

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF**  
**REPORT**

<b>Address:</b>	24 Montgomery Ave., Takoma Park	<b>Meeting Date:</b>	5/10/17
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	5/3/17
<b>Review:</b>	HAWP	<b>Public Notice:</b>	4/26/17
<b>Case Number:</b>	37/03-17M	<b>Tax Credit:</b>	Partial
<b>Applicant:</b>	David Christy	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Foundation replacement and basement stair construction		

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**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Vernacular  
**DATE:** c.1885-95

The subject property is a two-story, L-shaped, wood-frame house. The front elevation is three bays wide with the gable-L to the right with paired one-over-one sash windows. On the left side of the front elevation there is a one-story wood porch to cover the front door and an additional pair of one-over-one sash windows. The house is built on a brick foundation that is showing some structural deficiencies.

**PROPOSAL:**

The current proposal calls for raising the house with hydraulic jacks so that the historic foundation can be removed. Once the foundation is removed, the cellar will be excavated to a uniform depth, and a new foundation will be installed with a brick veneer matching the appearance of the historic. This proposal will resolve structural deficiencies in the building, increase livable square footage, and retain the historic appearance of the house. A new exterior staircase and associated railing will be installed along the back, right side of the house, minimally visible from the public right-of-way.

On March 22, 2017, the Maryland Historic Trust (MHT) reviewed this proposed work and approved it as being consistent with the Secretary of the Interior's Standards for Rehabilitation. Consistent with the Expedited Staff Report Policy, Staff is using the Expedited HAWP review form under the guidance of IV-1.

**STAFF RECOMMENDATION:**

  X   Approval  
       Approval with conditions.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

  x   1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

  x   2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

  x   3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

       4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

       5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

       6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPB - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: brian@bfmarch.com Contact Person: Brian McCarthy  
Daytime Phone No.: 301-585-2222  
Tax Account No.: 13-01063877  
Name of Property Owner: David Christy Daytime Phone No.: 202-776-9868  
Address: 24 Montgomery Ave. Takoma Park MD 20912  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Brian McCarthy Daytime Phone No.: 301-585-2222

## LOCATION OF BUILDING/PREMISE

House Number: 24 Street Montgomery Avenue  
Town/City: Takoma Park Nearest Cross Street: Hickory  
Lot: 12 Block: 18 Subdivision: B.F. Gilbert's Addition  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PROJECT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Rein  
☐ Revision ☒ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

2/1/2017  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

(3) ~~(4)~~

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT    24 Montgomery Avenue

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached memorandum - Addendum A

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached memorandum - Addendum B

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

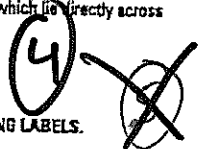
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(4) 

HAWP APPLICATION; MAILING ADDRESSES FOR NOTIFYING  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

David S. Christy, Jr.  
24 Montgomery Ave.  
Takoma Park, MD 20912

Owner's Agent's mailing address

Brian McCarthy  
Bennett Frank McCarthy Arch. Inc.  
1400 Spring St. Suite 320  
Silver Spring MD 20910

Adjacent and confronting Property Owners mailing addresses

Ferdinand Hoefner  
% Diann J. Curran  
22 Montgomery Ave.  
Takoma Park, MD 20912

Steven D. Edminster  
Laura E. Coughlin  
25 Montgomery Ave.  
Takoma Park, MD 20912

Teresa Marie Smith  
7 Hickory Avenue  
Takoma Park, MD 20912

Michael A. Desautels  
Susan J. Hearn  
18 Hickory Avenue  
Takoma Park, MD 20912

Julia L. Washburn  
20 Hickory Ave.  
Takoma Park, MD 20912

James G. & M.P. Porter  
22 Hickory Ave.  
Takoma Park, MD 20912

Alice Grimes & Frank Gains  
24 Hickory Avenue  
Takoma Park, MD 20912

# BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222      www.bfmarch.com      fax (301) 585-8917

Memorandum

11 April 2017

To:            Historic Preservation Commission (HPC)  
                Maryland-National Capital Park & Planning Commission  
                c/o Department of Permitting Services, Montgomery County

From:        Brian McCarthy

Re:            Historic Area Work Permit for the Contributing Resource  
                at 24 Montgomery Avenue, Takoma Park Historic District  
                Addenda to HAWP: **Written Description of Project**

## **Addendum a.**

The house is a 2-story wood frame vernacular style house in the Takoma Park historic district, sited on a flat corner lot on a residential street with mature trees. The house was built in 1890 and is registered as a Contributing Resource. The roofline features intersecting gables. There are one-story porches at the front and side elevations. The house has painted wood lap siding, with traditional trim painted in a contrasting color. The similarly styled one-car garage sits at the rear of the lot, with access to Hickory Avenue.

## **Addendum b.**

The Owners desire to correct the structural deficiencies of the existing brick foundation, comprised of a 2 ½ to 5 foot deep crawlspace under the main areas of the house, and a shallow crawlspace under the existing first floor mudroom and powder room, a 1996 addition. There are cracks in both the foundation walls and the footings. Foundation and footing repairs were made c. 1940-1950, and in 1995 during construction of the 1996 addition.

The project will require removal of the existing substandard foundation and excavation for a new foundation of a uniform depth throughout to create a cellar with a ceiling height of 8'. The new CMU foundation will be placed on a continuous concrete footing, with exposed portion of the foundation wall to be veneered with brick to match the existing brick foundation. The work will provide a secure, dry cellar with utility and living spaces, and ensure that the house can remain standing for decades to come.

The building footprint will be unaltered with the exception of a new exterior stair and areaway to the new cellar at the west side, which will provide legal egress. The other proposed exterior visual changes are new fiberglass cellar windows with metal window wells and a cellar vent at the rear (below the mudroom) to be filled with glass block.

This project has received the approval of the Maryland Historical Trust, Heritage Rehabilitation Tax Credit, MHT Project # 2016-166, approvals dated November 16, 2016 and March 22, 2017.

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Maryland Historical Trust  
Heritage Structure Rehabilitation Tax Credit  
**HOMEOWNER CERTIFICATION APPLICATION  
AMENDMENT FORM**

**RECEIVED**  
MAR 17 2017 Revised 5/2014

BY: \_\_\_\_\_

MHT Project Number (MHT office use only) \_\_\_\_\_

Instructions: Use this sheet to amend an application already submitted. This page must bear the applicant's original signature and must be dated.

1. Property name Christy-Friedman Residence

Property address 24 Montgomery Avenue, Takoma Park, MD 20912

2. This form ☒ Includes additional information requested by MHT for an application currently on hold.  
☐ updates applicant or contact information.  
☒ amends a previously submitted ☐ Part 1 ☒ Part 2 ☐ Part 3 application.

Summarize information here; continue on following page if necessary.

We have revised the proposed scope of work to remove elements MHT found to be objectionable. In summary, these elements include the window in the second floor stairwell, and the removal of significant portions of interior bearing walls on the main level. We have also amended the submission to reflect fiberglass double hung windows at the cellar level, in lieu of the previously proposed aluminum casement windows. Please see page two for an itemized summary coordinated to our initial Part II application.

Beyond that the primary scope remains as previously described - demolition of existing failed foundations, construction of a new, deeper foundation, waterproofing, repair of termite damaged framing, and installation of a new boiler.

3. Project Contact (if different from applicant)

Name Brian McCarthy Company Bennett Frank McCarthy Architects, Inc.

Street 1400 Spring Street, Suite 320 City Silver Spring State MD

Zip 20910 Telephone (301) 585-2222 Email Address brian@bfmarch.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one or both boxes, as applicable] (1) ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name David S Christy, Jr. Signature [Signature] Date 03/15/2017

Street 24 Montgomery Avenue City Takoma Park State MD

Zip 20912 Telephone (202) 841-2937 Email Address dchristy@perkinscoie.com

**MHT Official Use Only**

The Maryland Historical Trust has reviewed this amendment to the Heritage Structure Rehabilitation Tax Credit Application and has determined that the amendment:

- ☒ is consistent with the Secretary of the Interior's Standards for Rehabilitation.  
☐ is consistent with the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.  
☐ is not consistent with the Secretary of the Interior's Standards for Rehabilitation.  
☐ updates the information on file and does not affect the certification.

Date 3/22/17 Maryland Historical Trust Authorized Signature [Signature]

☐ MHT conditions or comments attached

**HOMEOWNER CERTIFICATION APPLICATION  
AMENDMENT FORM**

Property name Christy-Friedman Residence

Property address 24 Montgomery Avenue, Takoma Park, MD 20912

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**Item #5**

The existing window openings will be removed along with failing foundation walls as noted in item 1. New, larger double-paned, double hung windows will be installed directly under existing window openings on the first floor. We have revised our proposal to use Marvin Integrity fiberglass windows in lieu of wood in response to the dampness inherent in below grade applications as well as the history of termite damage. The impact on exterior elevations will be minimal as the alterations are predominantly below grade and the window material will be dark and neutral in color. Larger openings will provide sufficient light and legal egress for the new cellar living space, storage and utility areas.

**Item #11**

Per your request, we've deleted the previously proposed wood, double hung window from second floor staircase, leaving the side facade in this area unaltered.

**Item #12**

Per your request, we've scale back the previously proposed large openings from the DR to the LR and Kitchen. Alterations are now limited to clearing cabinetry out of and an existing opening, and a short section of an adjacent wall, as shown, to provide a usable passageway between the DR and Kitchen. The north wall of the DR will remain.

⑧



Maryland Historical Trust  
Maryland Sustainable Communities Tax Credit  
**HOMEOWNER CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

**RECEIVED**  
AUG 16 2016

Revised 10/2015

BY: \_\_\_\_\_

MHT Project Number (MHT office use only) **2016-166**

Instructions: Fill out this form in accordance with the application instructions. This page must bear the applicant's original signature and must be dated. The Maryland Historical Trust's certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence.

**1. Property Name** Christy-Friedman Residence

Street 24 Montgomery Avenue

City Takoma Park

Zip 20912

County Montgomery

State Legislative District 13

MHT Easement property? ☐ Yes ☐ No ☒ Unknown

☐ Listed individually in the National Register of Historic Places or as an individual local designation; date of listing \_\_\_\_\_

☒ Located in a National Register or locally designated historic district; name of district Takoma Park Historic District

☒ Part 1 – Evaluation of Significance submitted? \_\_\_\_\_

Date submitted 08/10/2016

Date of certification  
(if applicable) \_\_\_\_\_

**2. Project Data**

☒ Primary/secondary residence

☐ Mixed-use residential/commercial

☐ Owner-occupied residential co-op unit

Date of building construction 1890

Floor area before / after rehabilitation 1,745 / 2,637 sq ft

Start date (estimated) 11/01/2016

Completion date (estimated) 07/01/2017

CHECK IF YOU ANTICIPATE RECEIVING ANY OF THE FOLLOWING ADDITIONAL FUNDING FOR THE PROPOSED PROJECT

☐ Insurance claim reimbursement funds

☐ Other local and/or state funding (i.e. grants or loans) Specify funding source \_\_\_\_\_

\*Estimated qualified rehabilitation expenditures are capped at \$250,000 and should not include additional state/local funding, insurance reimbursements or ineligible expenses including new construction, site work, appliances, etc.

\*Estimated Qualified Rehabilitation Expenditures **\$130,000**

**3. Project Contact (if different from applicant)**

Name Brian McCarthy

Company Bennett Frank McCarthy Architects, Inc.

Street 1400 Spring Street, Suite 320

City Silver Spring

State MD

Zip 20910

Telephone (301) 585-2222

Email Address brian@bfmarch.com

**4. Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) ☒ I am the fee-simple owner of the above-described property or (2) ☐ if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name David S. Christy, Jr.

