

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	21 Columbia Avenue	Meeting Date:	4/19/17
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	4/12/17
Review:	HAWP	Public Notice:	4/5/17
Case Number:	37/03-17Y	Tax Credit:	None
Applicant:	Dean Leckie & Beth Dunford	Staff:	Dan Bruechert
Proposal:	Deck installation and hardscape alteration		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with two (2) conditions** the HAWP application.

- A tree inspection must be carried out and the results must be submitted to staff, with final review and approval delegated to staff.
- Details for the deck railing were not provided with the application. Details for the railing need to be submitted to Staff with final review and approval delegated to Staff.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District (Monroe House)
STYLE: Four Square-Colonial Revival
DATE: 1908

PROPOSAL:

The applicant is proposing the construction of a rear deck, projecting from the existing patio, and to construct hardscape features to prevent erosion in the rear yard of 21 Columbia Avenue. Neither of these elements will be visible from the public right-of-way.

Currently there is a concrete slab patio in the rear yard. The proposed deck will connect to the existing patio and extend into the rear yard. The deck will not connect to the historic house. Due to the rearward slope of the lot, the deck will be several feet above grade to the rear. The proposed deck and its supports will be constructed using wood and is in keeping with the character of the rear yard. The applicant has requested a tree assessment from the City of Takoma, however, at the time of the Staff review, that has not yet been carried out. Additionally, a deck at this height will require a railing to comply with building codes. The details for this railing were not included with the application materials and must be supplied to Staff with final authority for approval delegated to Staff.

In addition to the construction of the deck, the applicant is proposing to construct a boulder wall to the south of the deck. This wall will provide some measure of erosion control, as it will retain the slope of the yard, but will also be a decorative element consistent with landscaping features. This change should be approved as a matter of course.

STAFF RECOMMENDATION:

_____ Approval
X Approval with two (2) conditions

- A tree inspection must be carried out and the results must be submitted to staff, with final review and approval delegated to staff.
- Details for the deck railing were not provided with the application. Details for the railing need to be submitted to Staff with final review and approval delegated to Staff.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

x 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

x 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

_____ 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

_____ 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

_____ 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

_____ 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Dean_W_Leckie@yahoo.com Contact Person: Dean Leckie
Tax Account No.: 01067294 Daytime Phone No.: 202-870-1852
Name of Property Owner: Dean Leckie and Beth Dunford Daytime Phone No.: 202-870-1852
Address: 21 Columbia Ave. Takoma Park MD 20912
Contractor: SDF Builders, LLC Phone No.: 301-538-2779
Contractor Registration No.: 79420
Agent for Owner: Dean Leckie Daytime Phone No.: 202-870-1852

LOCATION OF BUILDING/PREMISE

House Number: 21 Street: Columbia Ave.
Town/City: Takoma Park Nearest Cross Street: Hickory Ave.
Lot: P20 Block: 18 Subdivision: 0025
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable.

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

3/21/17 Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

#793256

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family house built in 1910. Pebble dash stucco exterior and white trim.
Elevated front porch with doric columns. Flagstone patio at rear of house.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construct wood deck at back of house. Deck will not be attached to house. Deck
will not be visible from front of house or street.

Takoma Park Tree Impact Assessment has been requested.

Wood to be purchased from Forest Stewardship Council (FSC) certified supplier.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(4)

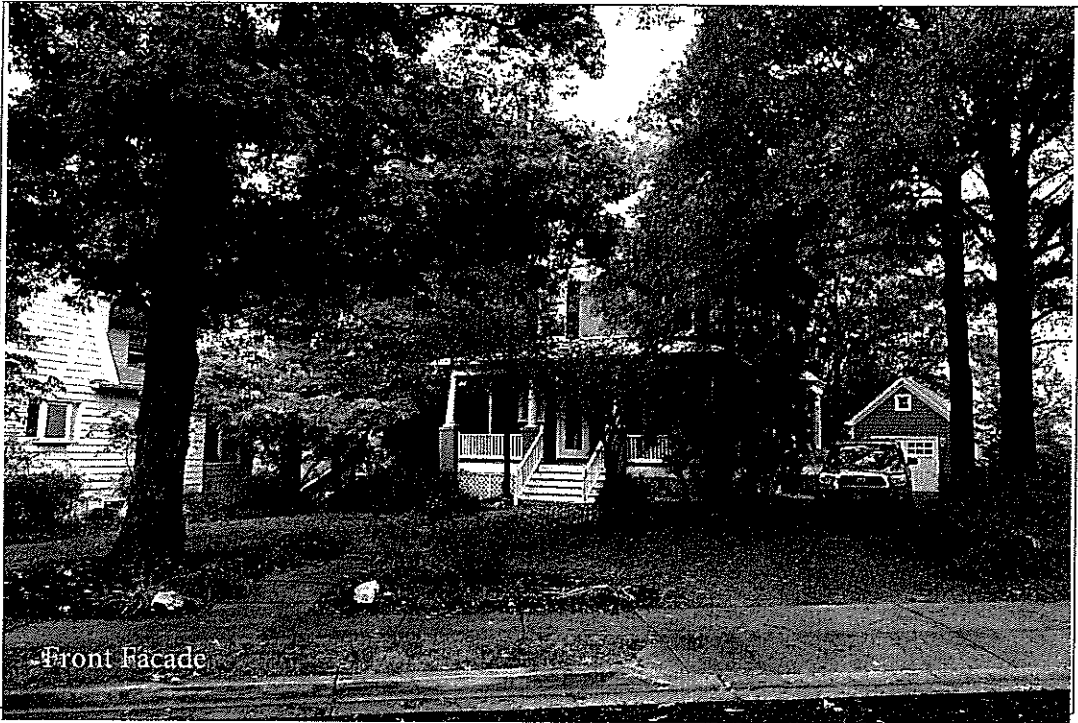
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Dean Leckie and Beth Dunford 21 Columbia Ave. Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Reginald Cain 19 Columbia Ave. Takoma Park, MD 20912</p>	<p>Lisa Kiely 3 Hickory Ave. Takoma Park, MD 20912</p>
<p>Karl and Ruth Pitt 23 Columbia Ave. Takoma Park, MD 20912</p>	<p>Carol Kincaid 5 Hickory Av. Takoma Park, MD 20912</p>
<p>Kenneth Gedling 20 Columbia Ave. Takoma Park, MD 20912</p>	<p>Teresa Marie Smith 7 Hickory Ave. Takoma Park, MD 20912</p>

