

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9 Philadelphia Ave., Takoma Park	Meeting Date:	8/16/2017
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	8/9/2017
Applicant:	Benjamin Hickman and Jessica Wechter	Public Notice:	8/2/2017
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-17ZZ	Staff:	Michael Kyne
PROPOSAL:	Fence installation		

STAFF RECOMMENDATION:

- Approve
- Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: c. 1915-1925

PROPOSAL:

The applicant proposes to install a 4' high wooden picket fence at the rear and rear/sides of the subject property. The fence will return to the house at the rear plane of the house and includes three gates (one at each side where the fence returns to the house and one at the rear property line). An existing chain link fence will be removed to accommodate the proposed fence at the rear/right side property line.

APPLICABLE GUIDELINES:

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

- IV. The Expedited Staff Report format may be used on the following type of cases:
- 2. Modifications to a property, which do not significantly alter its visual character.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: ben.hickman@gmail.com Contact Person: Benjamin T. Hickman
 Tax Account No.: 13 01078708 Daytime Phone No.: 315-546-4897 (cell)
 Name of Property Owner: Benjamin Hickman and Jessica Wechter Daytime Phone No.: 315-546-4897 (cell)
Revocable Trust
 Address: 9 Philadelphia Avenue, Takoma Park, MD 20912
Street Number City State Zip Code
 Contractor: Builders Fence Company Phone No.: 703-820-0967
 Contractor Registration No.: 127411
 Agent for Owner: Scott Ruete Daytime Phone No.: 301-252-1634

LOCATION OF BUILDING/PREMISE

House Number: 9 Street: Philadelphia Avenue
 Town/City: Takoma Park Nearest Cross Street: Holt Place
 Lot: 1 Block: 4 Subdivision: Hill-Crest
 Liber: 51229 Folio: 122 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable.

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 2,500

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Benjamin Hickman
 Signature of owner or authorized agent

7/10/2017
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This is a residential lot. It comprises a bungalow-style home, constructed
circa. 1918; a frontyard and backyard; a number of trees; and a shed/garage
in the backyard. See the boundary survey attached to this application for
further detail.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We propose to install a 4-foot-high fence to enclose a portion of the backyard. The fence
boards will be cedar and cut with partially round, or "dog ear," style tops. There will be three
4-foot-wide gates. A limited amount of pressure-treated wood might be used for fence posts
and gate material. There will be gaps between the boards to allow a view through the fence.

- The primary purpose of the fence is to create an enclosure for our dogs, not for privacy and
not to totally obstruct the view of the property. There is currently a chain-link fence on the
property line facing to the northwest. We intend to remove that chain-link fence and replace
it with the new cedar fence. We will keep the natural cedear color or paint the boards white.
2. **SITE PLAN**
Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