Signature [Signature]

Date 7/25/16

Street 24 Montgomery Avenue

City Takoma Park

State MD

Zip 20912

Telephone (202) 841-2937

Email Address dchristy@perkinscoie.com

**MHT Official Use Only**

The Maryland Historical Trust has reviewed the *Maryland Sustainable Communities Tax Credit Application – Part 2* for the above-named property and has determined that the proposed rehabilitation described herein:

☐ is consistent with the Secretary of the Interior's Standards for Rehabilitation. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☒ is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ is not consistent with the Secretary of the Interior's Standards for Rehabilitation and therefore certification is denied.

☐ is not adequately documented in the application and therefore cannot be reviewed.

Date 11/16/16 Maryland Historical Trust Authorized Signature [Signature]

☒ MHT conditions or comments attached

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Larry Hogan, Governor  
Boyd Rutherford, Lt. Governor

Wendi W. Peters, Secretary  
Ewing McDowell, Deputy Secretary

November 10, 2016

Shari Friedman and David Christy  
24 Montgomery Avenue  
Takoma Park, MD 20912

Re: 24 Montgomery Avenue, Takoma Park, MD 20912  
Maryland Heritage Structure Rehabilitation Tax Credit  
MHT Project No.: 2016-166

Dear Ms. Friedman and Mr. Christy,

After review of the original Part 2 application, supplemental documentation, and your response letter, MHT has determined that the construction of a new foundation, as proposed, will be eligible for the tax credit. This work directly affects the integrity of the historic property as a whole. Eligible work includes demolition of the existing foundation, construction of a new foundation, waterproofing, stabilization, joist repairs, wall repairs, and installation of a new boiler. Due to the nature of this project and existing condition of the property, the interior basement space is considered new construction; therefore costs associated with finishing the space are not eligible for the tax credit.

The approved Part 2 application and conditions are attached. Please note that a revised scope of work for the first floor wall demolition and window installation along the stairs must be submitted, per the Trust's initial letter. In addition, if any work is to take place in the second floor bathrooms, as seen on the drawings, a detailed scope of work must also be submitted. If you have any questions regarding the Part 2 approval, conditions, or this letter, please feel free to contact me at (410) 514-7688 or [megan.klem@maryland.gov](mailto:megan.klem@maryland.gov).

Sincerely,

Megan J. Klem  
Preservation Officer  
Office of Preservation Services  
Maryland Historical Trust

CC: Brian McCarthy, Bennett Frank McCarthy Architects, Inc.

Encl: Part 2 approval

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Maryland Department of Planning  
**MARYLAND HISTORICAL TRUST**  
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

**CONDITIONS SHEET**

**Heritage Preservation Certification Application**

MHT Project Number: 2016-166

Property Name and Address 24 Montgomery Avenue, Takoma Park, MD 20912

The rehabilitation of this property as described in the Heritage Preservation Certification Application will meet the Secretary of the Interior's *Standards for Rehabilitation* and the requirements of §5A-303(h) of the State Finance and Procurement Article of the Annotated Code of Maryland provided that the following condition(s) is/are met:

1. Brick used for the new foundation must match the existing brick in design, size, color, texture, and other visual qualities, per *Standard #6*. The mortar must match the existing foundation mortar in color, texture, joint width, and joint profile, per *Standard #6*.
2. Please submit specification sheets / product information on the proposed basement windows on an Amendment form for MHT review and approval prior to installation.
3. The installation of a new window on the west elevation alters the character of the home and removes historic materials, which does not comply with *Standard #2*. MHT recommends the installation of a light fixture that causes less damage to the historic structure to provide additional light in this area. If a light fixture is to be installed, please submit specification sheet / product information and a description of where / how the light fixture will be installed on an Amendment form for review and approval prior to installation.
4. The removal of portions of the north and west dining room walls on the first floor does not comply with *Standard #2*. The historic layout of a home is significant to the architectural style and relationship between spaces. These walls must be retained.

*Standard #2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*Standard #6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Note: The costs associated with the construction of the areaway, exterior stair, finishing of the cellar, sewage ejector pump for cellar, and kitchen remodel are not eligible for the tax credit as these work items are either outside the footprint of the home or considered new construction or remodeling. The costs must not be included in the Part 3 eligible expenses.

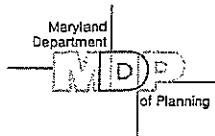
Note: The proposed drawings show changes to the second floor bathrooms. If work is to take place in these locations, please include a scope of work on an Amendment form for MHT review and approval prior to starting.



*Please note that failure to comply with any of the above conditions may result in a denial of final certification.*

Date

Maryland Historical Trust Authorized Signature



Maryland Historical Trust  
Maryland Sustainable Communities Tax Credit  
HOMEOWNER CERTIFICATION APPLICATION  
PART 1 – EVALUATION OF SIGNIFICANCE

Revised 10/2015

MHT Project Number (MHT office use only)

Instructions: Fill out this form in accordance with the application instructions. No certification determination will be made until this form is complete. Please note that it is not necessary for owners of individually listed National Register properties to complete a Part 1 Application.

1. Property Name Christy-Friedman Residence

Street 24 Montgomery Avenue

City Takoma Park

Zip 20912

County Montgomery

State Legislative District 13

MHT Easement property?

☐ Yes

☐ No

☒ Unknown

Check all designations that apply:

☐ National Register historic district

☐ National Register individual listing

☒ Local historic district

☐ Local individual listing

☐ Pending National Register or local designation (must submit documentation justifying historic district or individual listing)

Name of Historic District Takoma Park Historic District  
(if applicable)

2. Nature of request (check only one box)

☒ Certification that the building contributes to the significance of the above-named historic district.

☐ Certification that the structure has been individually designated under local law and is eligible for the National Register (designation documentation required).

☐ Preliminary determination that the structure will be a certified historic structure pending the official National Register or local designation.

3. Project Contact (if different from applicant)

Name Brian McCarthy

Company Bennett Frank McCarthy Architects, Inc.

Street 1400 Spring Street

City Silver Spring

State MD

Zip 20910

Telephone (301) 585-2222

Email Address brian@bfmarch.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) ☐ I am the fee-simple owner of the above-described property or (2) ☐ if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name David S. Christy, Jr.

Signature [Signature]

Date 7/29/16

Street 24 Montgomery Avenue

City Takoma Park

State MD

Zip 20912

Telephone (202) 841-2937

Email Address dchristy@perkinscoie.com

MHT Official Use Only

The Maryland Historical Trust has reviewed the *Maryland Sustainable Communities Tax Credit Application- Part 1* for the above-named property and has determined that the property:

☐ Is a "certified historic structure."

☐ Appears to meet "certified historic structure" criteria, pending official National Register or local designation

☐ Is not a "certified historic structure" because it is not individually listed in the National Register or designated under local law; does not contribute to the significance of the above-named historic district; or is a structure pending National Register or local designation that does not appear to meet "certified historic structure" criteria.

☐ Is not adequately documented in the application and therefore cannot be reviewed.

Date

Maryland Historical Trust Authorized Signature

☐ MHT comments attached

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**HOMEOWNER CERTIFICATION APPLICATION  
PART 1 – EVALUATION OF SIGNIFICANCE**

Property Name Christy-Friedman Residence

Street Address 24 Montgomery Avenue

Takoma Park

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20912

**5. Description of physical appearance**

The house is a 2-story wood frame vernacular style house, rectangular in shape, in the Takoma Park historic district, sited on a flat corner lot on a residential street with mature trees. The house was built in 1890 and is registered as a Contributing Resource. The roof line features a main gable roof intersected by both front and rear gables. There are a pair of one-story porches at the front and side. The house has painted wood lap siding, with traditional trim painted in a contrasting color, and 12" deep roof and gable overhangs. See photos #1-15 and drawings on EC-1(existing plans) and EC-2 (existing elevations.)

The house features the original columned front entry porch and regularly spaced double-hung windows at the first and second floors, that are a mix of two over two and one over one. The front door opens directly to the living room with a view to the main staircase, the kitchen and service areas beyond. To the right is the family room featuring an abandoned fireplace (photos #42-52.) The second story features three bedrooms and two bathrooms (photos #62-80.) A sympathetically styled carriage house was added to the property in 2011. Sited at the rear of the lot, with access to Hickory Avenue, the carriage house features a side entrance door with flanking windows and a bracketed roof overhang, with double carriage entry doors, side-hinged, at the gable end. See Site Plan and photos #7 and #14.

Changes made to the house since its original construction include a one-story rear addition, over a shallow crawl space, with an open covered porch on the east side (1996, photos #6-9.) On the interior, the addition provides a powder room and mudroom. The original house was build over a 2-1/2 foot deep crawl space. Over time successive efforts have been made to deepen the crawlspace in limited areas to accommodate utilities. Those efforts also involved unsuccessful measures to address the unstable foundation. At present there are no fewer than a half dozen cracks in the foundation walls and footings. All of the original windows (except at the basement) were replaced in 2008 with Pella wood windows, with the approval of the Montgomery County Historic Preservation Commission. The Owners' son tested high for lead and the original windows were found to have high lead content (paint.)

Date(s) of building(s) 1890

Source of date(s) MD Dept of Assessment & Taxation

Type of construction  
(brick, wood frame, etc.) Wood frame with masonry foundation

Date(s) of alteration(s) 1940, 1950, 1996, 2008 & 2011

Has building been moved? ☒ no ☐ yes, specify date \_\_\_\_\_

**6. Statement of significance**

This structure has been assessed as a "Contributing Resource" in the Takoma Park Historic District. As a Contributing Resource, it is important to the overall character of the district and the street scape due to its size, scale and architectural character. Significant features include its painted wood lap siding, vernacular trim patterns, intersecting gables roofs, patterned porch rail and its porch columns.

The structure is similar to many of its neighbors in size, scale, building materials. There is a "sister" house at 20 Montgomery Avenue (photo #16) that was raised in 2013 to create a usable cellar, otherwise generally maintaining the historic appearance.

The Takoma Park District is a national historic district located at Takoma Park, Montgomery County, Maryland. The district area was platted in 1883 by developer Benjamin Franklin Gilbert, and promoted for its natural environment and healthy setting. Originally an early railroad suburb, the opening of streetcar lines led to the expansion of the district in the early 20th century. Takoma Park houses built between 1883 and 1900 are fanciful, turreted, multi-gabled affairs of Queen Anne architecture with Stick Style and Shingle Style influence.

**7. Photographs and maps.** Submit interior and exterior photographs in accordance with the instructions. If located within a historic district, attach the official historic district boundary map with the location of the property clearly marked.

## Maryland's National Register Properties



Photo credit: Jennifer Falkinburg, 08/23/2003

### Takoma Park Historic District

Inventory No.: **M: 37-3, PG:65-12**

Date Listed: **7/16/1976**

Location: **Takoma Park, Montgomery County**

Category: **District**

Period/Date of Construction: **1883-1920s**

[Open National Register Form](#)



[Show Boundary Map](#)

**Description:** Takoma Park Historic District was platted in 1883 by developer Benjamin Franklin Gilbert, and promoted for its natural environment and healthy setting. Originally an early railroad suburb, the opening of streetcar lines led to the expansion of the district in the early 20th century. Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. These first houses were substantial residences with spacious settings. Lots were deep and houses were set at least 40 feet from the street. By 1886, Takoma Park had a post office and a new railroad station, and the town's population had quadrupled by 1893. The start of streetcar service along Carroll Avenue in 1893 made the adjacent areas more attractive for residential development, leading to new subdivisions. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made homeownership in Takoma Park possible for individuals with more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. The houses built in Takoma Park during the period between 1900 and 1930 reveal changing American tastes in house design from the elaborate ornamentation of the late-19th century dwellings to more practical, simplified designs. Many of these early-20th century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. After the turn of the 20th century, schools and libraries began to blossom, and several such community service buildings remain, although with new

**Significance:** The Takoma Park Historic District, divided into two sections, is a residential community founded in the early 1880s which retains the original relationship of suburban structures to each other and to the town as a whole. The intentions of the town's founder, B.F. Gilbert, to create a sylvan suburb within easy reach of Washington, D.C., have continued to the present day. The district is in two parts in order to isolate those areas of Takoma Park which best represent the historic character of the town. The individual structures possess a sense of cohesiveness of design expressed in the rhythm established by the large lot sizes in relation to the buildings on them; in the vernacular expression of the popular architectural styles of the late 19th through early 20th centuries, including Queen Anne, Georgian Revival, and bungalow styles, in the predominance of wood as the principal building material in both shingle and clapboard exteriors, in the historical associations of Takoma Park with the American suburban movement as well as with the Seventh Day Adventist Church who chose Takoma Park for its headquarters in 1903, and, finally, the integrity of the district derives from an intangible impact of time and place on visitors.

