

***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	100 Primrose St., Chevy Chase	<b>Meeting Date:</b>	10/25/17
<b>Resource:</b>	Non-Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	10/18/17
<b>Review:</b>	HAWP	<b>Public Notice:</b>	10/11/17
<b>Case Number:</b>	35/13-17KK	<b>Tax Credit:</b>	N/A
<b>Applicant:</b>	William & Helen Mills	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Shutter Installation		

**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve** the HAWP application.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing to the Chevy Chase Village Historic District  
**STYLE:** Split-Level  
**DATE:** 1955

**PROPOSAL:**

The applicant is proposing to install two pairs of composite shutters on the side elevation of the house (see circle 8). The shutters will match the shutters installed on the front elevation in size, materials, and appearance.

**STAFF RECOMMENDATION:**

  X   Approval  
       Approval with conditions.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

  x   1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

  x   2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the

achievement of the purposes of this chapter; or

\_\_\_\_\_ 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

\_\_\_\_\_ 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

\_\_\_\_\_ 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

\_\_\_\_\_ 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Email: William.Mills@Me.com Contact Person: William Mills  
Helen Mills  
Daytime Phone No.: 301-656-4490

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: William/Helen Mills Daytime Phone No: 301-656-4490  
Address: 100 Primrose St. Cherry Chase MD 20815  
Street Number City State Zip Code  
Contractor: Self - very small job Phone No.: 301-656-4490  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 100 Street: Primrose St.  
Town/City: Cherry Chase Village Nearest Cross Street: Brookville Road  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: Window Shutters  
1B. Construction cost estimator: \$ 200.00 to 400.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

William Mills 9/16/2017  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

815209

SEE REVERSE SIDE FOR INSTRUCTIONS

(5)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

House constructed 1954, you might call it ranch,  
built of brick.  
The windows on the front are framed by shutters  
The windows on the east side have no shutters  
We wish to add shutters to the windows on the east  
side of the house.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Our house is described as non-contributing  
in the historic district.  
I think adding the shutters would complete  
the intended design - I think the shutters may have  
been left off originally as an economy

2. **SITE PLAN**

- Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

- ✓ You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- ✓ Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

✓ 7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

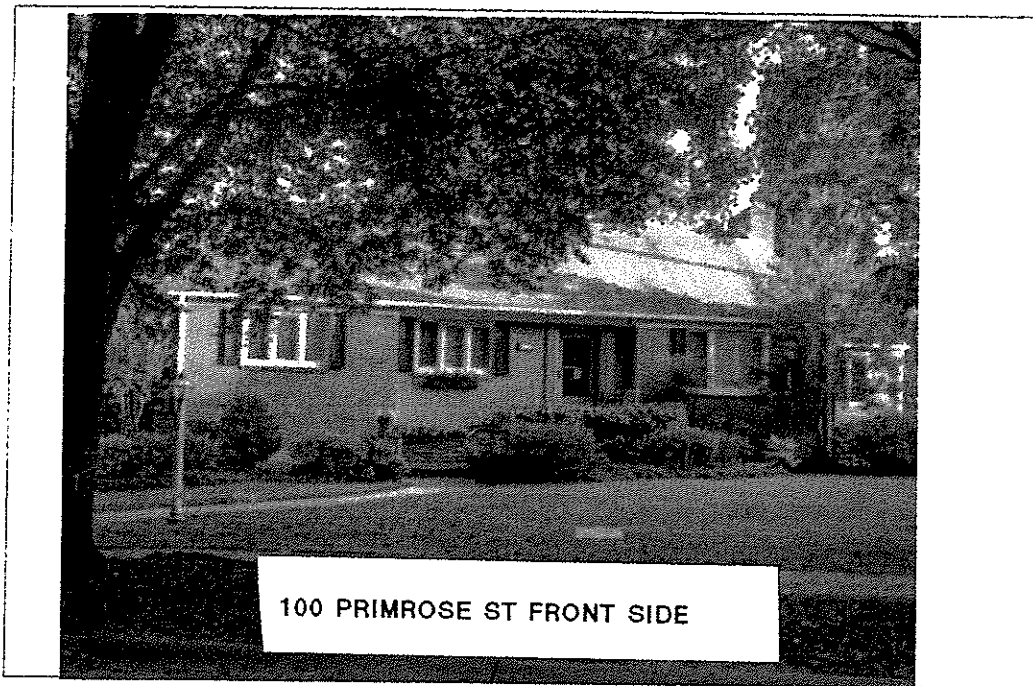
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