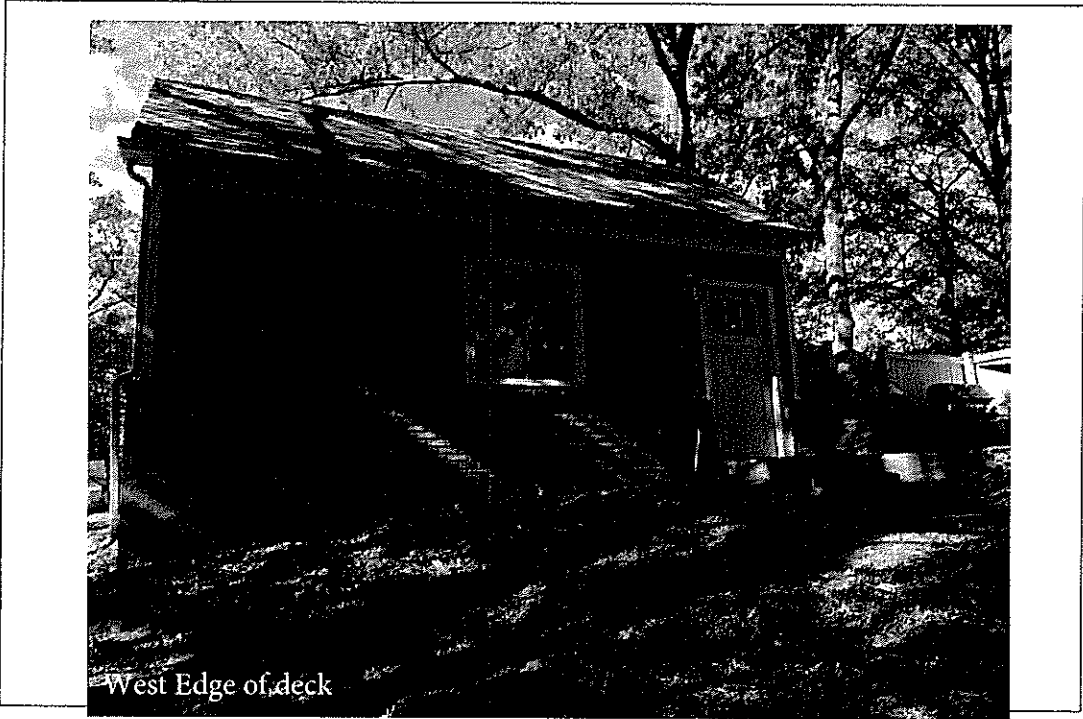
Jan Louise Deardorff
 22 Columbia Ave.
 Takoma Park, MD
 20912 Mailing address:
 4310 Kentbury Dr.
 Bethesda, MD 20814

5

Existing Property Condition Photographs (duplicate as needed)



