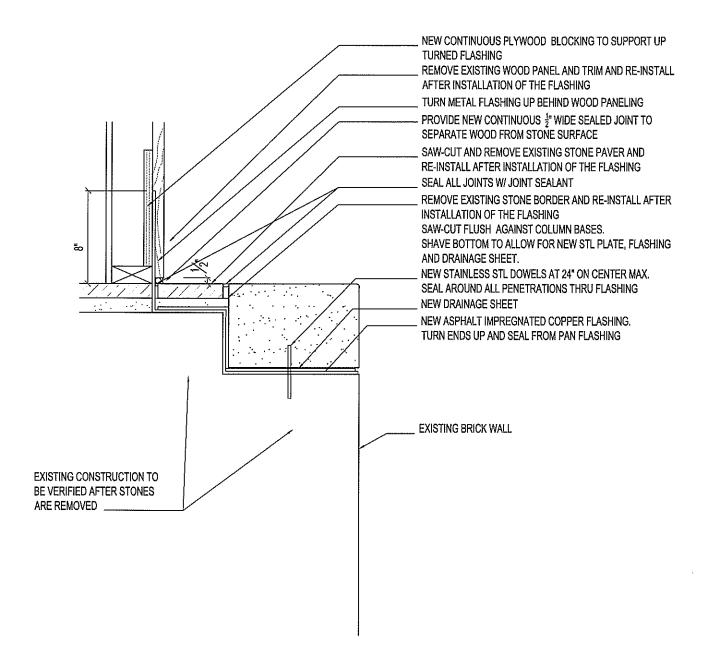
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Architectural/Landscape feature:	Describe, in detail, the proposed work and	
East Elevation	impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on	
Pre -1981 renovation	proposed products	
Describe existing feature and its condition:	Photo no. 2,9,10,11,12/A15	Drawing no. A15
Wood frame and trim around the frame with deteriorated and washed off paint and water damage.	Repair chipped and cracked trim	·

Work Item#

Architectural/Landscape feature:	Describe, in detail, the proposed work and impact on existing feature: Be sure to include details and specifications on proposed products	
Approximate date of feature:		
Describe existing feature and its condition:	Photo no.	Drawing no.

^{*} Please print this page again to include as many work items as necessary.



SECTION - AT CURVED STONE LEDGE

1-1/2" = 1'-0"

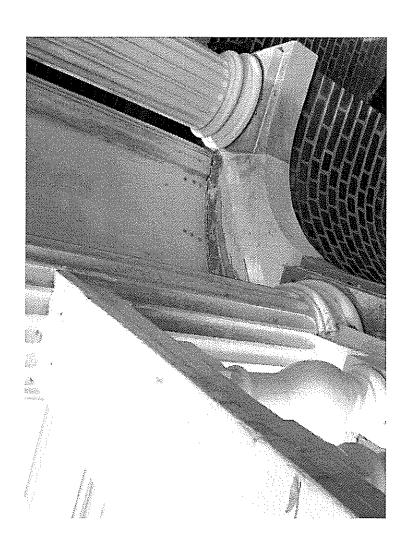


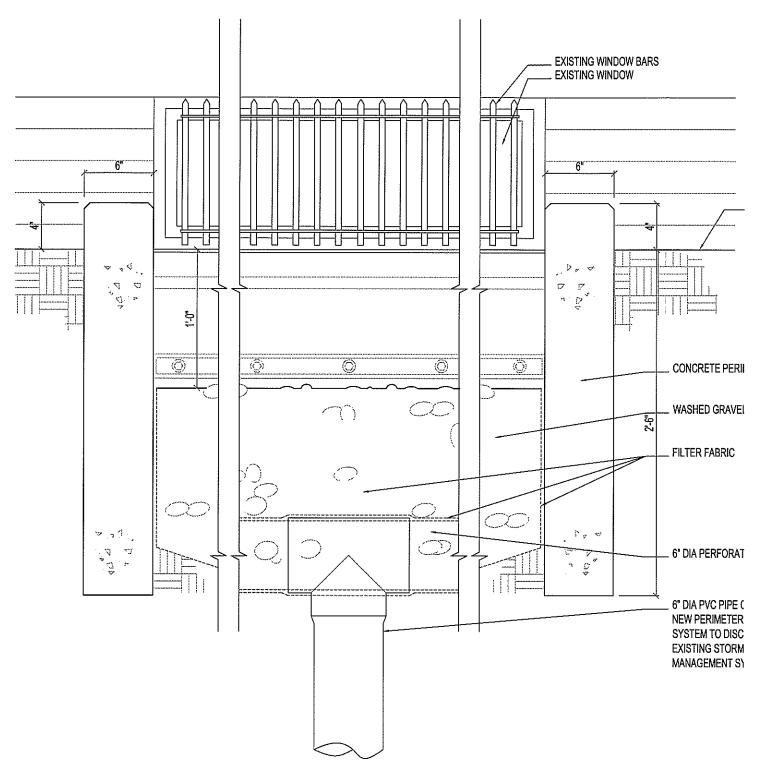
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SECTION - NEW WINDOW WELL

1-1/2" = 1'-0"