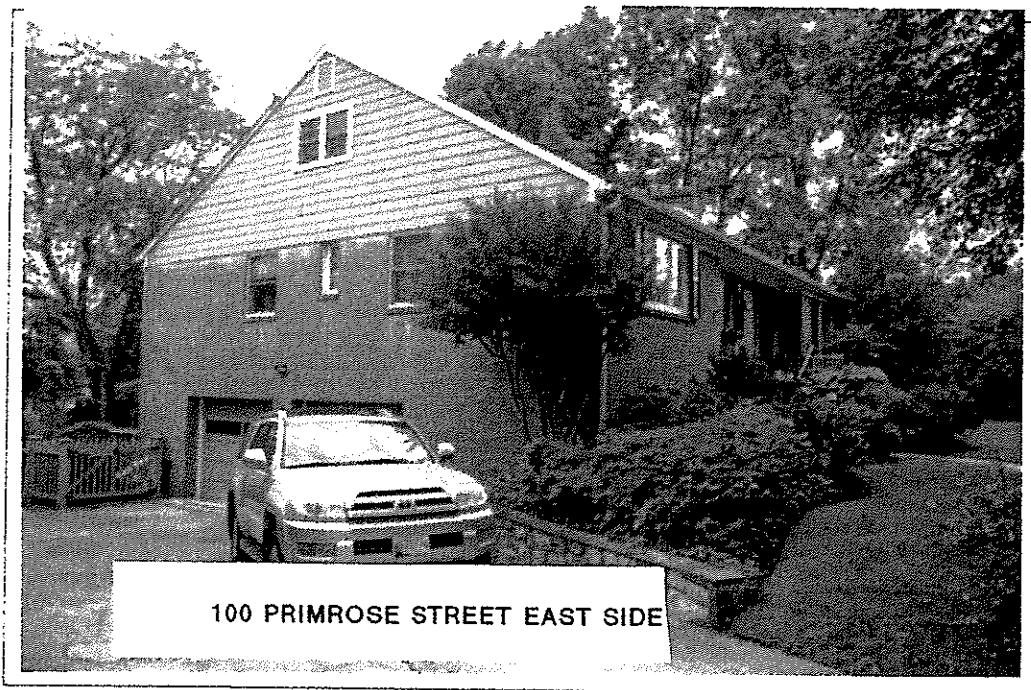
(4)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
William Mills, Helen Mills 100 Primrose St. Chevy Chase MD 20815	
Adjacent and confronting Property Owners mailing addresses	
Richard C. & Lisa White 101 Primrose St. Chevy Chase MD 20815	Craig & Kathy Ulman 104 Primrose St. Chevy Chase MD 20815
Roland & Sarah Brodsky - Miller 105 Primrose St. Chevy Chase Md 20815	