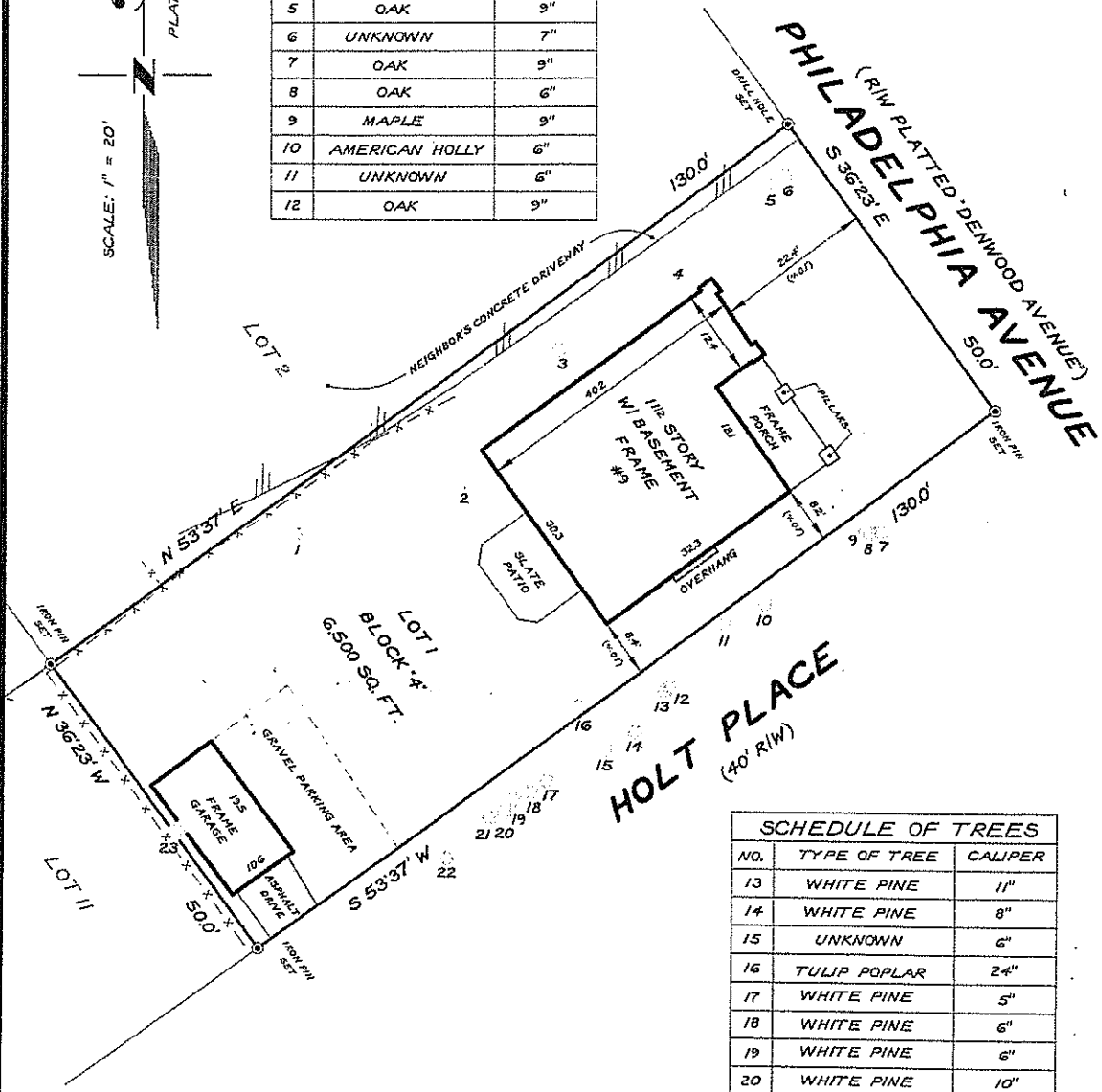
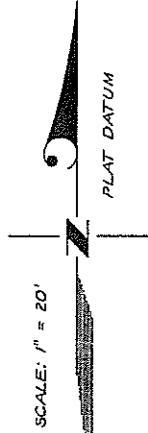
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

BOUNDARY SURVEY
 LOT 1, BLOCK "4"
 HILL-CREST
 TOWN OF TAKOMA PARK
 THIRTEENTH ELECTION DISTRICT
 MONTGOMERY COUNTY
 MARYLAND
 PLAT BOOK 2 PLAT 140

SCHEDULE OF TREES		
NO.	TYPE OF TREE	CALIPER
1	OAK	10"
2	OAK	11"
3	LOCUST	7"
4	UNKNOWN	6"
5	OAK	9"
6	UNKNOWN	7"
7	OAK	9"
8	OAK	6"
9	MAPLE	9"
10	AMERICAN HOLLY	6"
11	UNKNOWN	6"
12	OAK	9"



SCHEDULE OF TREES		
NO.	TYPE OF TREE	CALIPER
13	WHITE PINE	11"
14	WHITE PINE	8"
15	UNKNOWN	6"
16	TULIP POPLAR	24"
17	WHITE PINE	5"
18	WHITE PINE	6"
19	WHITE PINE	6"
20	WHITE PINE	10"
21	WHITE PINE	6"
22	RED CEDAR	16"
23	PERSIMMON	7"

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT I HAVE PERSONALLY MADE A CAREFUL FIELD-RUN SURVEY OF LOT 1, BLOCK "4", THAT IT IS ALL AND THE SAME PROPERTY CONVEYED BY ELLEN A. EMBRY TO THE BENJAMIN HICKMAN AND JESSICA WECHTER REVOCABLE TRUST BY DEED DATED OCTOBER 13, 2015 AND RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY IN LIBER 51229 FOLIO 122, AND THAT PERMANENT IRON MARKERS ARE IN PLACE AT THE PROPERTY CORNERS. MY LICENSE EXPIRES NOVEMBER 20, 2018.