(14)

~~17~~

uses. Takoma Park's commercial districts retain their original early-20th century character. Most of these buildings are 1-2 story brick structures with simple ornamentation, although a few display characteristics of such styles as Art Deco and Tudor Revival.

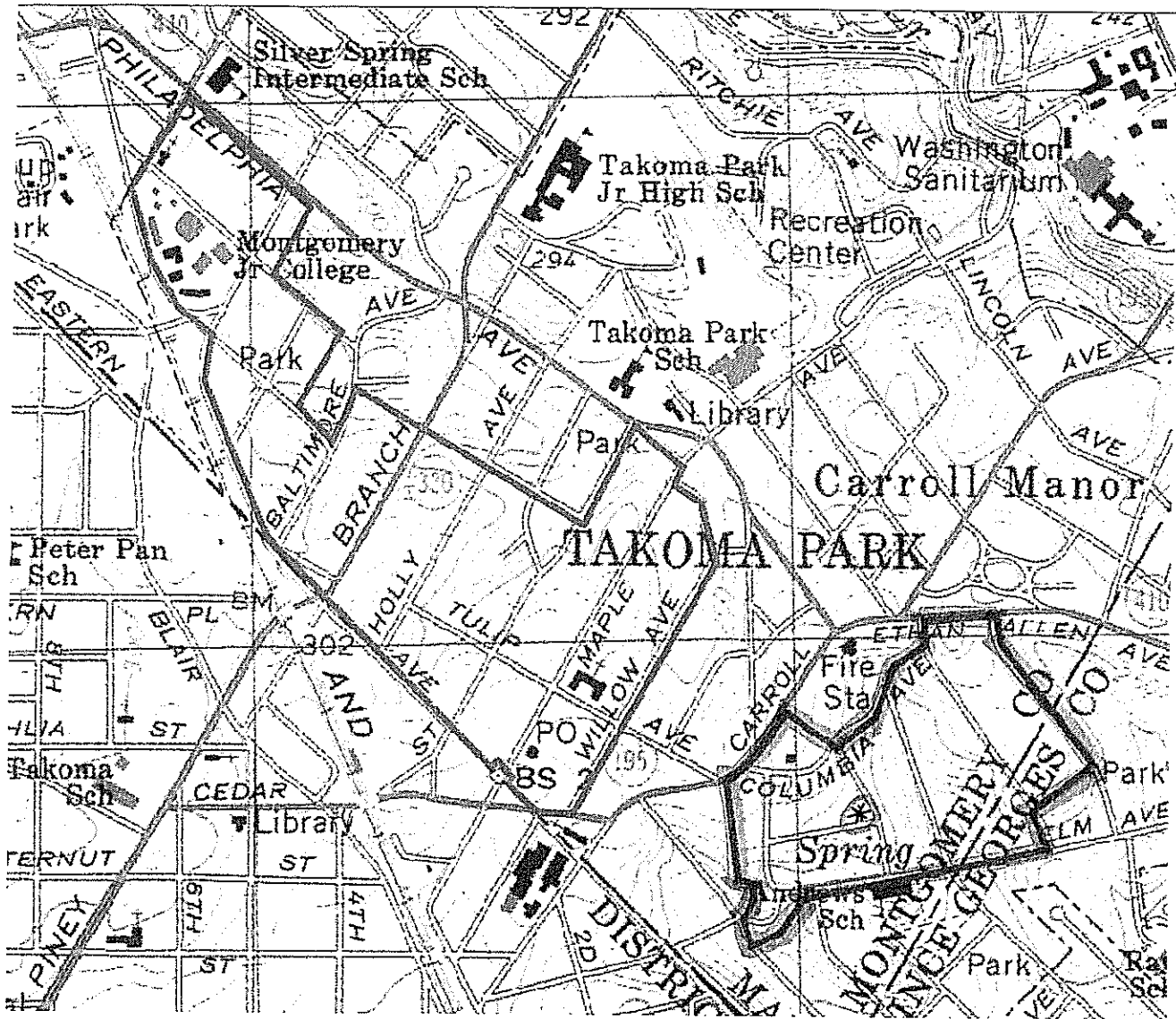


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About the National Register Web Site

~~SEA~~ TEA-21 funds, administered by the Maryland State Highway Administration, supported data development for this project. ~~SEA~~

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Takoma Park official Historic District Boundary Map

★ Location of 24 Montgomery Avenue

Attachment to Part 1 - Evaluation of Significance

~~10~~ 16



HOMEOWNER CERTIFICATION APPLICATION  
PART 1 – EVALUATION OF SIGNIFICANCE

MANDATORY APPLICATION CHECKLIST

Property Address 24 Montgomery Avenue Takoma Park 13 20912

**Instructions:** After completing your Part 1 application, print and fill out this checklist to ensure that your application contains at least the minimum documentation required for MHT staff review. This checklist is based on the detailed information included in the Homeowner Instructions. Read and check each line carefully; the application review period will not begin until a completed application with checklist is submitted.

- ☒ **APPLICATION FORM-** I have filled in all applicable fields. I understand that MHT staff may not fill in any missing information on my behalf; therefore if my application is missing information it will be returned to me for completion.
- ☒ **SIGNATURE-** I have signed and dated the application.
- ☒ **MAP-** If located within a historic district, I have attached the official historic district boundary map and clearly marked the property's location within the district.
- ☒ **PHOTOGRAPHS-** I have included 1 set of clear, color photographs on 4"x6" glossy photo paper. The entire property, including the **interior and exterior** of all structures is included. Photographs are numbered and clearly labeled (including address, date of photograph, and brief description). I understand that poor quality, improperly labeled and/or mounted photographs will not be accepted.
- ☐ **MOVED BUILDINGS-** My property was moved (or I plan to move it) and therefore I am submitting additional information in accordance with page 4 of the Homeowner Application Instructions.
- ☐ **MULTIPLE BUILDINGS-** My property contains multiple structures and therefore I am submitting additional information in accordance with page 4 of the Homeowner Application Instructions.
- ☒ **DUPLICATE COPY OF ALL APPLICATION MATERIALS-** I have made a complete copy of all materials for my records.

☒ I attest that I have read and understand the Maryland Sustainable Communities Tax Credit Application and Instructions.

Name David S. Christy, Jr. Signature David S. Christy, Jr. Date 8/12/16

SEND THE COMPLETED APPLICATION TO:

Maryland Historical Trust  
100 Community Place  
Crownsville, MD 21032  
attn: Bonnie Baden

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Maryland Historical Trust  
Maryland Sustainable Communities Tax Credit  
HOMEOWNER CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION

Revised 10/2015

MHT Project Number (MHT office use only)

Instructions: Fill out this form in accordance with the application instructions. This page must bear the applicant's original signature and must be dated. The Maryland Historical Trust's certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence.

1. Property Name Christy-Friedman Residence

Street 24 Montgomery Avenue

City Takoma Park

Zip 20912

County Montgomery

State Legislative District 13

MHT Easement property?

☐ Yes

☐ No

☒ Unknown

☐ Listed individually in the National Register of Historic Places or as an individual local designation; date of listing \_\_\_\_\_

☒ Located in a National Register or locally designated historic district; name of district Takoma Park Historic District

☒ Part 1 – Evaluation of Significance submitted?

Date submitted 08/10/2016

Date of certification  
(if applicable) \_\_\_\_\_

2. Project Data

☒ Primary/secondary residence

☐ Mixed-use residential/commercial

☐ Owner-occupied residential co-op unit

Date of building construction 1890

Floor area before / after rehabilitation 1,745 / 2,637 sq ft

Start date (estimated) 11/01/2016

Completion date (estimated) 07/01/2017

CHECK IF YOU ANTICIPATE RECEIVING ANY OF THE FOLLOWING ADDITIONAL FUNDING FOR THE PROPOSED PROJECT

☐ Insurance claim reimbursement funds

☐ Other local and/or state funding (i.e. grants or loans) Specify funding source \_\_\_\_\_

\*Estimated qualified rehabilitation expenditures are capped at \$250,000 and should not include additional state/local funding, insurance reimbursements or ineligible expenses including new construction, site work, appliances, etc.

\*Estimated Qualified Rehabilitation Expenditures \$130,000

3. Project Contact (if different from applicant)

Name Brian McCarthy

Company Bennett Frank McCarthy Architects, Inc.

Street 1400 Spring Street, Suite 320

City Silver Spring

State MD

Zip 20910

Telephone (301) 585-2222

Email Address brian@bfmarch.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) ☒ I am the fee-simple owner of the above-described property or (2) ☐ if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name David S. Christy, Jr.

Signature [Signature]

Date 7/29/16

Street 24 Montgomery Avenue

City Takoma Park

State MD

Zip 20912

Telephone (202) 841-2937

Email Address dchristy@perkinscoie.com

MHT Official Use Only

The Maryland Historical Trust has reviewed the *Maryland Sustainable Communities Tax Credit Application – Part 2* for the above-named property and has determined that the proposed rehabilitation described herein:

☐ is consistent with the Secretary of the Interior's Standards for Rehabilitation. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ is not consistent with the Secretary of the Interior's Standards for Rehabilitation and therefore certification is denied.

☐ Is not adequately documented in the application and therefore cannot be reviewed.

Date \_\_\_\_\_

Maryland Historical Trust Authorized Signature \_\_\_\_\_

☐ MHT conditions or comments attached

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**HOMEOWNER CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION**

Property name Christy-Friedman Residence

Property address 24 Montgomery Avenue

Takoma Park

20912

**5. Detailed description of rehabilitation work** Use this page to describe all work or create a comparable format with this information.  
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

<b>Number</b> <u>1</u>	<b>Feature</b> <u>Foundation</u>	<b>Date of Feature</b> <u>1890</u>
------------------------	----------------------------------	------------------------------------

**Describe existing feature and its condition**

There are serious structural deficiencies in the existing masonry foundation, comprised of a 2 1/2 to 5 foot deep crawl space under the main areas of the house, and a shallow crawlspace under the existing first floor mudroom and powder room, the 1996 addition. There are cracks in both the foundation walls and the footings. Foundation and footing repairs were made c.1940 - 1950, and in 1995 during construction of the 1996 addition. See notes A thru F on drawing #1/EC-1, photos #35 thru #41, and the structural engineer's report dated June 10, 2016.

Photo numbers 18, 19, 20, 21, 23 thru 41

Drawing numbers 1/EC-1, 1/D-1, 1/A-1, 1/S-1, S-3 details

**Describe work and impact on feature**

Remove existing substandard foundation. Excavate for and provide a new foundation with a uniform depth throughout creating a cellar with a ceiling height of 8'. Provide continuous concrete footing and a reinforced CMU foundation wall throughout. Provide reinforced concrete slab with vapor barrier. Exposed portions of the foundation will be veneered with brick to match existing. See Feature number 3. The work will provide a secure, dry and usable basement, and ensure that the house can remain standing for decades to come.