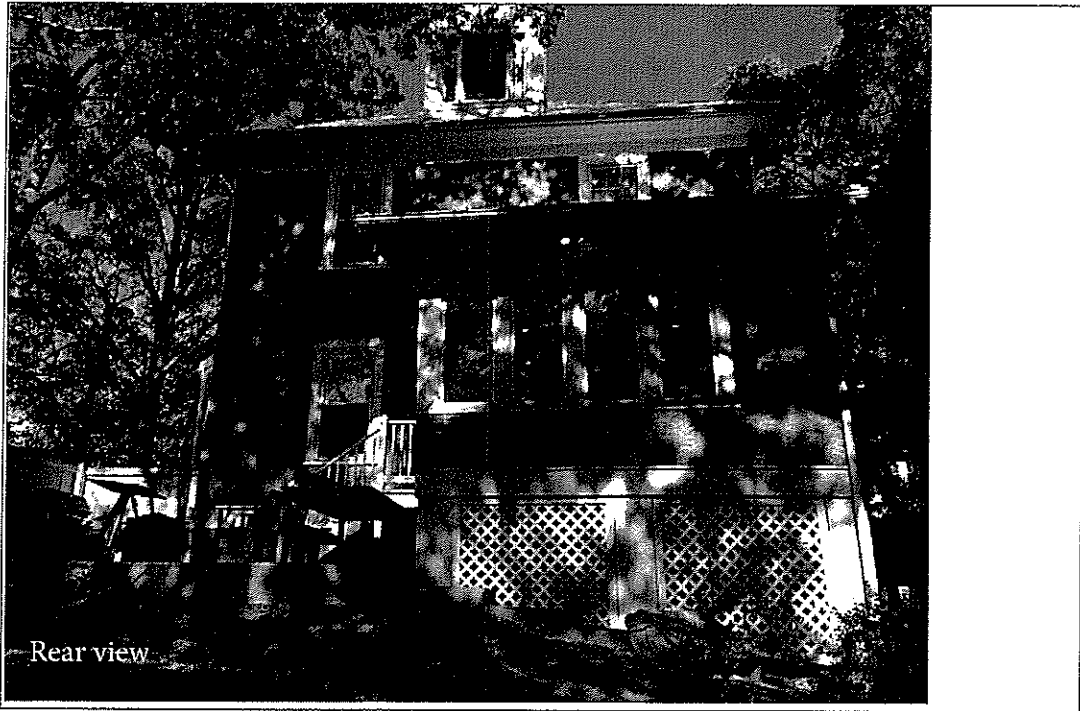
Detail: _____



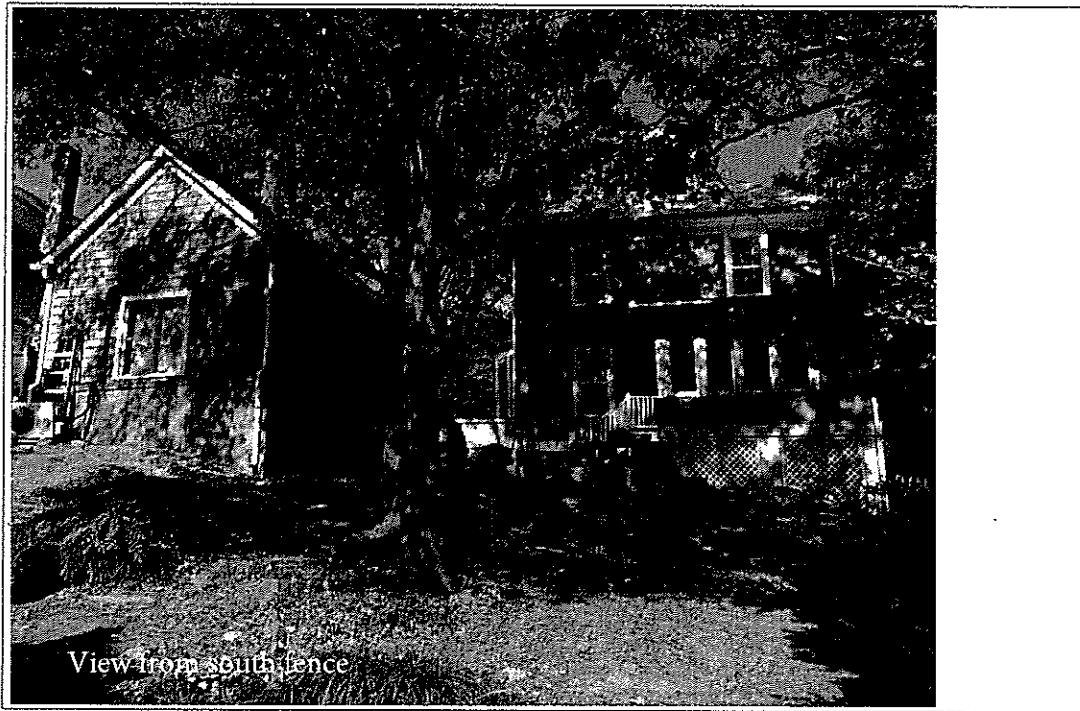
Detail: _____

Applicant: _____

Existing Property Condition Photographs (duplicate as needed)



Detail: _____



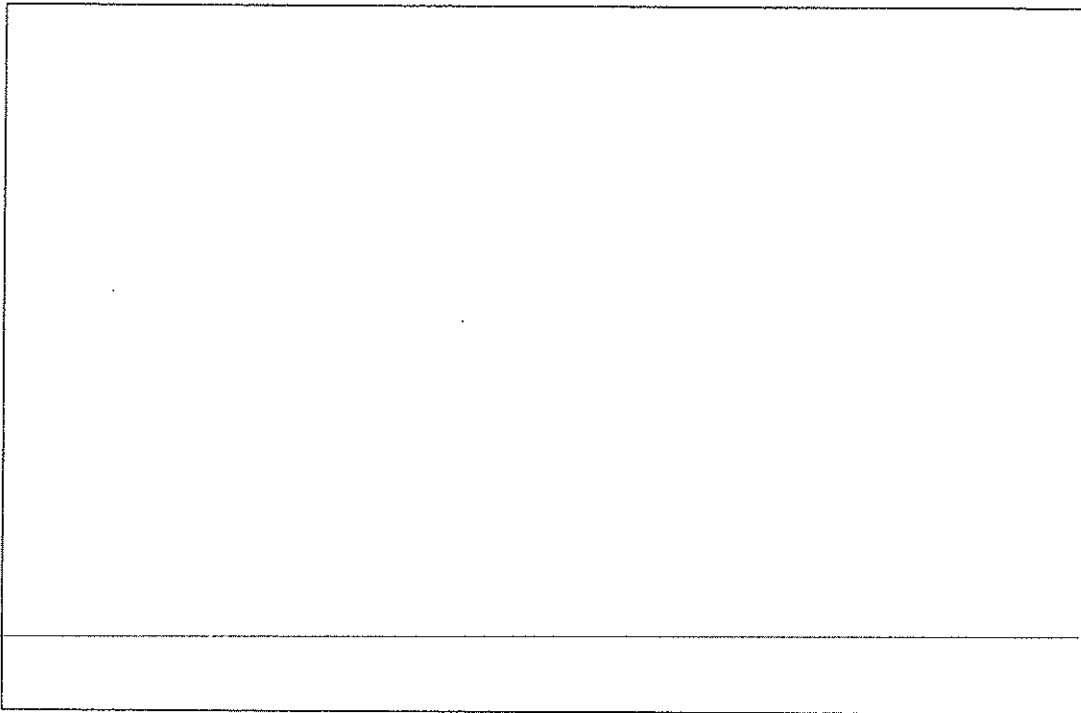
Detail: _____

Applicant: _____

Existing Property Condition Photographs (duplicate as needed)