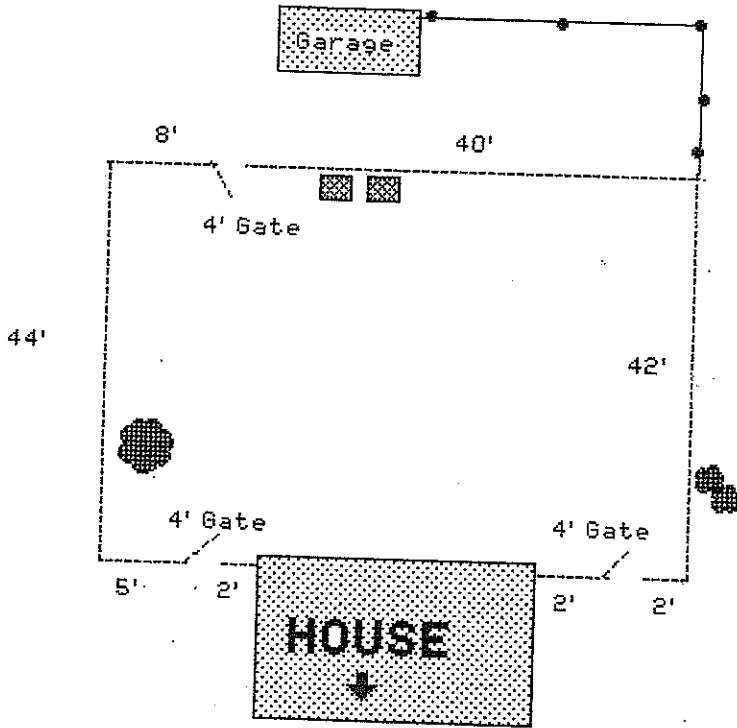
STEPHEN L. WILSON
 DRASTIC MEASURES, INC.
 6503 STEUBEN COURT
 CLINTON, MARYLAND 20735
 OFFICE: 301-856-3152
 FAX: 301-856-8569



JOB SKETCH

Ben Hickman
 #9 Philadelphia Ave.
 Takoma Park, MD 20912
 315-546-4897

157' 4' high WRC 1X4 VERTICAL BOARD - CAP BOARD Fencing

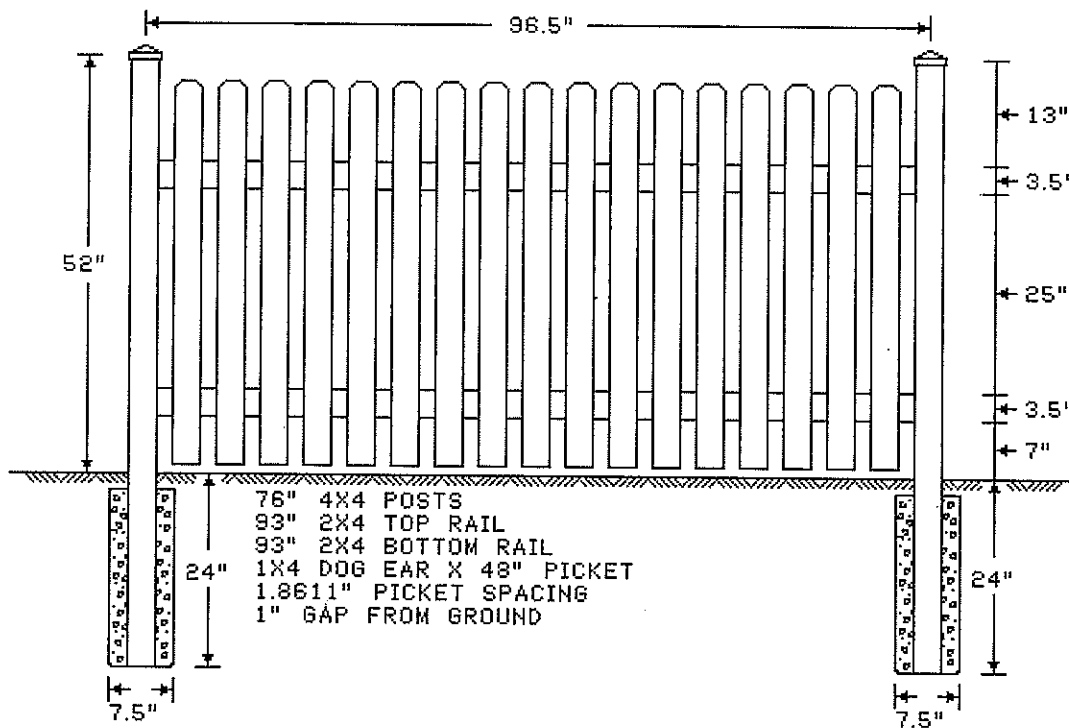


Chain link fence to be removed

*7500 N
 1/6*

Fence Project:

Using all pressure treated 4x4 line posts & 6x6 gateposts with black caps and set in dry packed cement footers, Western Red Cedar Lumber: 2x4x8' runners, 1x4x4' fence boards & 1x4x8' cap boards, install approx. 157' l/ft of 4' high vertical board or spaced board with cap board fence and three (03), 4'x4' arched top gates with black hardware. Fence boards may be maintained as natural cedar color or painted white.