<b>Number</b> <u>2</u>	<b>Feature</b> <u>Foundation waterproofing and drainage</u>	<b>Date of Feature</b> <u>Proposed</u>
------------------------	---	--

**Describe existing feature and its condition**

None at existing foundation. The area is innervated with substantial springs/underground water flow. The lack of waterproofing and foundation drainage has led to a damp cellar, resulting in substantial termite damage to the first floor framing.

Photo numbers 18, 21, 26 thru 41

Drawing numbers 1/EC-1, 1/D-1, 1/A-1, 1-3/S-3

**Describe work and impact on feature**

Provide 60 mil self-adhering membrane and Miradrain drainboard down to footing drain. Provide internal French drainage system covered by the new concrete slab over a vapor barrier. Drains will collect in a sump crock and discharge to the exterior. Waterproofing and vapor control will help maintain a dry cellar and extended life for the new building foundation and existing wood framing.

<b>Number</b> <u>3</u>	<b>Feature</b> <u>Brick foundation wall</u>	<b>Date of Feature</b> <u>1890</u>
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**Describe existing feature and its condition**

The house features a four-to-five course brick foundation exposure above grade and below the water table. The brick condition has deteriorated due to water penetration and foundation settling.

Photo numbers 4, 5, 18, 19, 20, 23, 25, 30, 34

Drawing numbers 1-4/A-2, 1 & 2/S-3

**Describe work and impact on feature**

Remove brick from existing foundation, salvaging suitable brick for reuse. Reinstall at new brick-faced foundation (above grade areas) with mortar joints to match existing. Provide replacement bricks, as required, matching in color and size. Rehabilitated brick veneer will preserve this original foundation detail.



HOMEOWNER CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION

Number 4	Feature <u>First Floor Framing</u>	Date of Feature <u>1890</u>
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**Describe existing feature and its condition**

The existing first floor wood framing has been structurally compromised. Structural repairs have been made in past decades in response to termite damage, however additional repairs are required. See structural engineers report (attached.)

Photo numbers <u>26, 27, 29, 30, 31, 32, 34, 40, 41</u>	Drawing numbers <u>2/S-1, S-3 details</u>
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**Describe work and impact on feature**

Provide new steel beams; replace and/or sister wood joists, as shown on plans. Provide wood headers at new cellar windows. New framing will extend the life of the structure considerably.

Number 5	Feature <u>Cellar windows with metal window wells</u>	Date of Feature <u>1890</u>
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**Describe existing feature and its condition**

Cellar openings and window wells are presumed to be original. There are five non-original aluminum single-pane cellar windows (total) in the foundation wall, on three facades, placed directly under the band board. Each has a window well. The windows and wells are failing and allowing moisture into the cellar.

Photo numbers <u>13, 18, 19, 20, 21, 22, 23</u>	Drawing numbers <u>1/EC-1, 1,2 &amp; 4/EC-2; 1,2 &amp; 4/A-2; 1/S-1</u>
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**Describe work and impact on feature**

The existing window openings will be removed along with failing foundation walls as noted in item 1. New, larger double-paned, aluminum casement windows will be installed directly under existing window openings on the first floor. We are proposing aluminum windows in lieu of wood in response to the dampness inherent in below grade applications as well as the history of termite damage. The impact on exterior elevations will be minimal as the alterations are predominantly below grade and the window material will be dark and neutral in color. Larger openings will provide sufficient light and legal egress for the new cellar living space, storage and utility areas.

Number 6	Feature <u>Central Gas Boiler</u>	Date of Feature <u>2005 replacement</u>
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**Describe existing feature and its condition**

The existing replacement boiler serves the first and second floor radiators. It is old and inefficient.

Photo numbers <u>26, 28</u>	Drawing numbers <u>1/EC-1 and 1/A-1</u>
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**Describe work and impact on feature**

Replace existing boiler with high efficiency gas-fired boiler, extending radiant heat to the cellar, which will help maintain a dry and usable cellar. The boiler will also provide domestic hot water, replacing existing hot water heater.

**HOMEOWNER CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION**

<b>Number</b> 7	<b>Feature</b> <u>Areaway, Exterior stair &amp; Cellar entry door</u>	<b>Date of Feature</b> <u>Proposed</u>
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**Describe existing feature and its condition**

There is currently no exterior access to the existing cellar. The existing interior cellar stair is steep and narrow, and does not meet the current Residential Building Code, and a code compliant interior staircase is not feasible without substantial alteration to the main stair and the first floor above.

Photo numbers 10, 11, 12, 13 Drawing numbers 2/EC-1, 4/EC-2, 1/A-1, 4/A-2, 1/S-1, 3/S-3

**Describe work and impact on feature**

Provide new masonry, below-grade access stair with steel safety railing at new areaway along the west side, which will provide legal egress from the cellar. The new areaway will not be visible from the street, except for the safety railing above grade, to be partially visible from the front view. The exposed surfaces of the areaway will be veneered in brick.

<b>Number</b> 8	<b>Feature</b> <u>Steps from cellar to first floor</u>	<b>Date of Feature</b> <u>c. 1940 - 1950</u>
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**Describe existing feature and its condition**

The existing wood stair consists of 7 steps, without railing, to a cellar area with a 5' head height.

Photo numbers 26 Drawing numbers 1/EC-1, 1/D-1, 1&2/A-1

**Describe work and impact on feature**

Provide new wood stair with railing, up two risers to new Cellar entry door, then return stair up 12 risers to existing first floor. The new stair will provide interior access to and from the Cellar.

<b>Number</b> 9	<b>Feature</b> <u>Cellar / crawlspace</u>	<b>Date of Feature</b> <u>1890</u>
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**Describe existing feature and its condition**

The original cellar was a 2 1/2' deep crawl space. As noted in Feature 1, foundation and footing repairs were made c.1940 - 1950 which created a marginally accessible cellar. The existing cellar consists of conditioned crawl space with a 5' head height, as well as unexcavated areas. The cellar provides space for the gas boiler, hot water heater, sump pit, and electric, gas and water service.

Photo numbers 26 thru 41 Drawing numbers 1/EC-1, 1/A-1

**Describe work and impact on feature**

Provide new wood wall framing with perimeter insulation and drywall finish, drywall ceilings and wood doors for new cellar living space, which will include a bedroom, a bathroom with fixtures, TV/Rec room, laundry area, storage room and utility area. This feature will provide much needed living space with negligible impact on the home's historic character. Expanding the living space in this manner avoids altering the structure's character with an addition above grade.

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HOMEOWNER CERTIFICATION APPLICATION  
PART 2 -- DESCRIPTION OF REHABILITATION

Number 10	Feature Sewage ejector pump at cellar	Date of Feature Proposed
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Describe existing feature and its condition

None exists at cellar.

Photo numbers 29	Drawing numbers 1/A-1
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Describe work and impact on feature

The full bathroom and laundry in the deeper cellar will be below the existing invert elevation of the main house sanitary drain lateral to the street. Provide sewage ejector in new utility room to collect and lift effluent from cellar bathroom and laundry for discharge into existing lateral.

Number 11	Feature Stairwell window between 1st & 2nd Floors	Date of Feature Proposed
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Describe existing feature and its condition

Existing west elevation has (7) total windows, including (2) windows each level (cellar, first floor & second floor) and one attic window. There is an existing mechanical chase to the attic level running between the window pairs. The existing stair to the second floor is narrow and steep with no natural illumination.

Photo numbers 12, 13 (both exterior) and 44, 80 (both interior)	Drawing numbers 3/EC-1, 4/EC-2, 3/D-1, 4/D-2, 3/A-1, 4/A-2
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Describe work and impact on feature

Provide new wood Pella window to match existing windows in profile, but smaller in dimension as shown in drawings, located between the first and second floors in the stair well. The new window will provide natural light to a dark space. Impact to exterior facade will be minimal, especially because there is virtually no face-on view to the west (left side) elevation.

Number 12	Feature Kitchen layout, dining room NW corner walls	Date of Feature Various
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Describe existing feature and its condition

The rear of the first floor consists of a kitchen in the original portion of the house and a mudroom/powder room in an addition (1996.) The kitchen portion of the house has been substantially altered and remodeled to accommodate and connect to the added mudroom. None of the kitchen elements are original, except the side window casing.

Photo numbers 44, 45, 51, 52, 53, 55, 56, 58	Drawing numbers 2/ EC-1, 2/D-1, 2/A-1
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Describe work and impact on feature

Remove existing kitchen peninsula countertop and sink; relocate existing refrigerator to laundry alcove (laundry equipment to be relocated to new cellar); provide new kitchen countertop to create kitchen island. Remove part of north and west walls of dining room to open up kitchen view and access to dining room and mudroom. Provide new dropped beam in location of removed partial central bearing wall, to extend from existing chimney to powder room/mudroom wall.

Number 13	Feature Rear window at NE foundation	Date of Feature 1996
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**HOMEOWNER CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION**

**Describe existing feature and its condition**

The small 9" x 24"+/- opening ventilates the existing shallow crawlspace under 1996 addition. It is located below the existing mudroom north window.

Photo numbers 9, 35

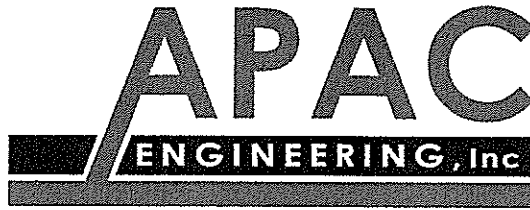
Drawing numbers 1/A-1, 3/A-2

**Describe work and impact on feature**

Provide glass block at new cellar foundation in same location, centered under the existing window and expanded to 8" x 48". The glass block will provide natural light for proposed cellar TV Room. The feature will have minimal impact at the exterior elevation as it will be positioned between the wood water table trim and the grade.

Add Item

23



June 10, 2016

Bennett Frank McCarthy Architects  
1400 Spring Street  
Suite 320

Silver Spring, MD 20910

Re: Foundation Condition – 24 Montgomery Ave – Takoma Park, MD.

To whom this may concern,

APAC Engineering Inc. has observed the existing condition of the exposed foundation wall and 1<sup>st</sup> floor framing members at the above referenced home. Per our agreement this was a visual inspection it can not be expected to disclose hidden defects.

**Observations and Opinions:**

1. The foundation wall on the West side of the home has been replaced at some point in the past with a CMU wall. There is noticeable vertical and diagonal step cracking in the South and West walls around the SW corner of the home.
2. The new CMU wall has discolorations indicating the presence of water.
3. The CMU wall is bowing inward.
4. The remainder of the cellar is not fully excavated. On the East and SE portions of the home there is a short foundation wall at the exterior and a 2<sup>nd</sup> half height foundation/retaining wall creating the limits of the cellar.
5. The half height foundation/retaining wall is leaning forward. We observed a crack at the corner of the wall just to the North of the chimney. We observed a vertical crack in the wall close to the center of the East wall.
6. Several floor joists were observed to be damaged.
7. The floor framing at the chimney is deteriorated and compromised.
8. There are several shoring beams and posts in the crawl space stiffening the 1<sup>st</sup> floor framing.
9. The home owner would like to lower the cellar floor to increase the usability of the space.