Detail: Shutters are wood and accented with wood moulding

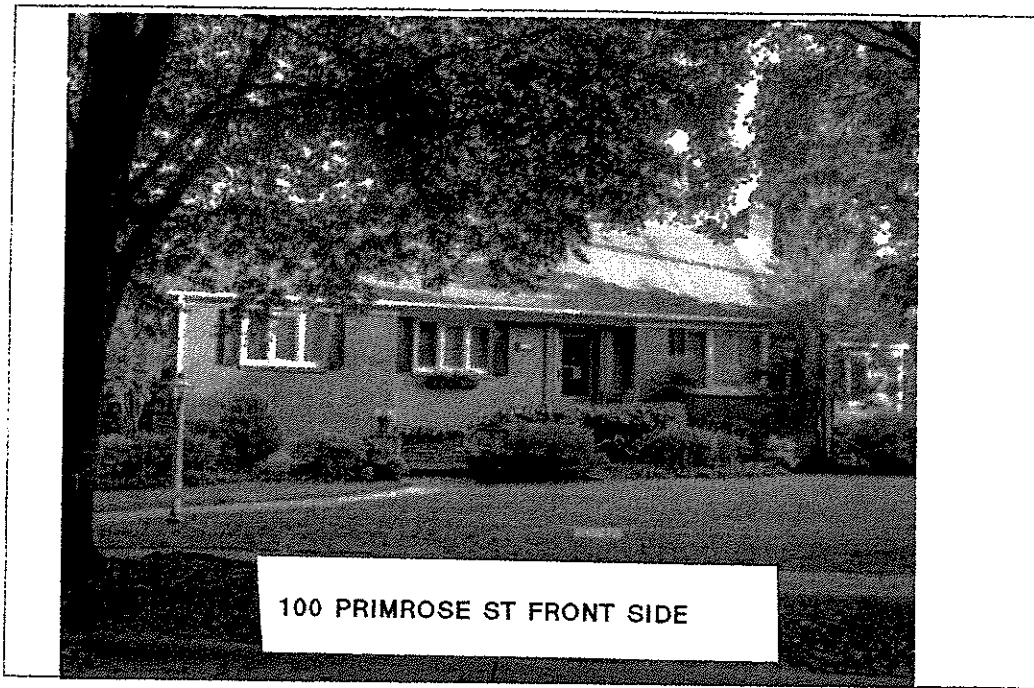


Detail: \_\_\_\_\_

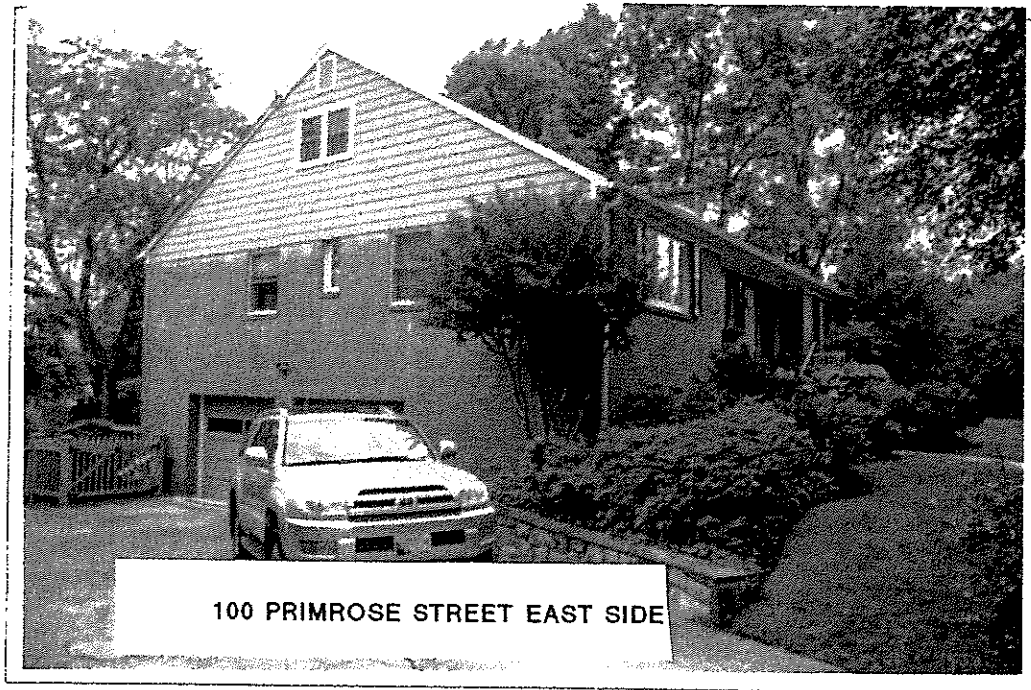
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William and Helen Mills  
Applicant: 100 Primrose Street

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Detail: Shutters are wood and accented with wood moulding



Detail: \_\_\_\_\_

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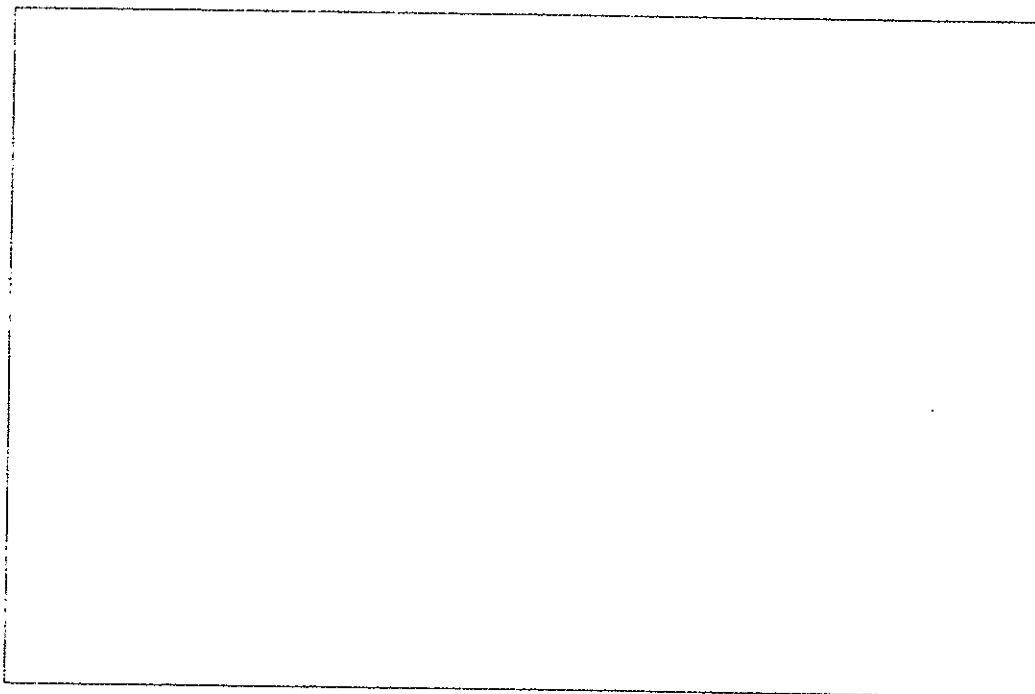
William and Helen Mills  
Applicant: 100 Primrose Street