BUILDERS | FENCE |
 COMPANY

Builders Fence Company
 44330 Mercure Circle, Suite 140
 Dulles, VA 20166
 703-820-0967

4' WRC 1X4 PICKET - STRAIGHT TOP

DRAWN BY: 05/15/17	SCALE:	PAGE:
REVISED: 05/15/17	FILE:	1 of 1

Existing Property Condition Photographs (duplicate as needed)



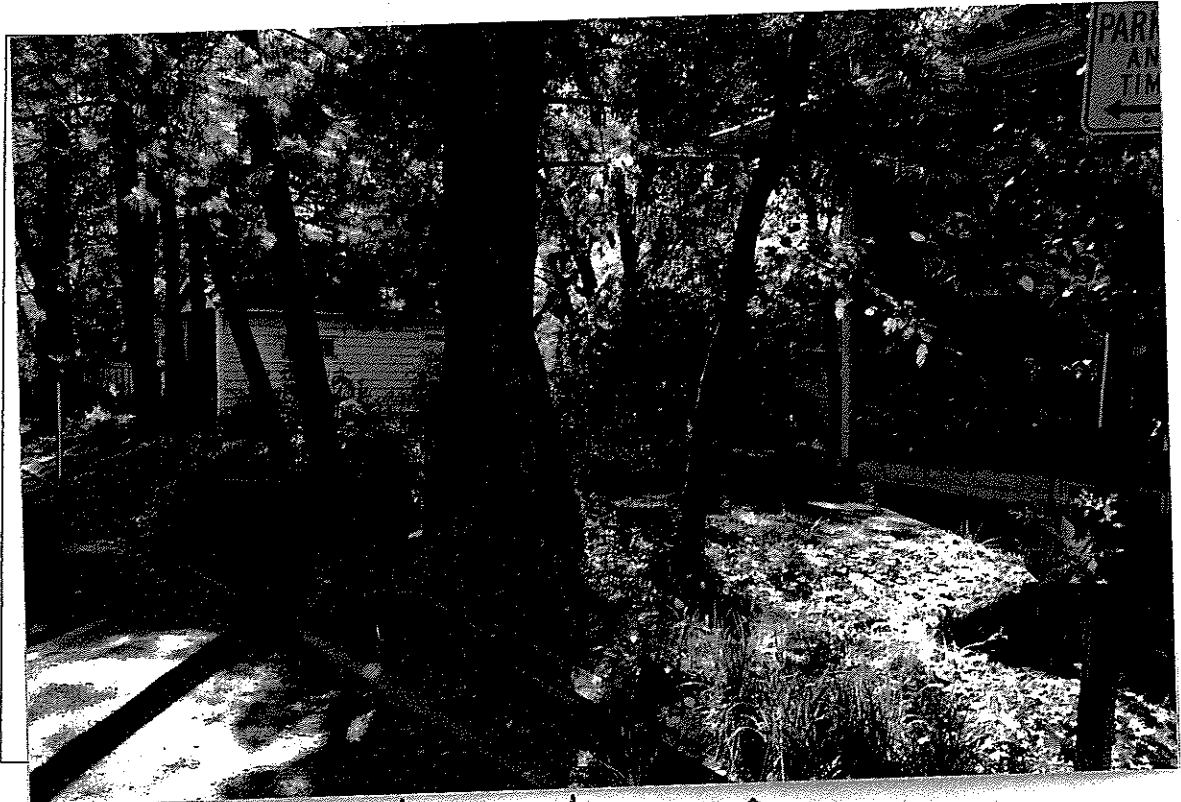
Detail: FRONT OF HOUSE; HOLT PLACE IN LEFT HAND CORNER