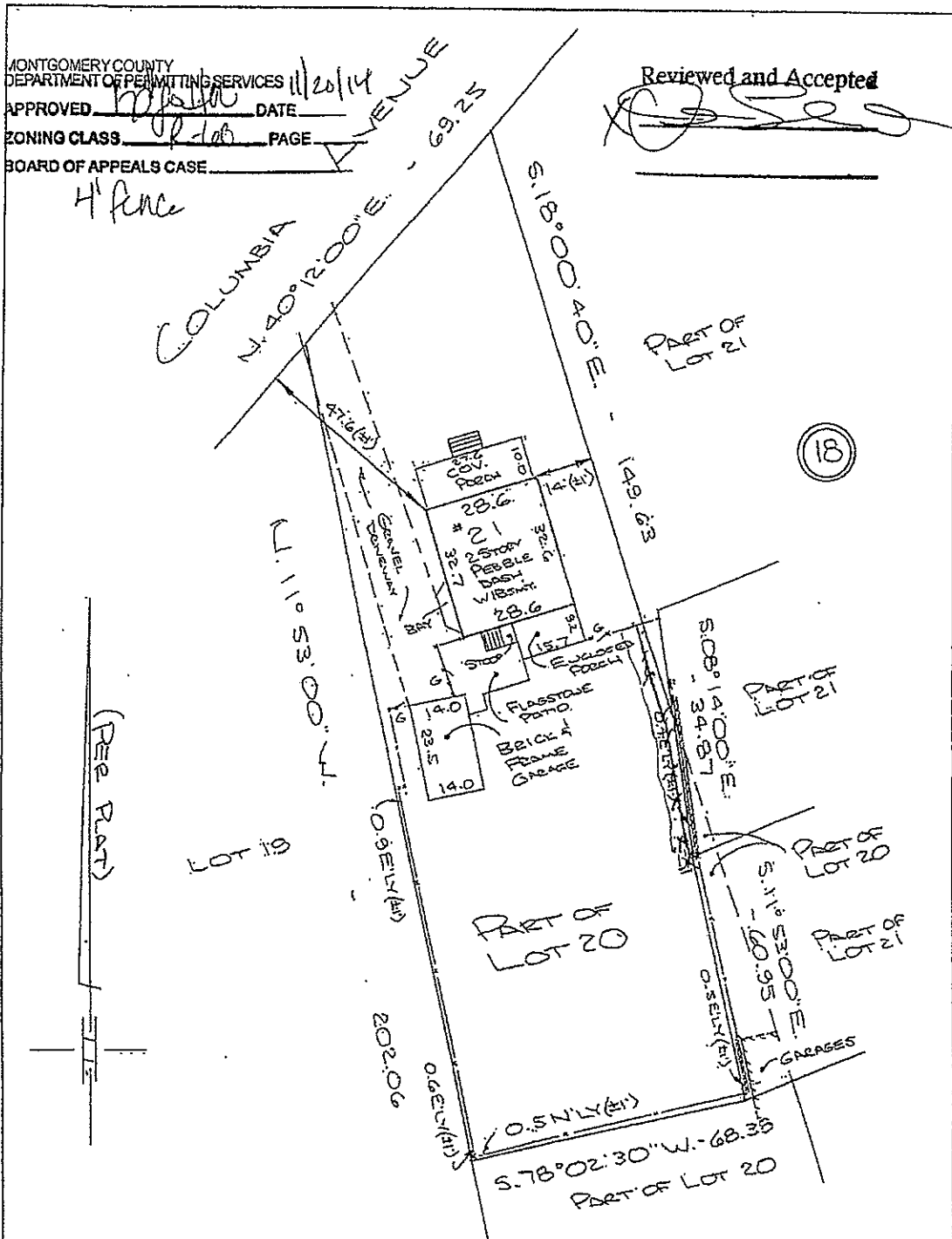


Detail: _____



Detail: _____

Applicant: _____



MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 APPROVED [Signature] DATE 11/20/14
 ZONING CLASS [Signature] PAGE _____
 BOARD OF APPEALS CASE _____

Reviewed and Accepted
[Signature]

18

Capitol Surveys, Inc.
 10762 Rhode Island Avenue,
 Beltsville, Maryland, 20705
 Phone 301-931-1350
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title and securing financing or refinancing.

LOCATION DRAWING
 PART OF LOT 20 BLOCK 18
 B.F. GILBERT'S ADDITION TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND.
 Recorded in Plat Book, A Plat 2 Scale 1" = 30'
 CASE: BE-14-3670 FILE: 100203
 DATE: SEPTEMBER 30, 2014