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100 PRIMROSE STREET EAST SIDE AS IT WOULD LOOK WITH SHUTTERS

Detail: The shutters would copy in material, wood, and  
techique of construction the shutters on the front



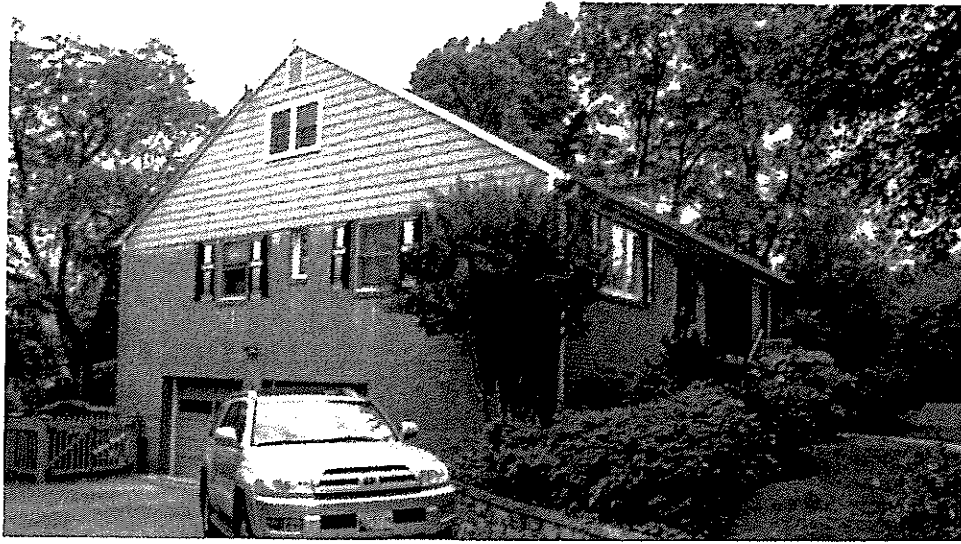
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Applicant: William and Helen Mills  
100 Primrose Street

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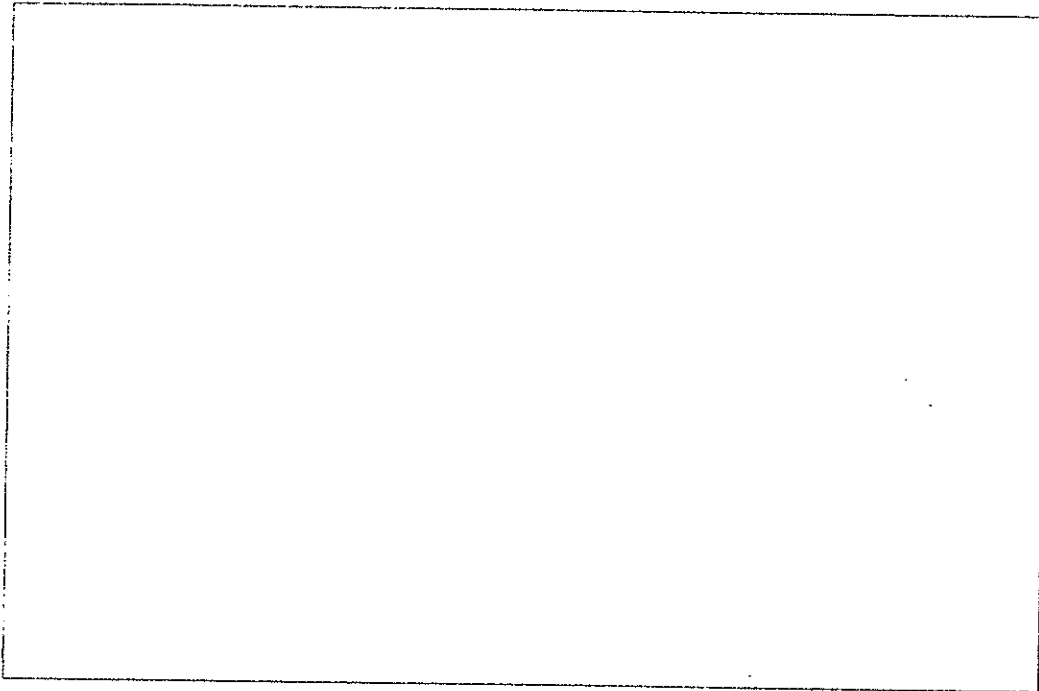
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Detail: \_\_\_\_\_

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