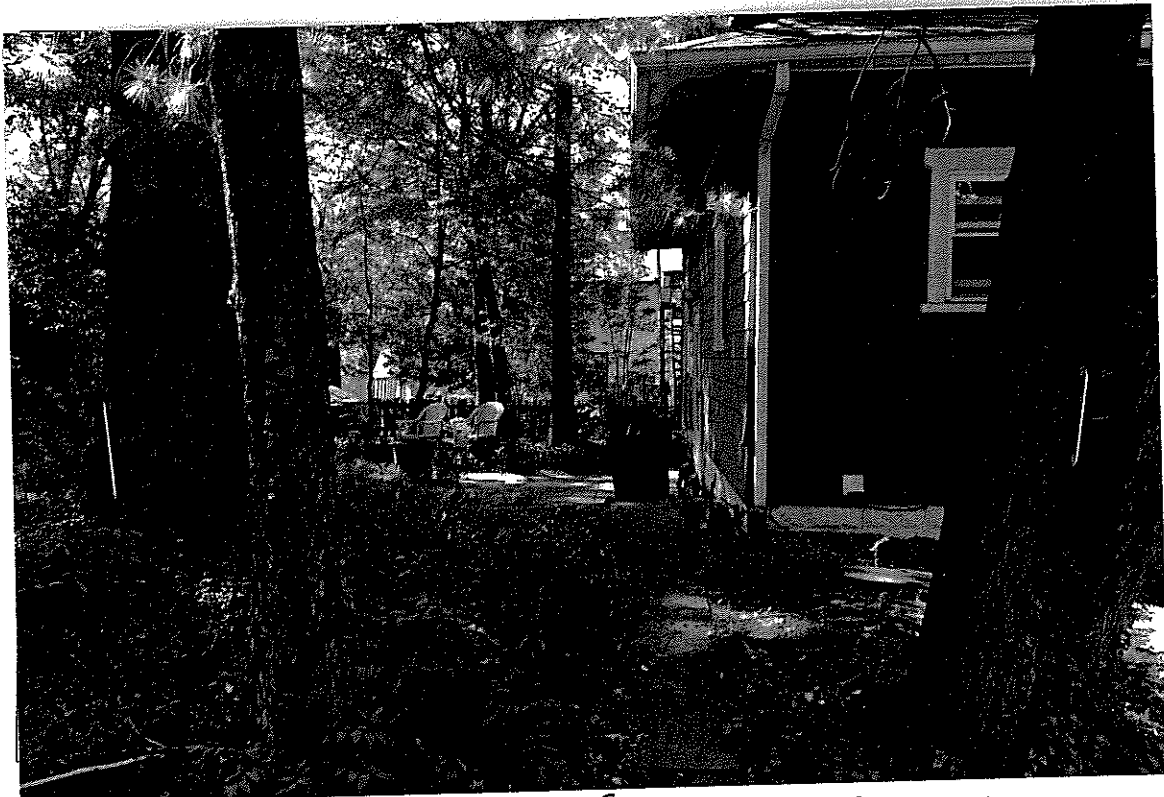
Detail: FRONT/SIDE OF HOUSE; HOLT PLACE

Applicant: BENJAMIN HICMAN
+ JESSICA WEBER RENOVATOR TRUST

Existing Property Condition Photographs (duplicate as needed)



Detail: Side of House; HOT PLACE.

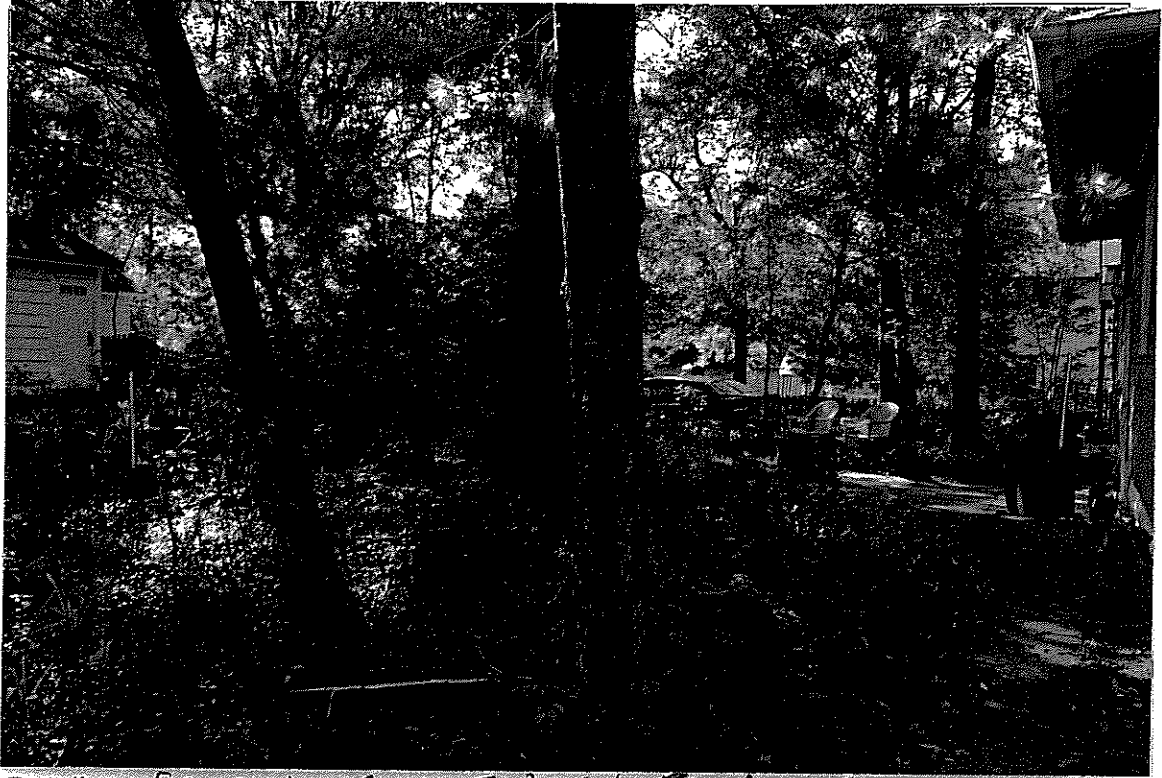


Detail: Side of House. Fence to Run from
corner of house to property line, then PARALLEL to HOT PLACE