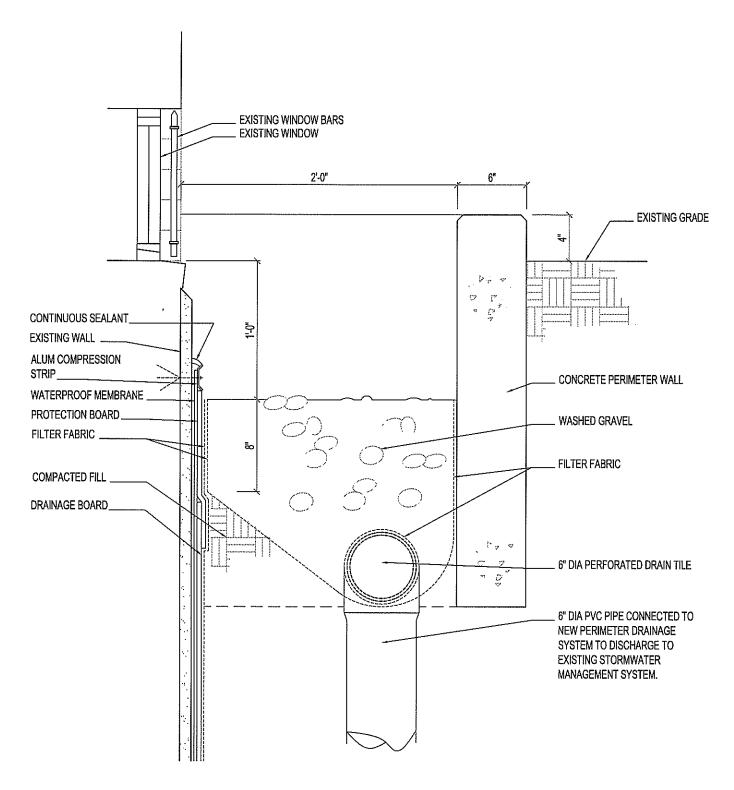


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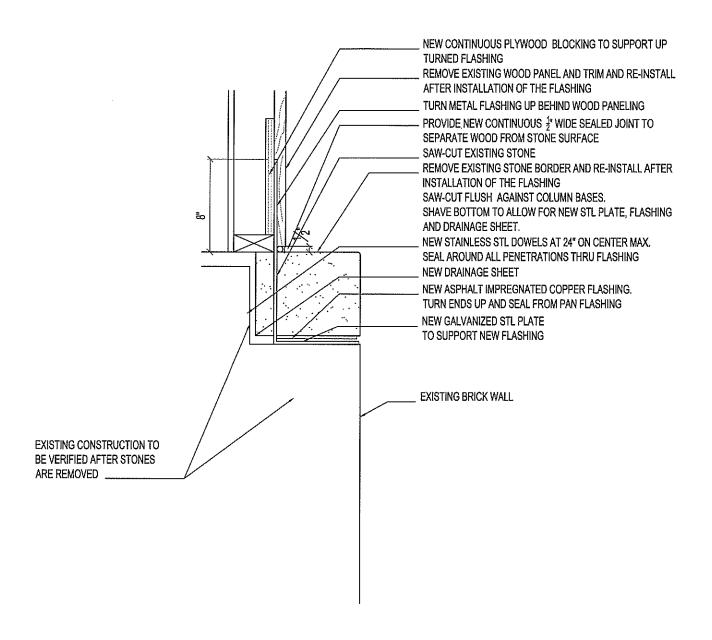


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SECTION - AT STONE LEDGE

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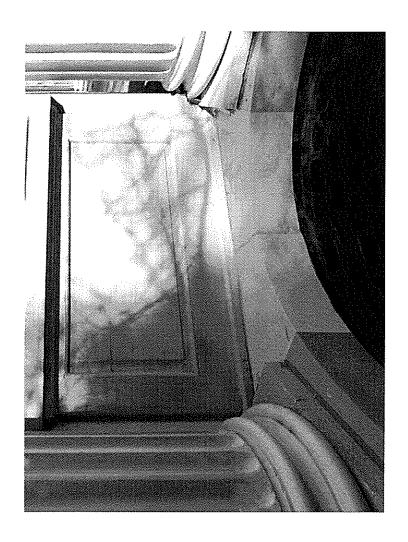


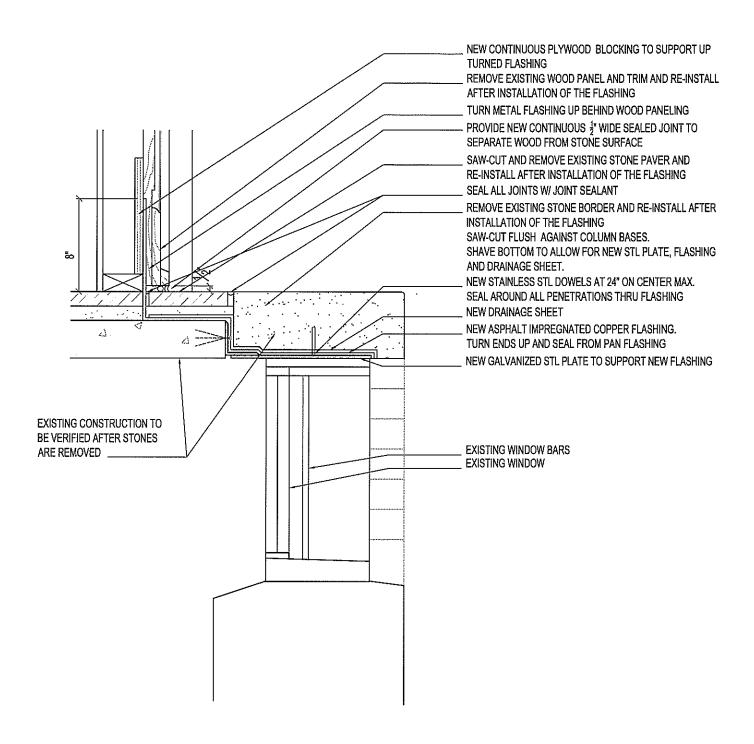
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