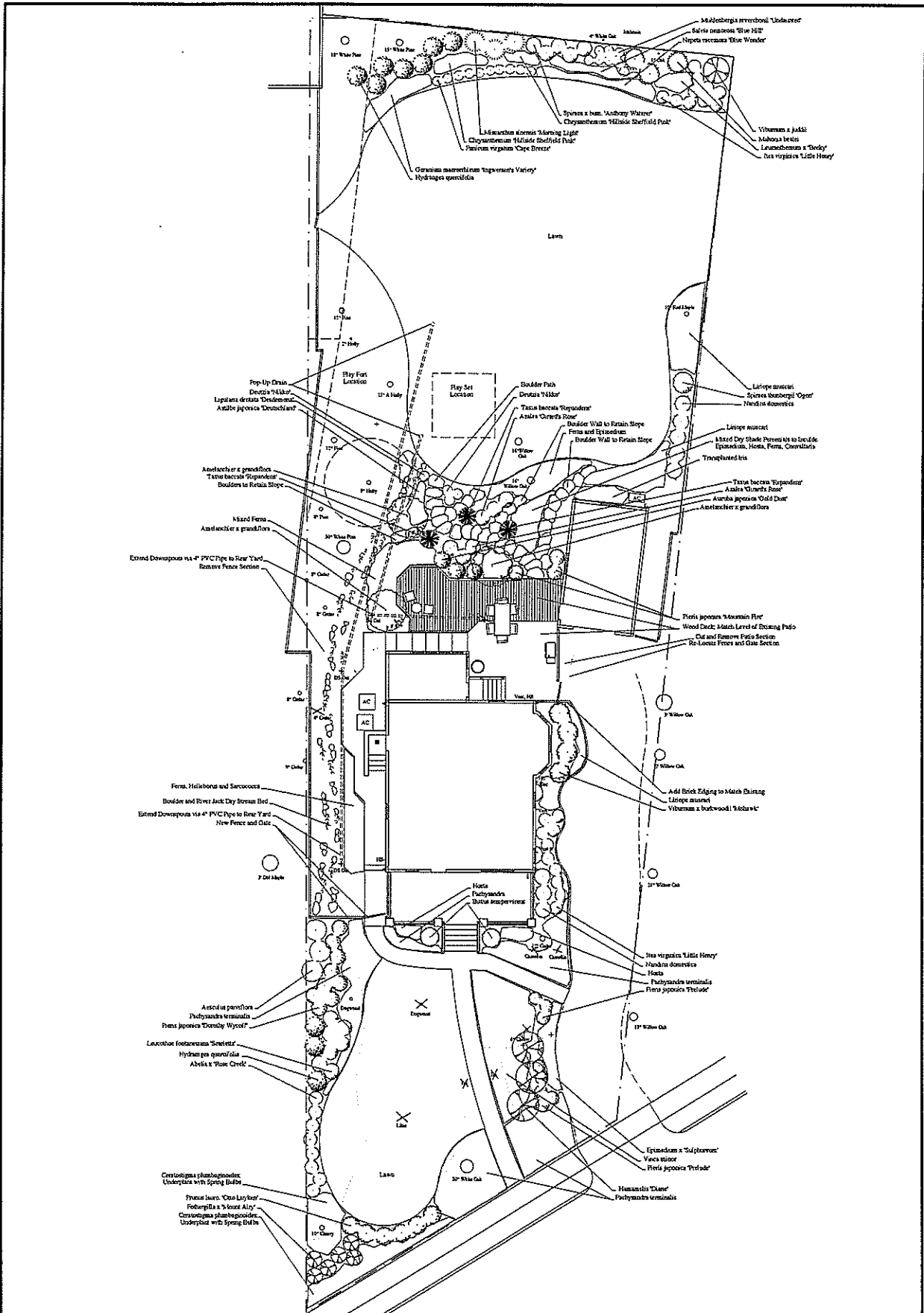
I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.
[Signature]
 Edward L. Lopez, Jr.
 Maryland Property Line Surveyor No. 522
 License Current Through February 13, 2015