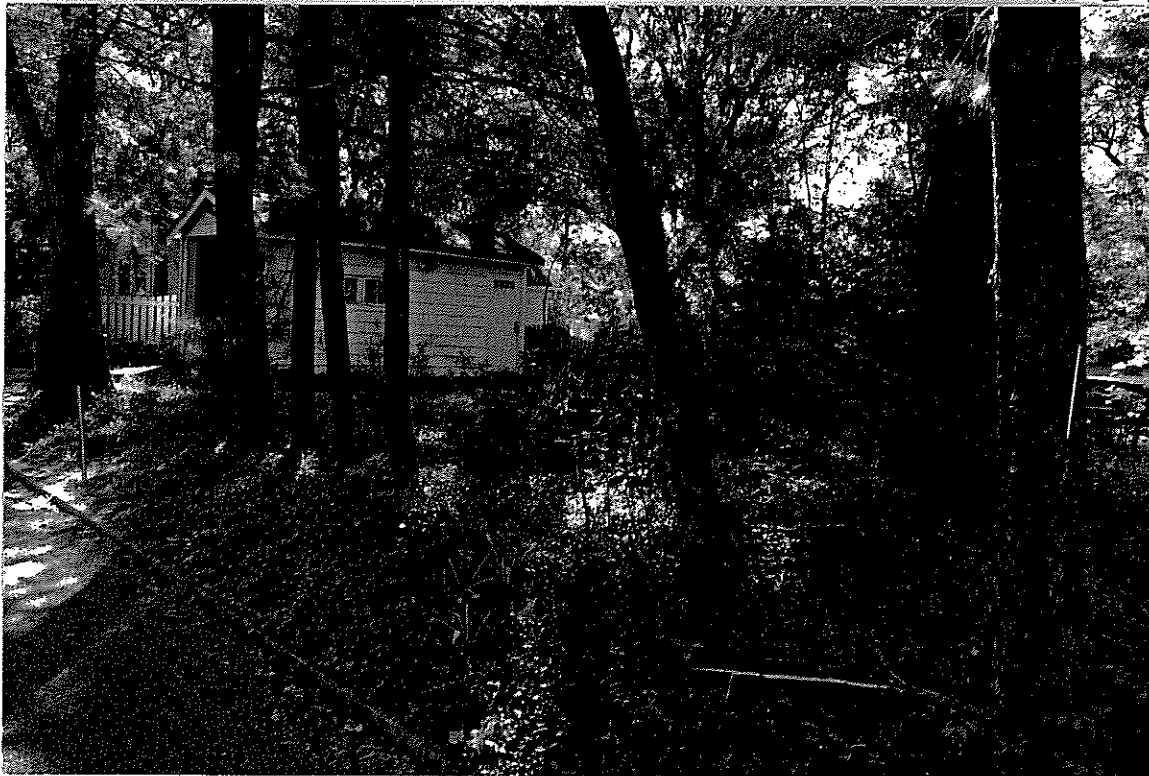
Applicant: BENJAMIN HIRSHMAN
& JESSICA WECHTER REVOCABLE TRUST.

Page: 2/6

Existing Property Condition Photographs (duplicate as needed)



Detail: fence to run just in front of tilted poplar.
(LARGE TREE IN MIDDLE).



Detail: continued side views; see above.

Applicant: Benjamin Hecman
+ Jessica Wechter Heracle must

Existing Property Condition Photographs (duplicate as needed)