10. *Structural Engineering Opinion: The more recent foundation wall on the West side of the home is showing signs of foundation settlement. In other words the foundation below that section of the home is moving downward more than the adjacent foundations. The more recent CMU wall and the half height foundation/retaining wall is moving laterally due to pressure acting against the walls from water in the soil behind the wall and the soil itself(hydrostatic and lateral earth pressure). Along the East side of the home as the foundation/retaining wall continues to fail it will cause the soil below the exterior walls of the home to shift and cause vertical settlement which will adversely affect the home. The two sources of movement in the foundations of the home need to be remediated with underpinning for vertical settlement and wall buttressing and reinforcement for hydrostatic and lateral earth pressure. Finally a new water management system should be placed in the cellar to help reduce humidity and reduce the risk of further deterioration in the 1<sup>st</sup> floor framing.*
11. *Structural Engineering Opinion: The shoring beams that are currently stiffening the 1<sup>st</sup> floor framing are not properly installed as in several instances lumber is placed in contact with the soil leaving the wood framing of the home susceptible to termites. The shoring beams and posts will need to be replaced with a proper system. The other framing discrepancies noted in our visit will need to be remediated as well.*

**Recommended Actions:**

1. To remediate the foundations against vertical settlement and horizontal pressure we recommend that the foundation wall and footing be removed and replaced with a properly reinforced wall on a properly sized footing. The reason for this is twofold. First on the East side of the home the foundation of the perimeter walls needs to be lowered so it is below the influence line of the current cellar floor. Secondly removing and replacing the entire wall will provide more access to reinforce the wall with steel rebar and grout to address the horizontal forces described above. The work needs to be done in incremental sections similar to traditional underpinning.
2. Given the signs of water a new water management system will need to be proposed by the architect for the cellar.
3. The 1<sup>st</sup> floor framing will need to be remediated using normal sistering techniques. We also recommend that joist hangers be added to the connections between the wood framing members.

Sincerely,

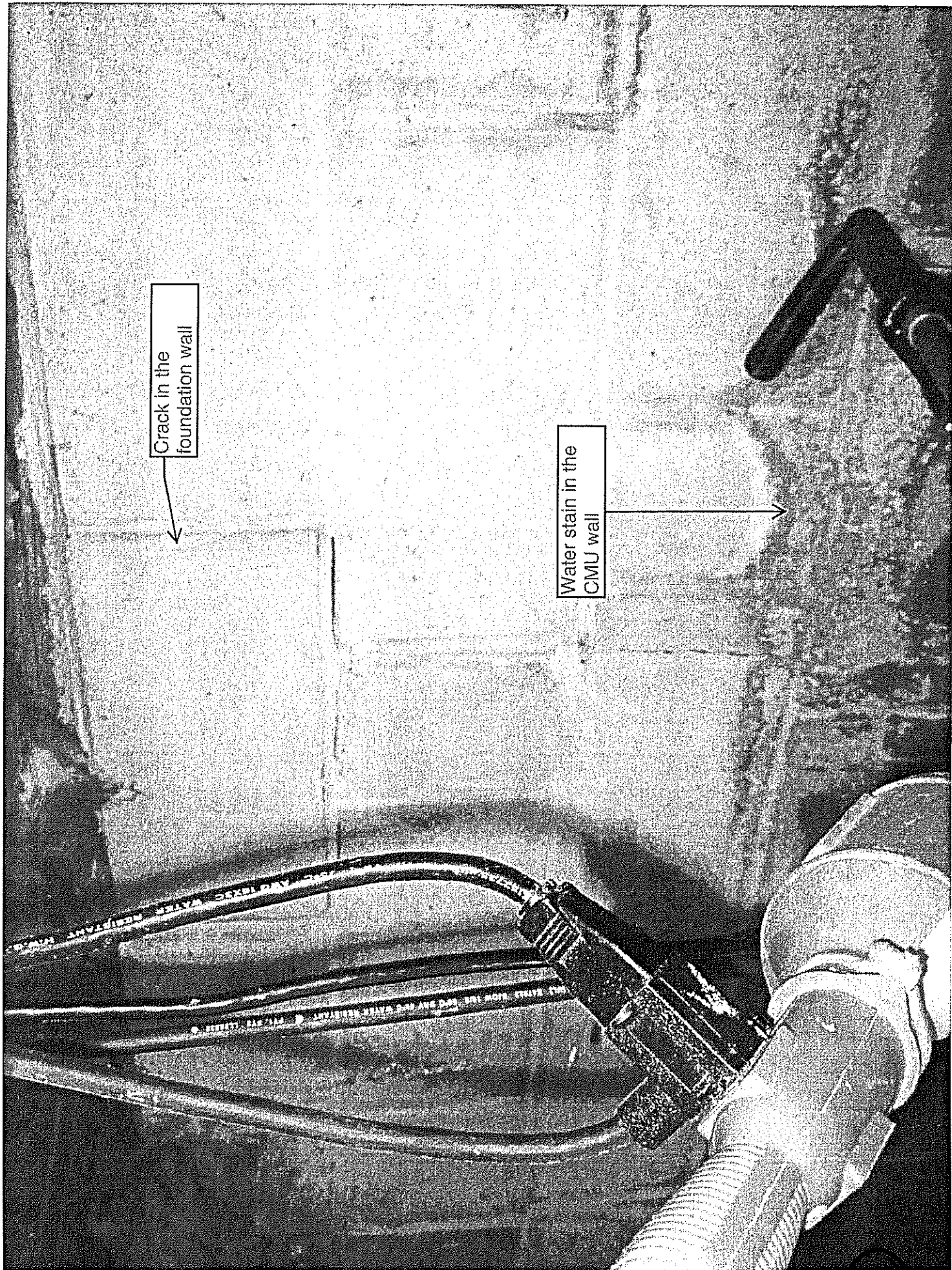
APAC Engineering, Inc.



Robert A. Wixson, PE  
President

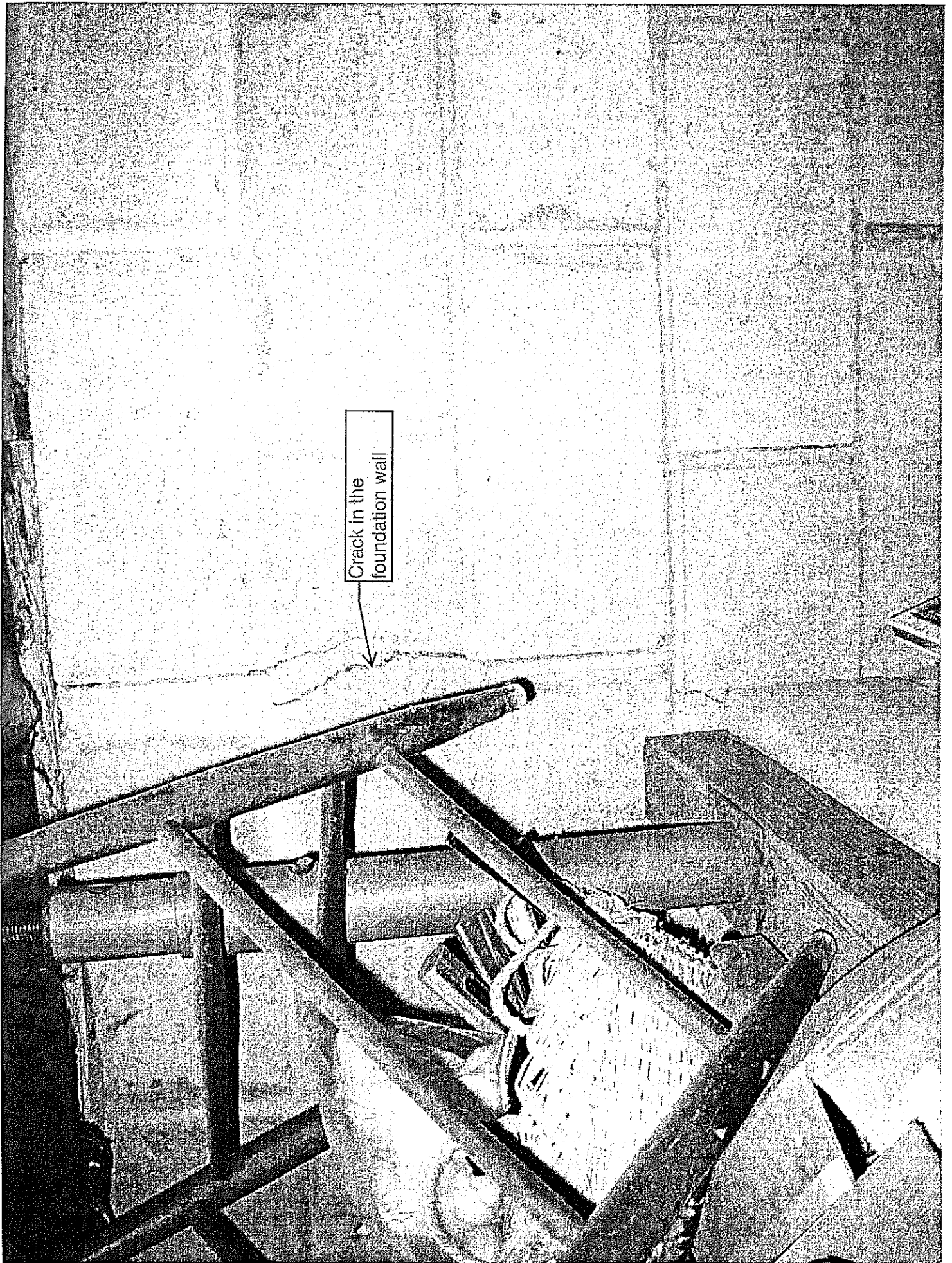
**Professional Certification.** I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/16.