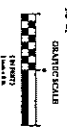

9

Plans and Elevations Copy 1

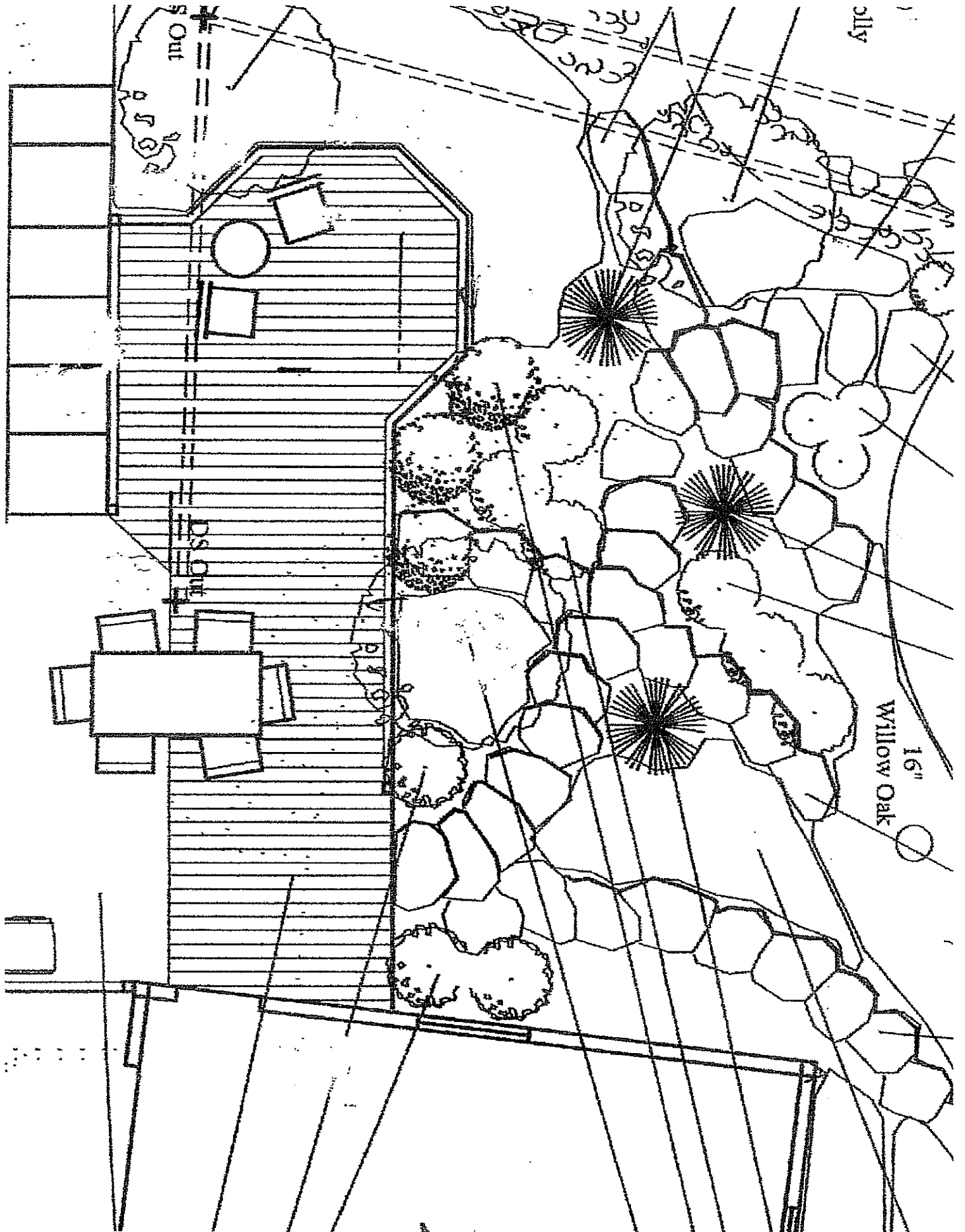
10

Plans and Elevations

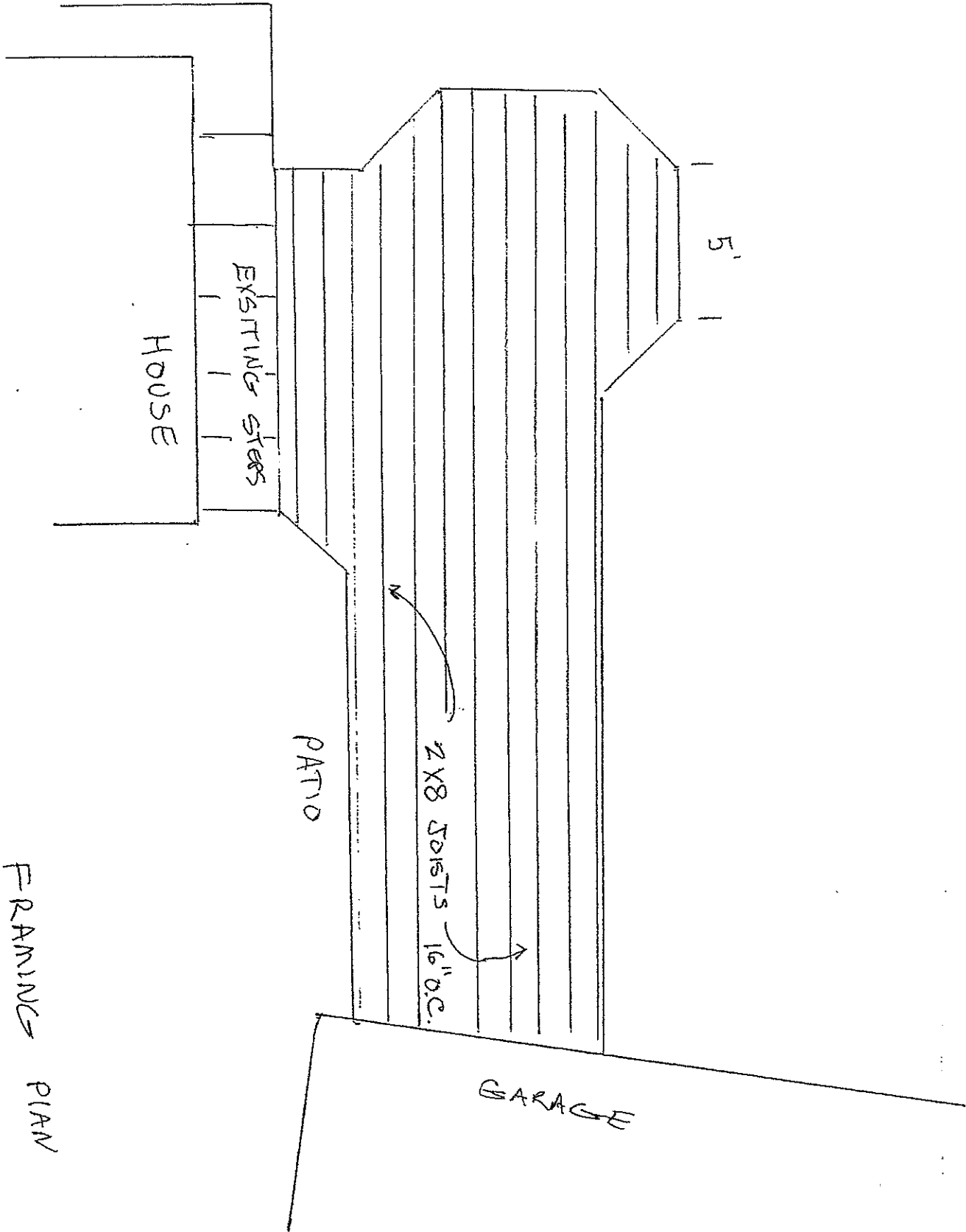


<p>CLIENT NAME: LECKIE-DUNBAR RESIDENCE</p> <p>STREET ADDRESS: 21 Columbia Ave</p> <p>CITY, STATE, ZIP: Takoma Park, MD</p>	 <p>SCALE: 1/8" = 1'</p>  <p>DATE: 11/15/18</p>	<p>Installer must verify all measurements on site.</p> <p><small>THESE PLANS AND ELEVATIONS ARE THE PROPERTY OF MCKENNA LANDSCAPE ARCHITECTS AND SHALL REMAIN THE PROPERTY OF MCKENNA LANDSCAPE ARCHITECTS. NO PART OF THESE PLANS OR ELEVATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCKENNA LANDSCAPE ARCHITECTS. THESE PLANS AND ELEVATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MCKENNA LANDSCAPE ARCHITECTS.</small></p>	 <p>MCKENNA LANDSCAPE ARCHITECTS 301 424-4541 301 424-4542 301 424-4543 301 424-4544 301 424-4545 301 424-4546 301 424-4547 301 424-4548 301 424-4549 301 424-4550 301 424-4551 301 424-4552 301 424-4553 301 424-4554 301 424-4555 301 424-4556 301 424-4557 301 424-4558 301 424-4559 301 424-4560 301 424-4561 301 424-4562 301 424-4563 301 424-4564 301 424-4565 301 424-4566 301 424-4567 301 424-4568 301 424-4569 301 424-4570</p>
---	---	--	---