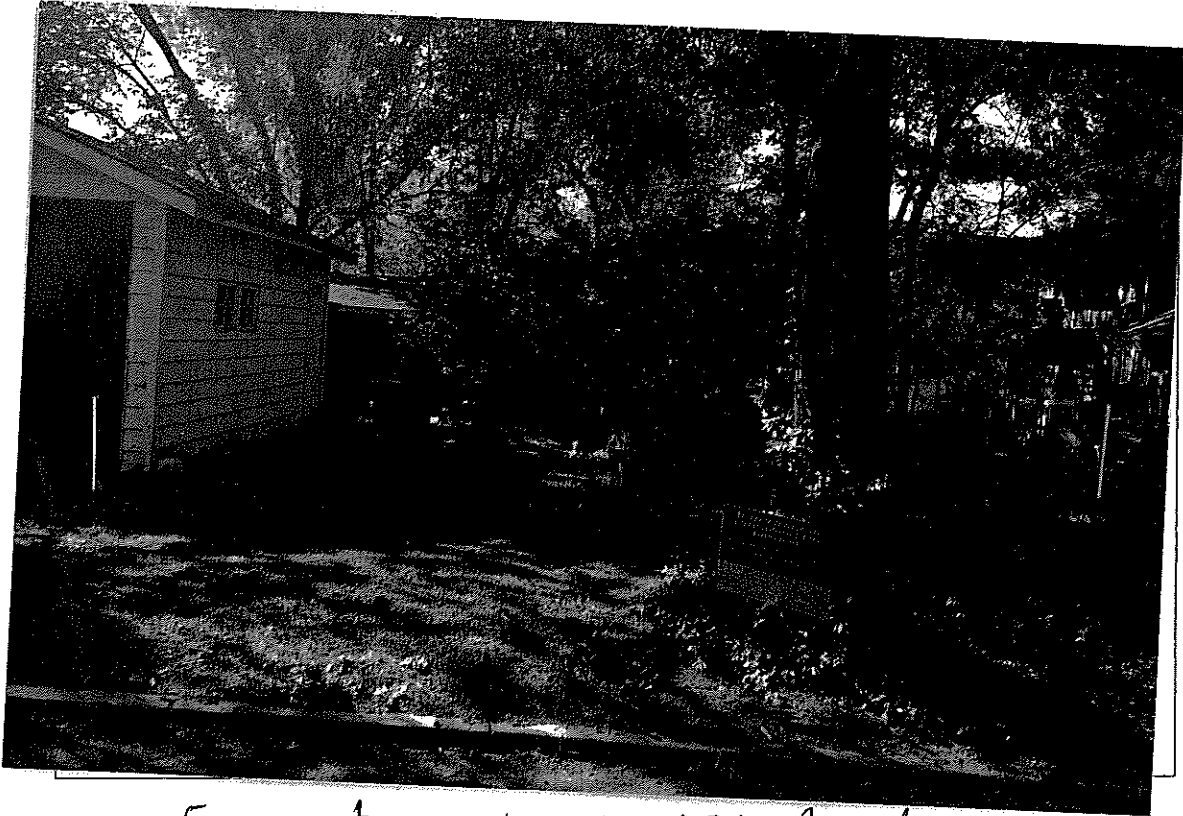
Detail: SIDE view ; approach REAR .



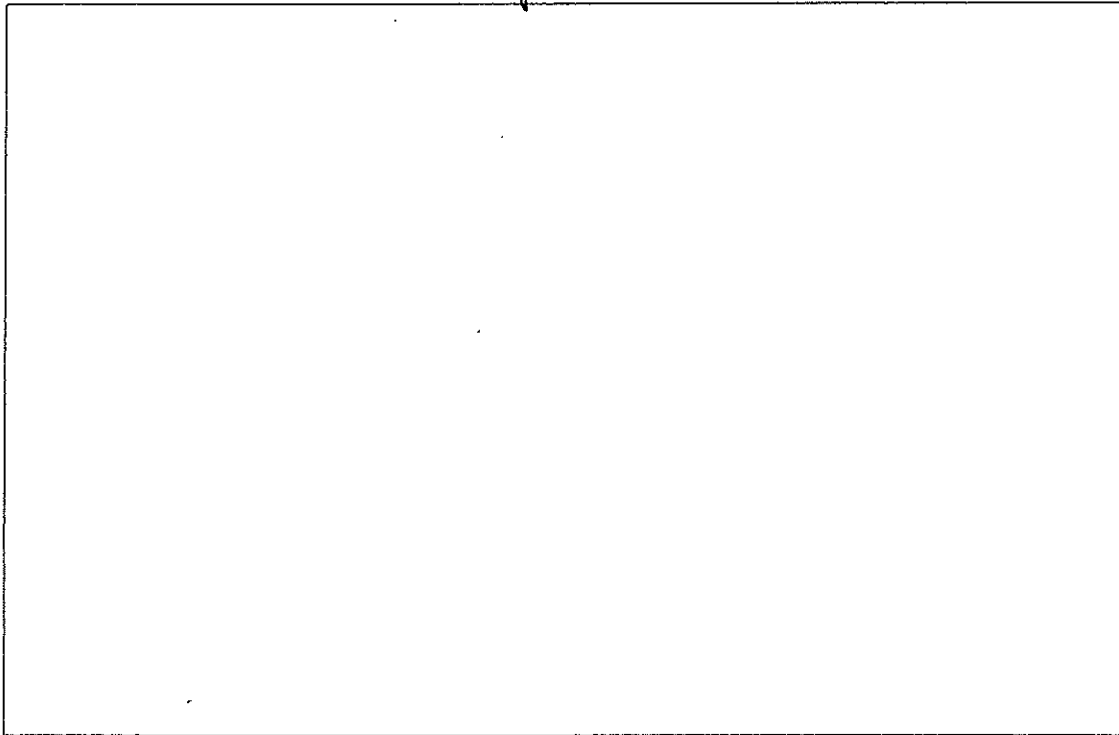
Detail: FENCE to stop At driveway + cut in.