Crack in the  
foundation wall

Water stain in the  
CMU wall

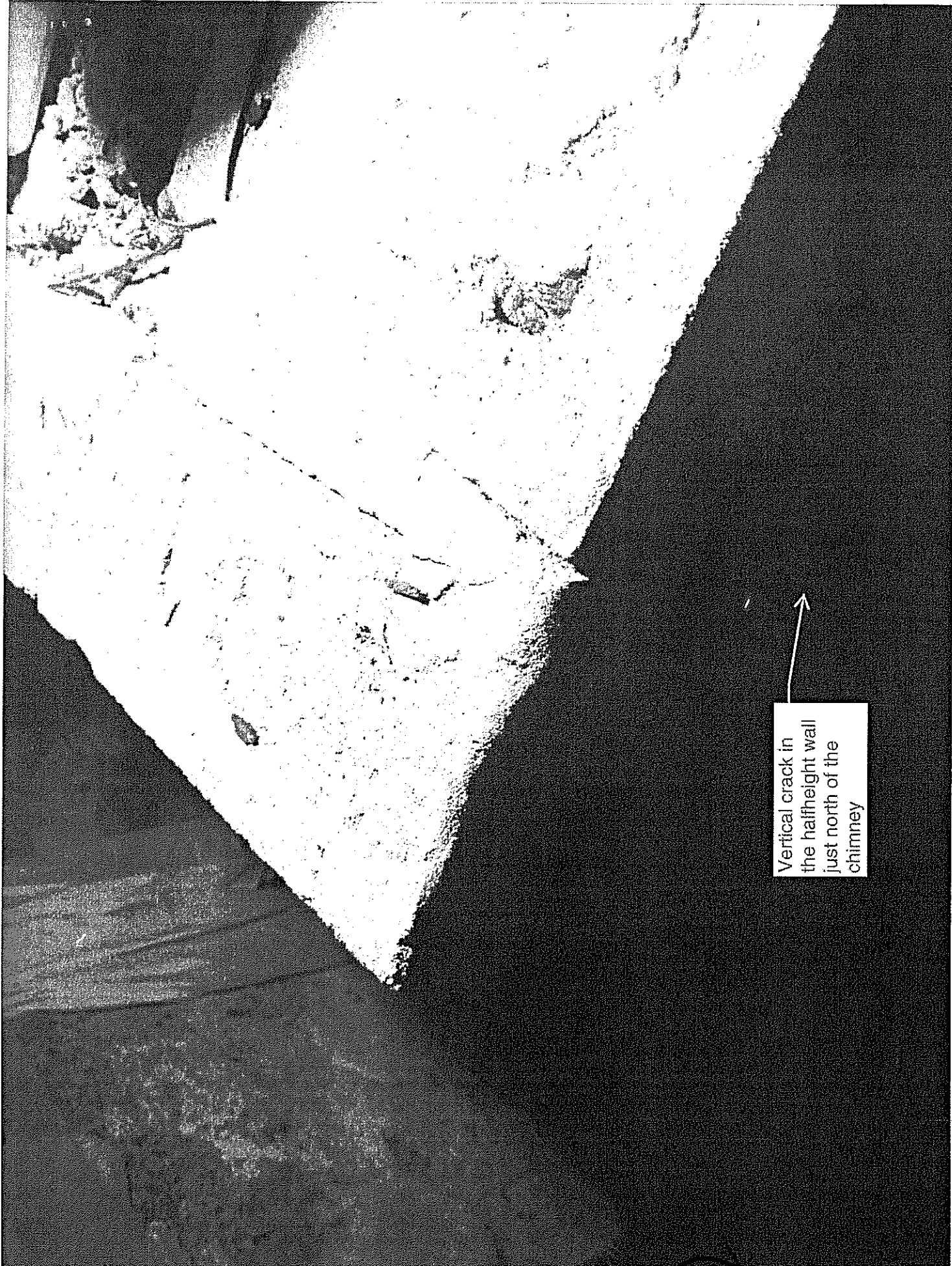




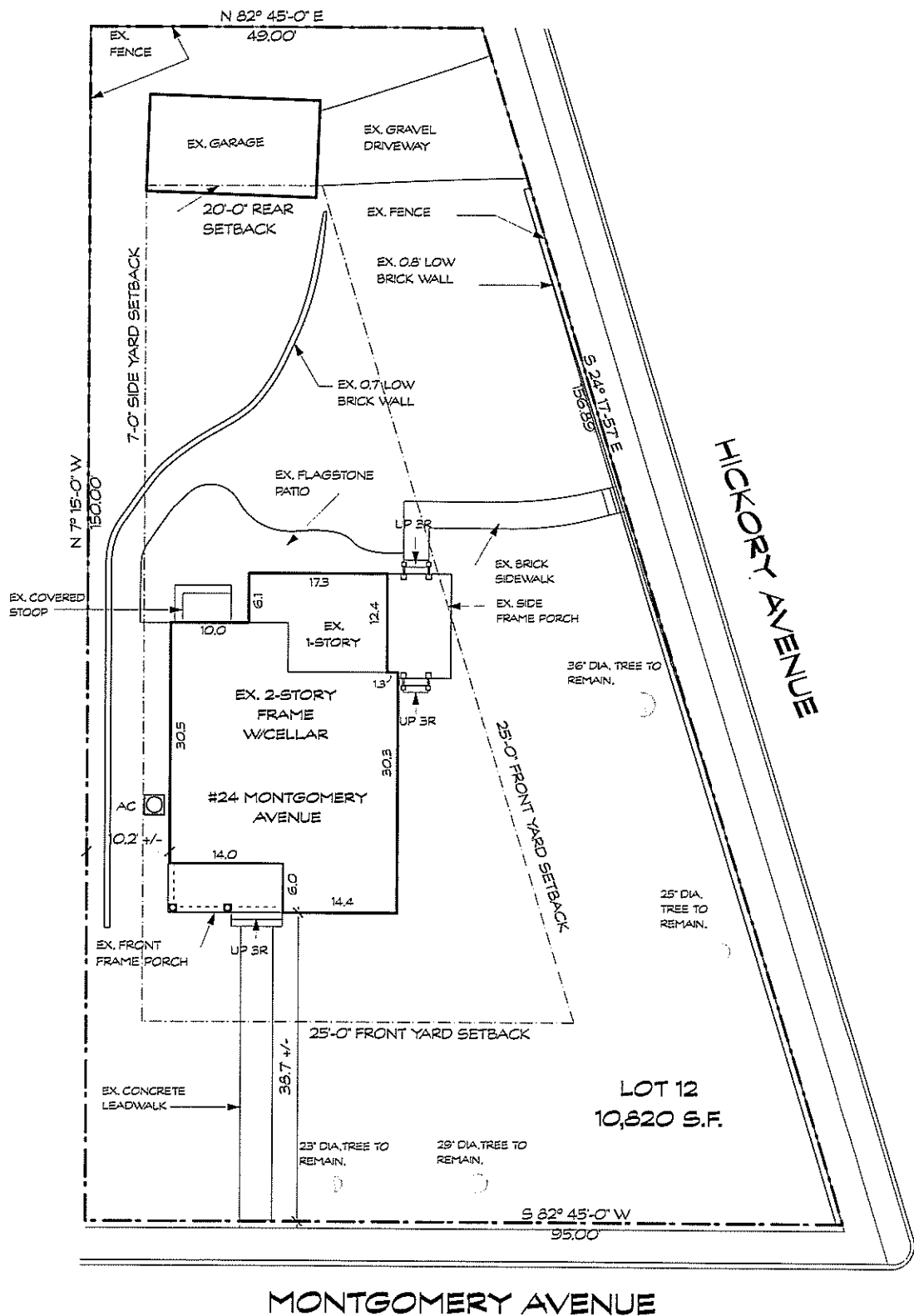








Vertical crack in  
the halfheight wall  
just north of the  
chimney



SP-1

CHRISTY - FRIEDMAN  
24 Montgomery Avenue, Takoma Park, MD 20912

BENNETT FRANK MCCARTHY  
architects, inc.

27 JULY 2016

EXISTING SITE PLAN

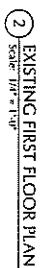
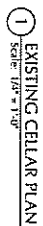
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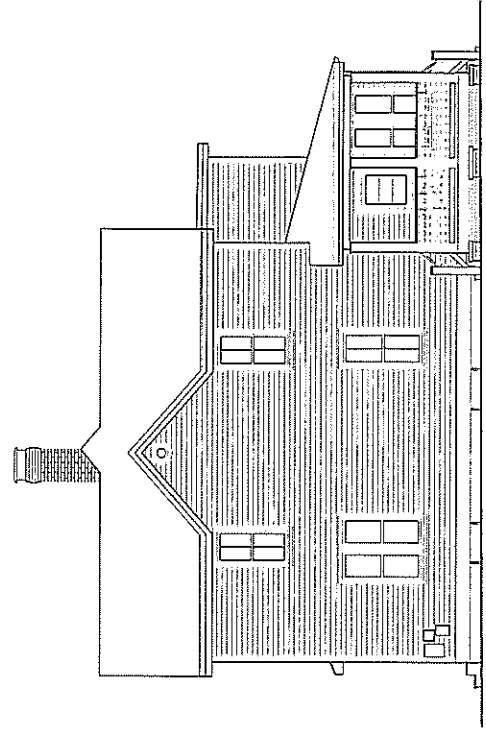
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
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31

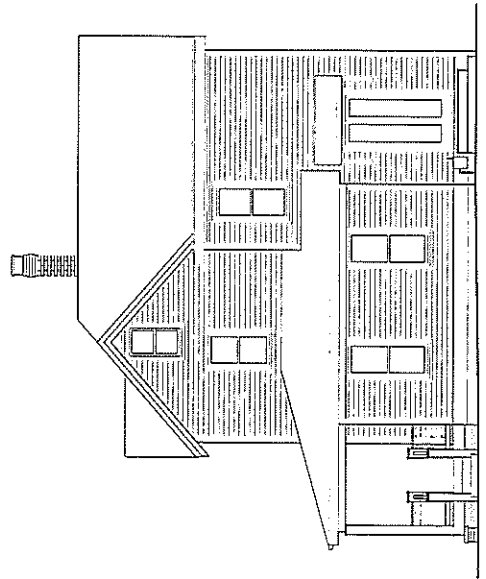




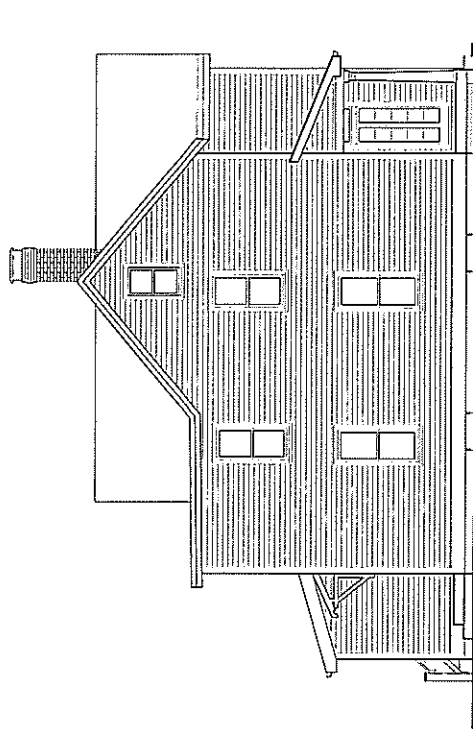




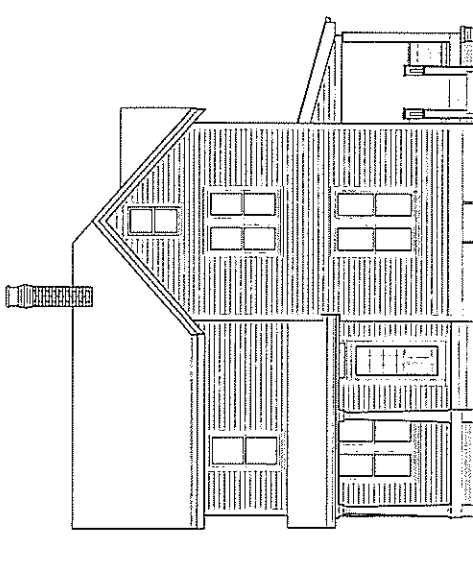
4 EXISTING SIDE ELEVATION  
Scale: 1/4" = 1'-0"



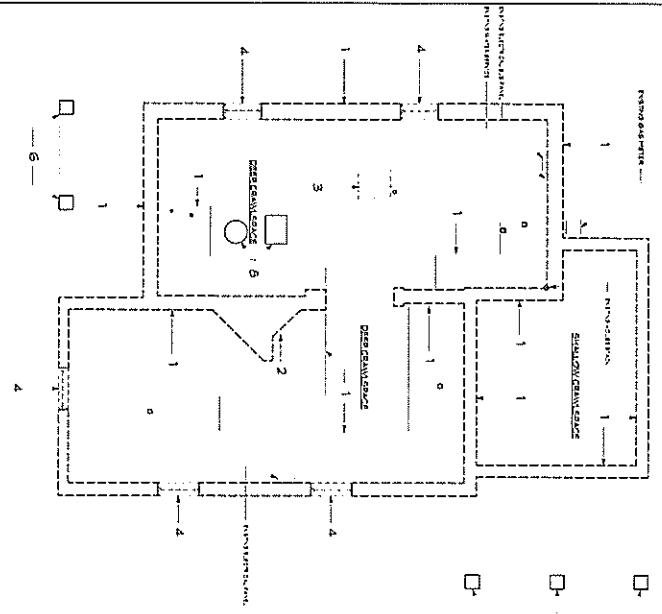
3 EXISTING REAR ELEVATION  
Scale: 1/4" = 1'-0"



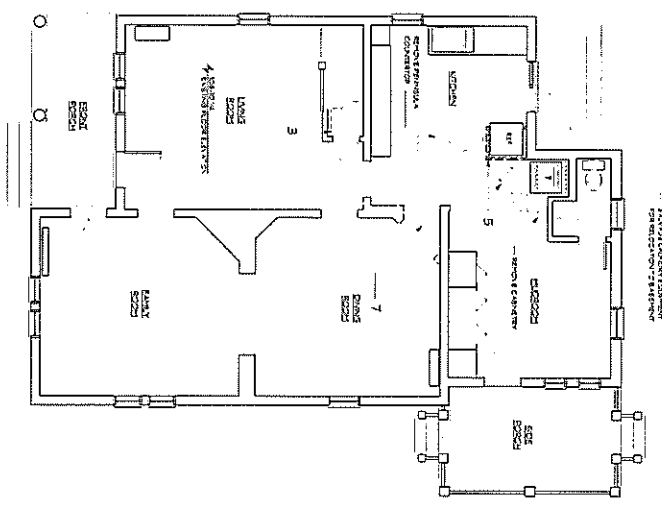
2 EXISTING SIDE ELEVATION  
Scale: 1/4" = 1'-0"



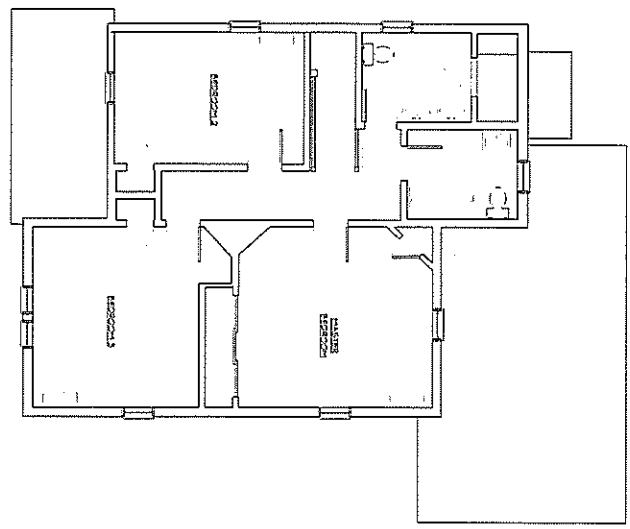
1 EXISTING FRONT ELEVATION  
Scale: 1/4" = 1'-0"



**CELLAR  
DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"



**FIRST FLOOR  
DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"



**SECOND FLOOR  
DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"

**DEMOLITION / SALVAGE NOTES:**

1. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
2. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
3. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
4. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
5. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
6. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
7. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.
8. REMOVE EXISTING FOUNDATION WALL, CELLAR EXISTING WALLS AND POURED CONCRETE FLOORS/SLABS.