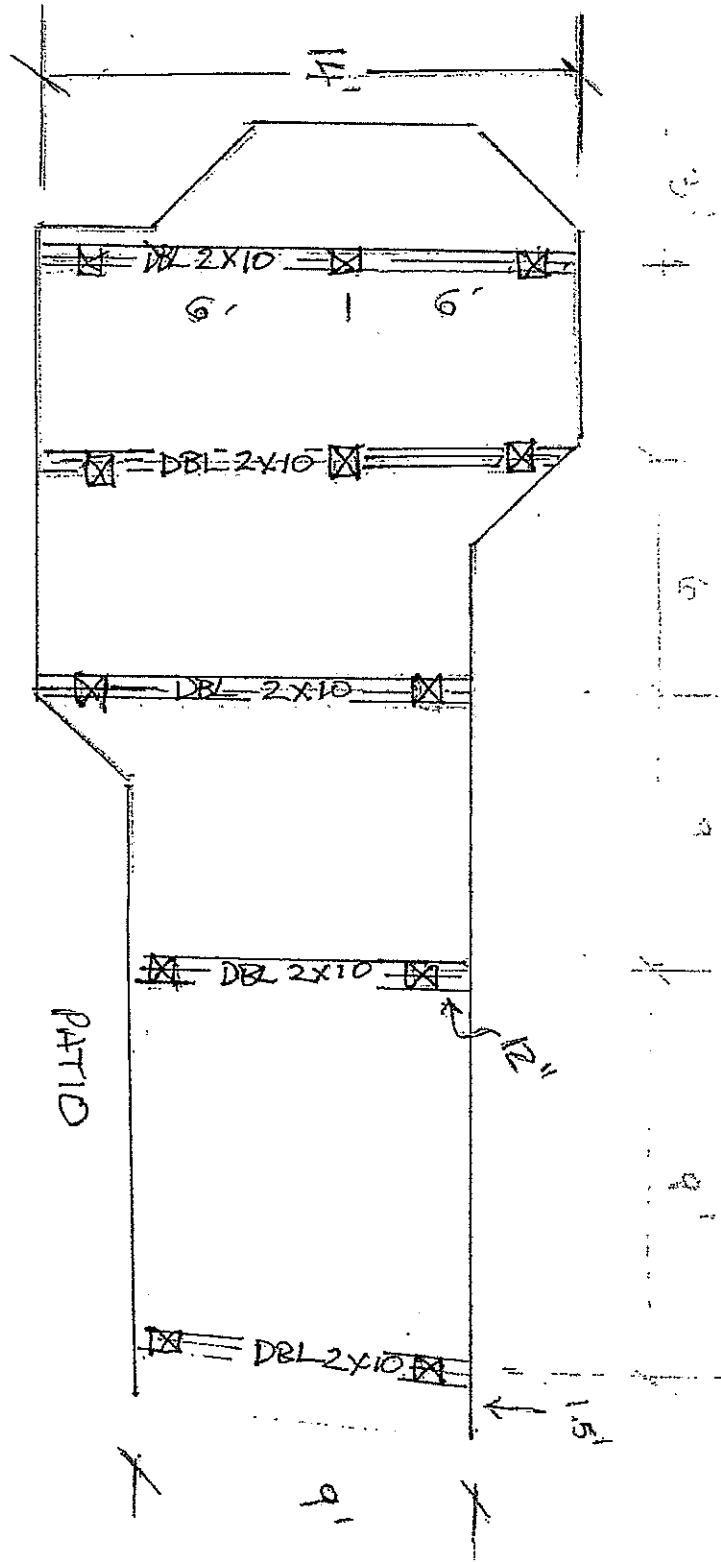


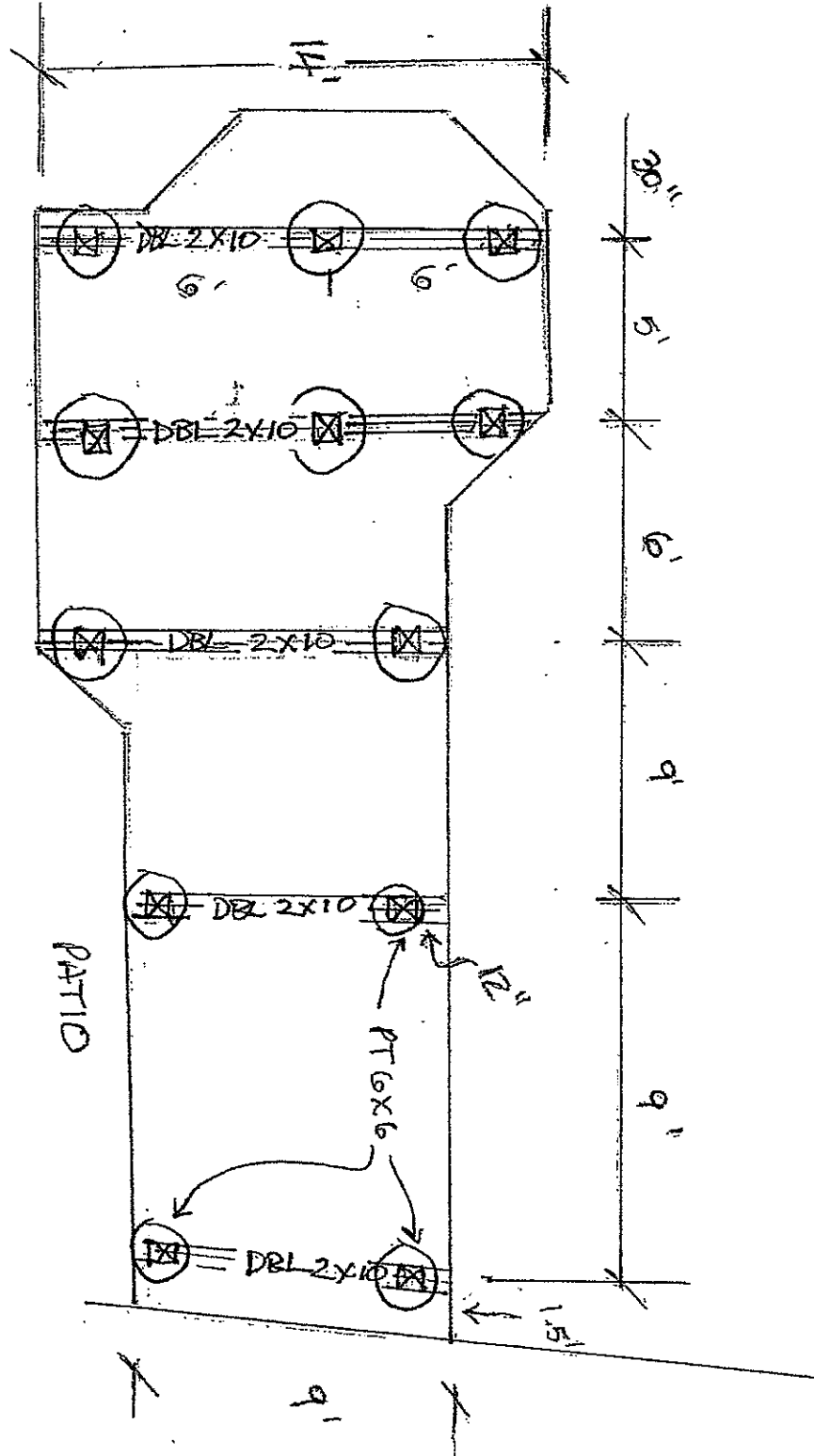
12



FRAMING PLAN

13





Free Standing
FRAME PLAN

15

III) Posts

All posts shall be 4x4 inches up to a height of 8 feet and 6x6 inches beyond that. However, maximum post height is limited to 10 feet. It is recommended to use 6x6 inches posts in all situations because they are stronger and more durable than 4x4 inches posts. The height of the post is measured from the footing to the post attachment to the beam (Figure 4).