Applicant: BENJAMIN HICKMAN
+ JESSICA WEXTER REVOCABLE TRUST

Existing Property Condition Photographs (duplicate as needed)



Detail: FENCE TO RUN PARALLEL TO DRIVEWAY
IN FRONT OF FRONTER BOXES.



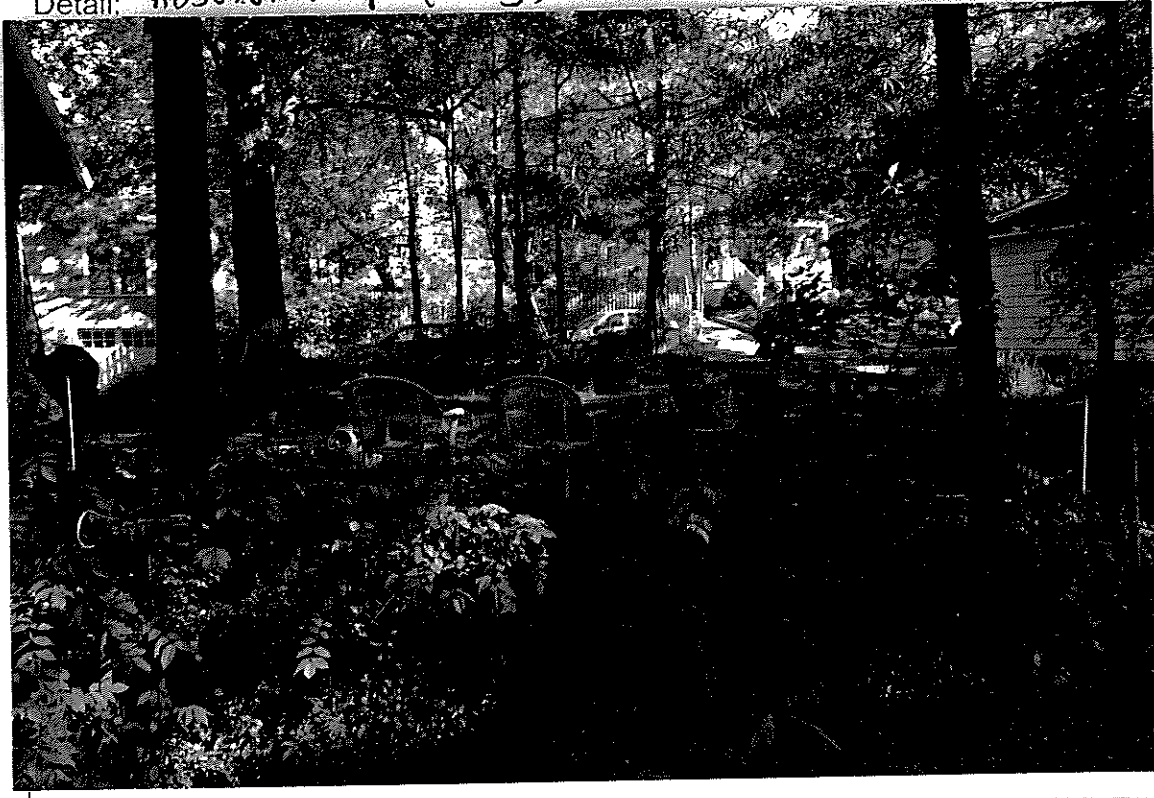
Detail: _____

Applicant: BENJAMIN HICMAN
& JESSICA WICKER
REVOCABLE TRUST

Existing Property Condition Photographs (duplicate as needed)



Detail: Adjoining property; chain link to be removed.



Detail: View of GOLF COURSE from Adjoining Property

Applicant: Benjamin Heiman
& Jessica Wechter
Revocable Trust

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Benjamin Hickman and Jessica Wechter Revocable Trust 9 Philadelphia Ave. Takoma Park, MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Kevin Maher and Jenny Ash-Maher 7 Philadelphia Ave. Takoma Park, MD 20912	David Hauck and Meg Voorhes 24 Holt Pl. Takoma Park, MD 20912
Steve and Mary Coleman 14 Crescent Pl. Takoma Park, MD 20912	Jesse and Martha Hamilton 11 Philadelphia Ave. Takoma Park, MD 20912