WALL LEGEND	
---	EXISTING WALL
---	NEW WALL
---	DEMOLITION WALL



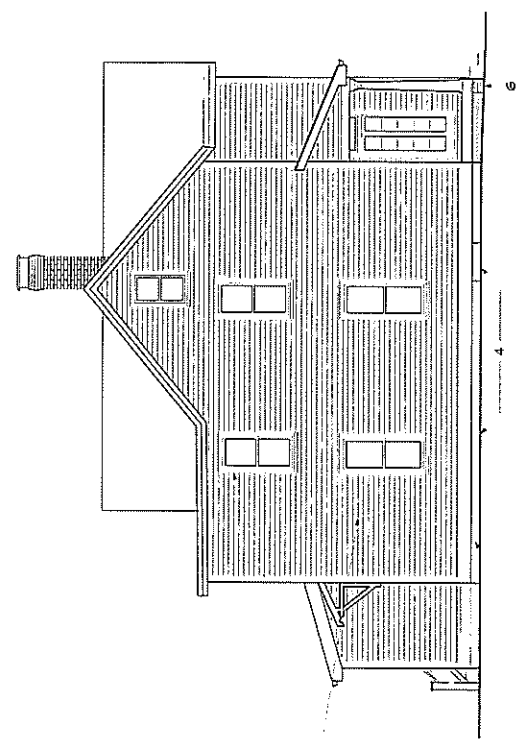
D-1

Drawing Title:  
DEMOLITION PLANS  
Scale:  
1/4" = 1'-0"

15 March 2017 MHT  
I certify that these demolition plans were prepared under the supervision of an architect or engineer who is a duly licensed professional engineer under the laws of the State of Maryland.  
License # 7832-A Expiration Date: 03/31/2021  
© 2017 Bennett Frank McCarthy Architects, Inc.

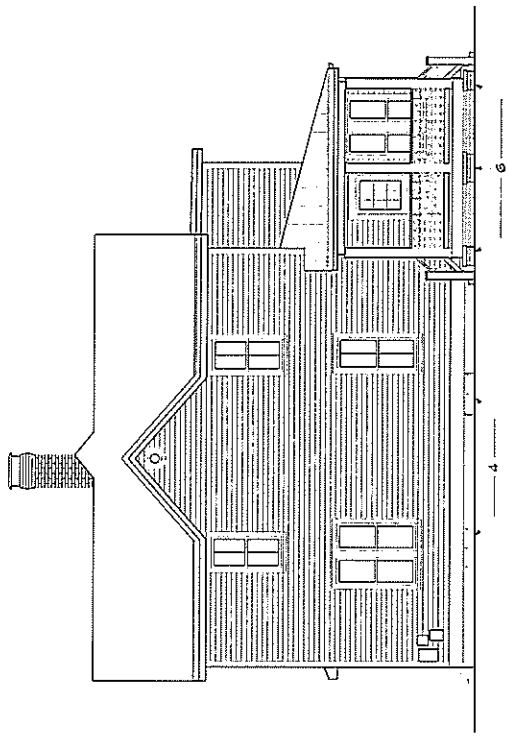
**CHRISTY FRIEDMAN**  
24 Montgomery Ave, Takoma Park, Maryland 20912  
Project # 1517

**BENNETT FRANK MCCARTHY**  
ARCHITECTS, INC.  
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2765  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

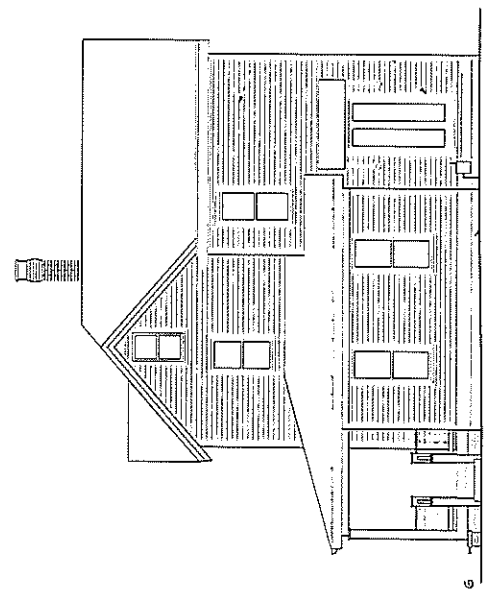


4 SIDE DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"

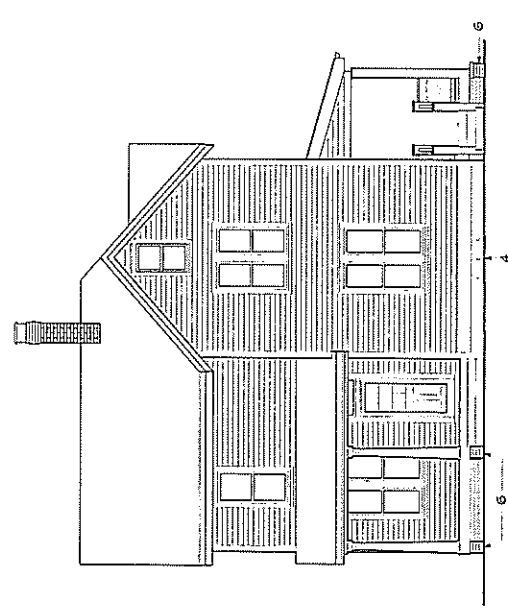
2 SIDE DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"



- DEMOLITION / SALVAGE NOTES:**
1. REMOVE EXISTING FOUNDATION WALL. CELLAR REMAINS WALLS AND FLOOR CONCRETE BUTTRESSES & SLABS
  2. REMOVE EXISTING MASONRY CHIMNEY. EXISTING STRUCTURE AT CELLAR LEVEL ONLY. SALVAGE BRICK FOR POTENTIAL DECORATIVE REUSE. PROVIDE TEMPORARY SUPPORT OF CHIMNEY ABOVE UNTIL CHIMNEY IS SUPPORTED BY NEW PERMANENT BEAMS
  3. REMOVE CELLAR STEPS TO FIRST FLOOR
  4. REMOVE WINDOW SASHES AND FRAME TYP. AT CELLAR ONLY
  5. REMOVE EXISTING DOOR AND REINFORCE FOR CABINET
  6. EX. MASONRY PORCH SUPPORTS TO REPAIR
  7. REMOVE CABINETRY AND FLOOR WALLS NEEDED TO CREATE WALKWAY / GREENING TO FLOOR RETAIN DROPPED CEILING
  8. REMOVE GAS EXISTING BOILER & HOT WATER HEATER



3 REAR DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"

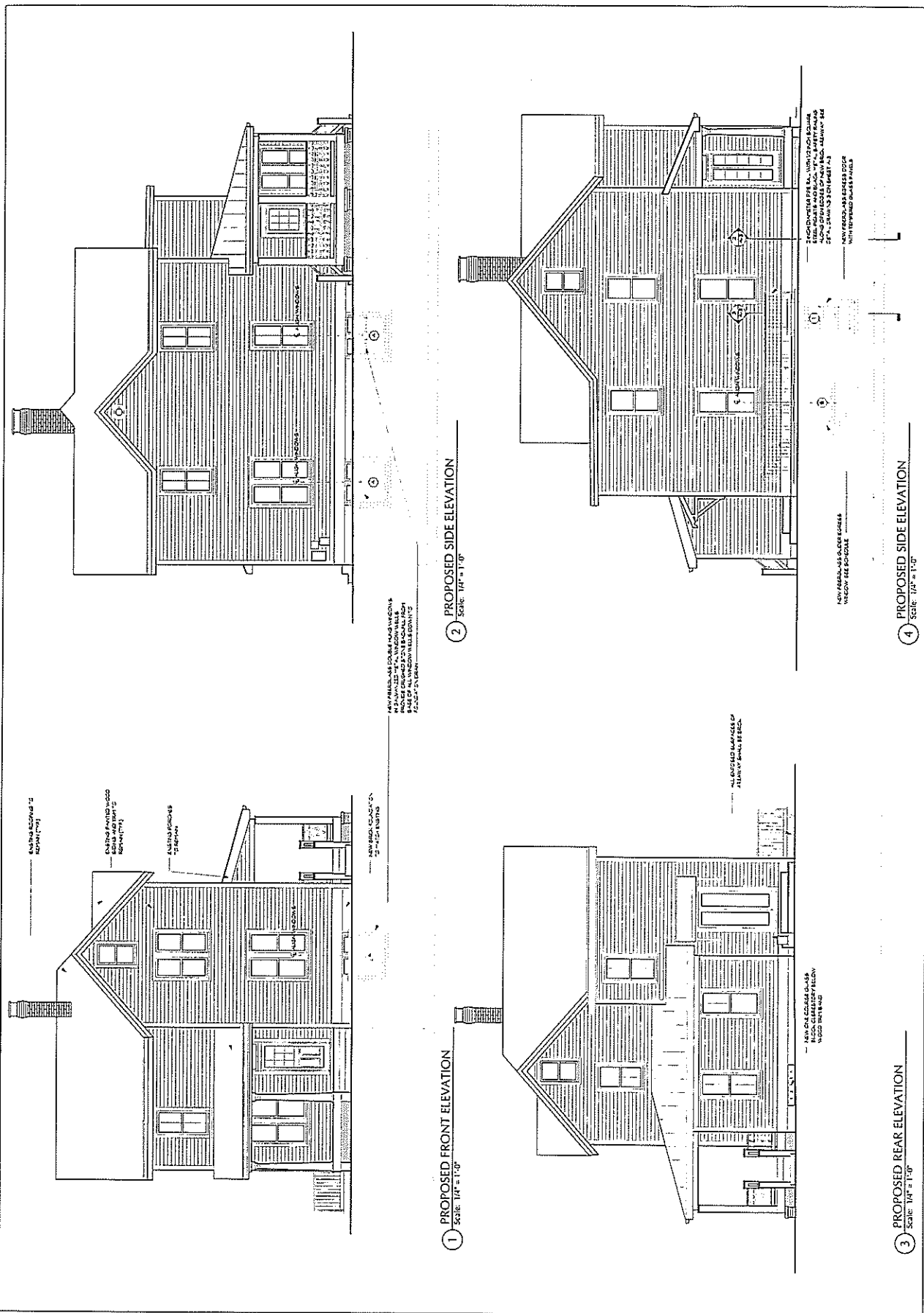


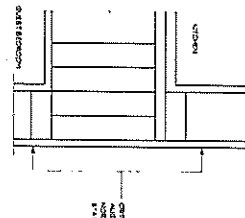
1 FRONT DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"

REMOVE EXISTING ESC. FOUNDATION (TYP.)