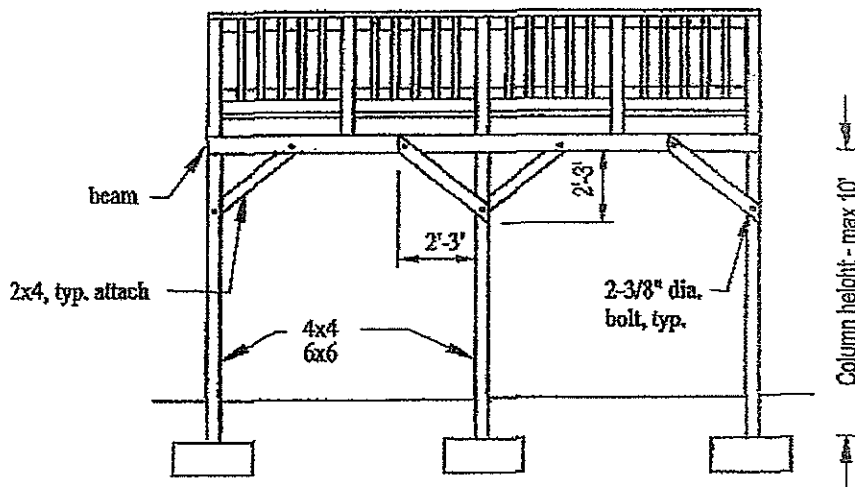


Figure 4: Deck posts

IV) Footings

Footings shall be minimum 20 inches square or 22 inches diameter (Figure 5). Bottom of footings shall be a minimum of 24 inches below grade and shall bear on solid ground. For freestanding decks, the footings close to the house must be installed as shown in Figure 6. Distances to the edges to the footing and embedment of connectors must be in accordance with the manufacturer's recommendations.

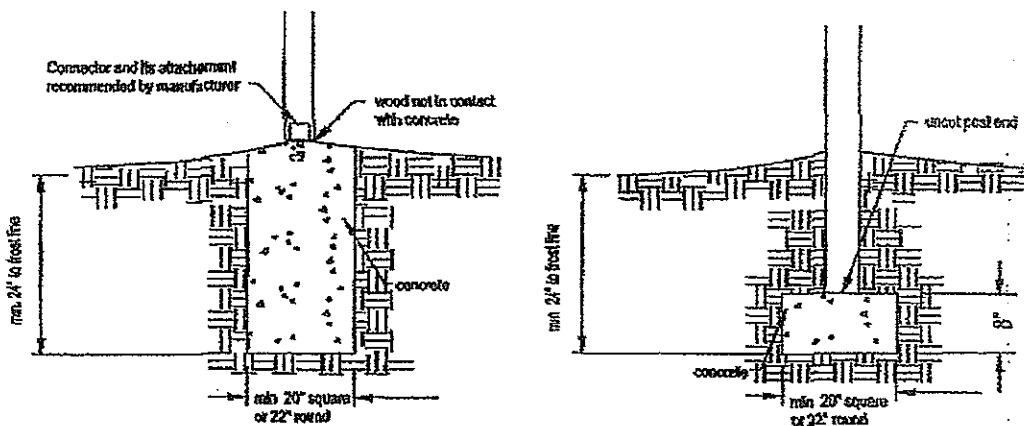


Figure 5: Typical footing details