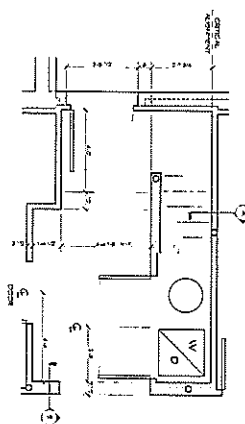
EXISTING PAINTED WOOD SASHES & FRAME (TYP.)

[illegible][illegible]

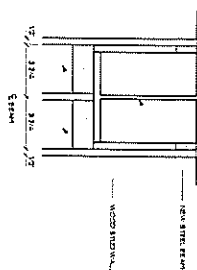




**A** BEAM/WALL ALIGNMENT  
Scale: 3/4" = 1'-0"

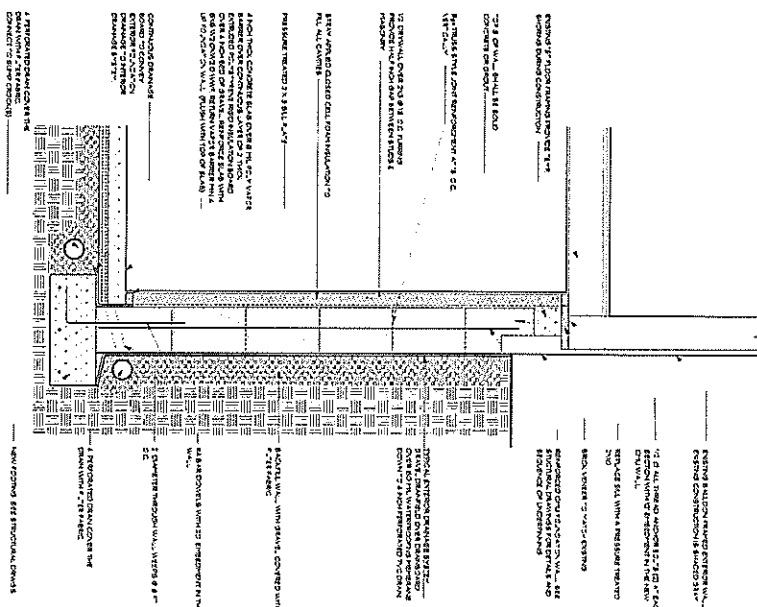


**1** STAIR HALL PLAN  
Scale: 3/4" = 1'-0"

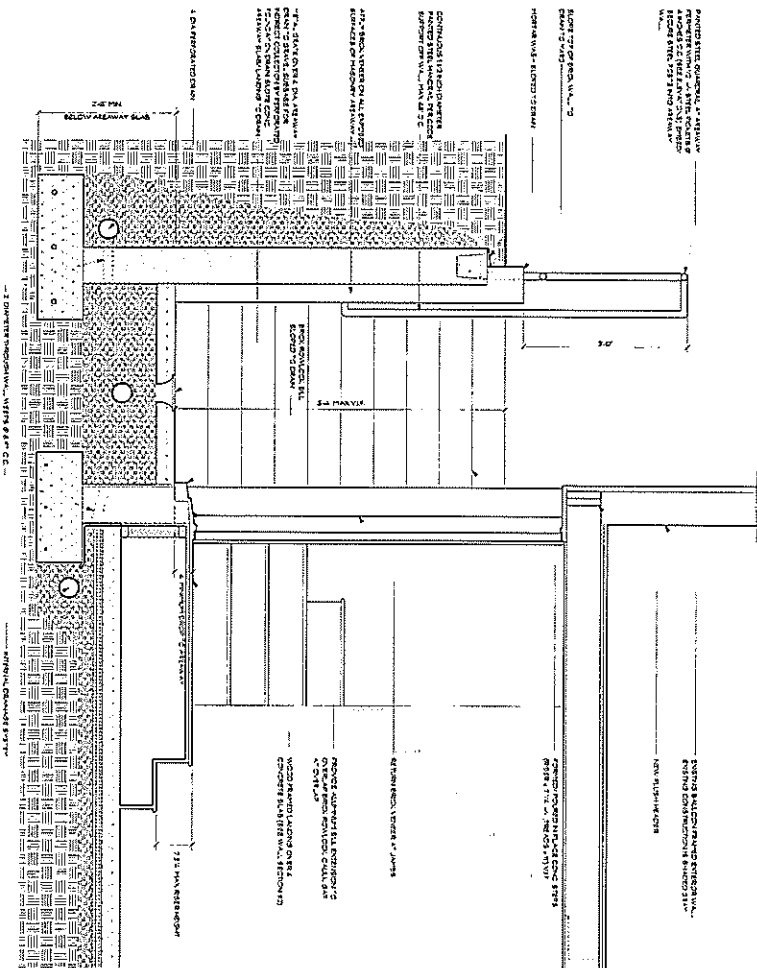


**B** STEEL BEAM  
Scale: 3/4" = 1'-0"

**2** WALL SECTION  
Scale: 1" = 1'-0"



**3** WALL SECTION  
Scale: 1" = 1'-0"



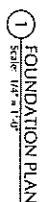
A-3

Drawing Title:  
WALL SECTIONS & DETAILS  
Scale:  
AS NOTED

15 March 2017 MHT  
I certify that this document represents the work of the firm of MHT Architects, Inc. as of the date of this document.  
Signature: M. H. T. 1533-4  
Bennett Frank McCarthy Architects, Inc.

CHRISTY FRIEDMAN  
24 Montgomery Ave, Takoma Park, Maryland 20912  
Project # 1517

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[illegible][illegible]

FLOOR PLAN

PLUSH

PLUSH

[illegible][illegible]

Year	1970	1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1970	1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

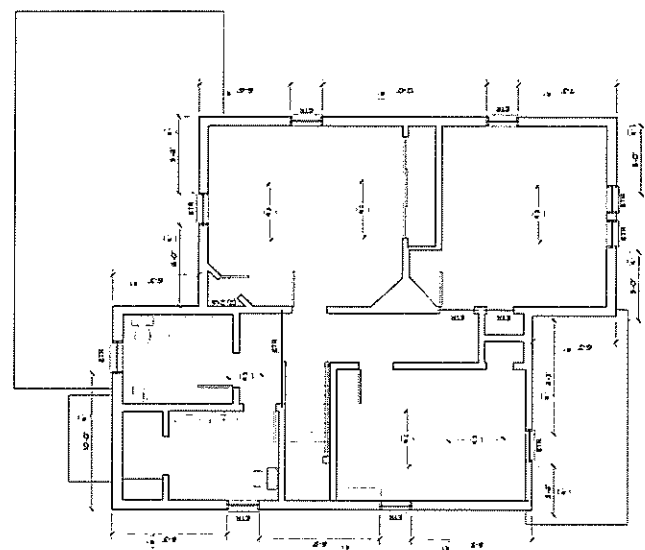
[illegible]

1. THE PARTIAL OF ALL DOWNS SHALL
2. ALL WAGES BE ASSIGNED OF 100
3. ALL WAGES BE ASSIGNED OF 100
4. ALL WAGES BE ASSIGNED OF 100
5. ALL WAGES BE ASSIGNED OF 100
6. ALL WAGES BE ASSIGNED OF 100
7. ALL WAGES BE ASSIGNED OF 100
8. ALL WAGES BE ASSIGNED OF 100
9. ALL WAGES BE ASSIGNED OF 100
10. ALL WAGES BE ASSIGNED OF 100
11. ALL WAGES BE ASSIGNED OF 100
12. ALL WAGES BE ASSIGNED OF 100
13. ALL WAGES BE ASSIGNED OF 100
14. ALL WAGES BE ASSIGNED OF 100
15. ALL WAGES BE ASSIGNED OF 100



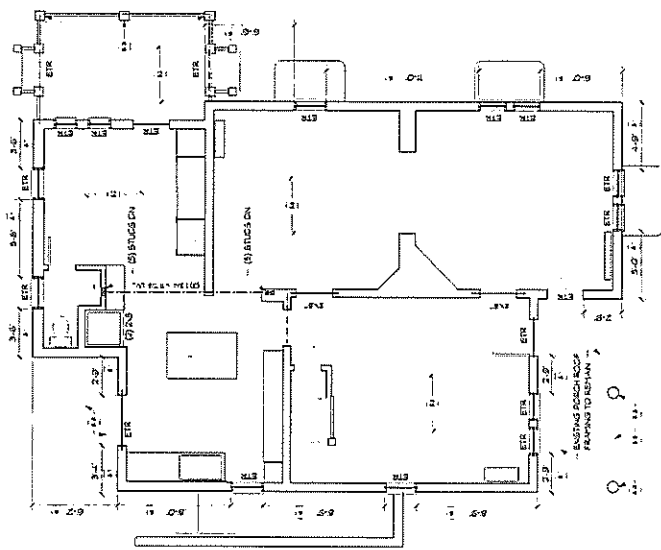


2 ROOF FRAMING PLAN / 2ND FLOOR WIND BRACING PLAN  
Scale: 1/4" = 1'-0"



- |    |                             |
|----|-----------------------------|
| R1 | EXISTING WOOD BRACING PANEL |
| R2 | EXISTING ALTH FRAMING       |
| R3 | EXISTING ROOF FRAMING       |

1 2ND FLOOR FRAMING / 1ST FLOOR WIND BRACING PLAN  
Scale: 1/4" = 1'-0"



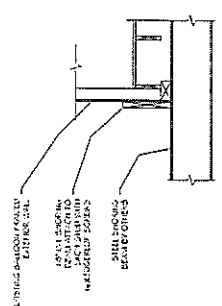
- |    |                             |
|----|-----------------------------|
| 51 | EXISTING SAND BRACING PANEL |
| 52 | EXISTING ROOF FRAMING       |
| 53 | NOT USED                    |

[illegible][illegible]

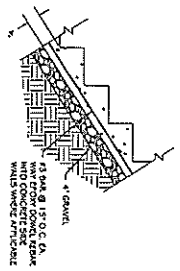
1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30"
2. ALL REINFORCING SHALL BE SUPPLIED BY
3. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
4. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
5. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
6. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
7. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
8. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
9. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
10. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
11. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
12. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
13. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
14. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY
15. ALL REINFORCING SHALL BE ASSURED TO BE SUPPLIED BY

with various left.

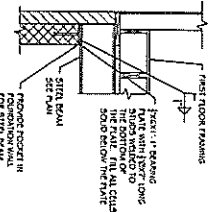
1. WALLS GRACED PER AISC A360-10 AND AISC 1.5 "UNWEIGHED DESIGN".
2. THE JOINT IS BRACED BY EXISTING WOOD SHEAR WALLS WHICH HAVE BEEN VERIFIED TO BE CAPABLE OF SAFELY SUPPORTING THE LATERAL LOADS PRESCRIBED IN THE AISC. THEREFORE NO NEW WELD BRACING WORK IS REQUIRED.



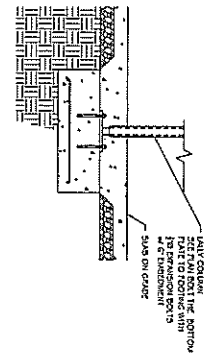
### Typical Shoring Detail



Slab on Grade Stair Detail



Typ. Steel Beam to CMU Foundation Wall Detail



Typ. Lally Column to Footing Detail

Typical Wood Beam to Lally Column Detail

Typical Steel Beam to Lally Column Detail

