

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7701 Takoma Ave., Takoma Park	Meeting Date:	09/19/17
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	08/12/17
Applicant:	Hans Riemer	Public Notice:	09/05/17
Review:	HAWP	Tax Credit:	n/a
Case Number:	31/06-17FFF	Staff:	Dan Bruechert
Proposal:	Hardscape Alteration		

RECOMMENDATION

Staff recommends that the Historic Preservation Commission **approve** the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource to the Takoma Park Historic District
STYLE: Foursquare
DATE: c.1910-20

The subject property is a two-story tall Foursquare with Craftsman elements. There is a small brick retaining wall at the boundary of the driveway on the Takoma Ave. side of the property. No work is proposed on the building as part of this HAWP.

PROPOSAL

The applicant is proposing to construct a stone retaining wall at the corner of Takoma Ave. and New York Ave. along with other landscape alterations.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions. The guiding principles to be utilized by the Historic Preservation Commission are the *Secretary of the Interior's Standards for Rehabilitation*

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials

Preservation of original building materials and use of appropriate, compatible new materials is encouraged

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

STAFF DISCUSSION

The applicant is proposing to construct a retaining wall in the corner of the lot at the intersection of Takoma Ave. and New York Ave. Currently, the corner of the lot is largely open grass with two small trees (one maple and one fig), which are each smaller than 3" (three inches) in diameter. The proposed wall will range from 6" (six inches) to a maximum height of 3' (three feet) in response to the slope of the site and will retain a level top. Staff has reached out to the applicant for details regarding the material specifications for the wall itself and is currently

awaiting a response.

As this is an outstanding resource, the review of this proposal must ensure that the work done will respect the environmental setting and open space of the historic house and the surrounding district. Due to the significant slope and relatively low height of the proposed wall, Staff believes that wall's visual the impact on both the house and the surrounding district will be minimal and is in keeping with the Chapter 24A-8(b)(2). The proposed dry-packed stone (see below), appears to be in keeping with the will park-like setting of the surrounding district and will not negatively impact the character of the either historic house or the surrounding district and Staff supports its approval.

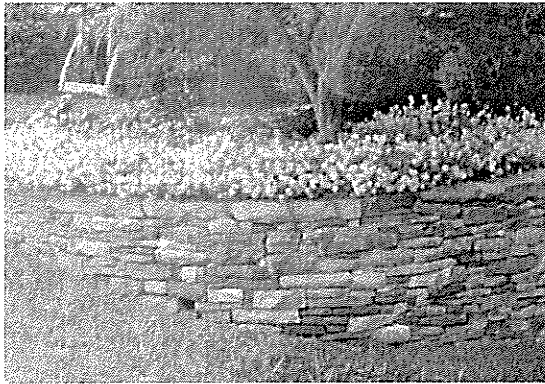


Figure 1: The image represents the proposed stone for the wall, not the design.

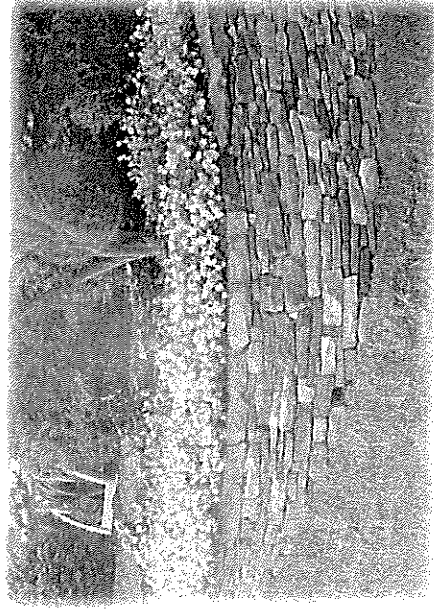
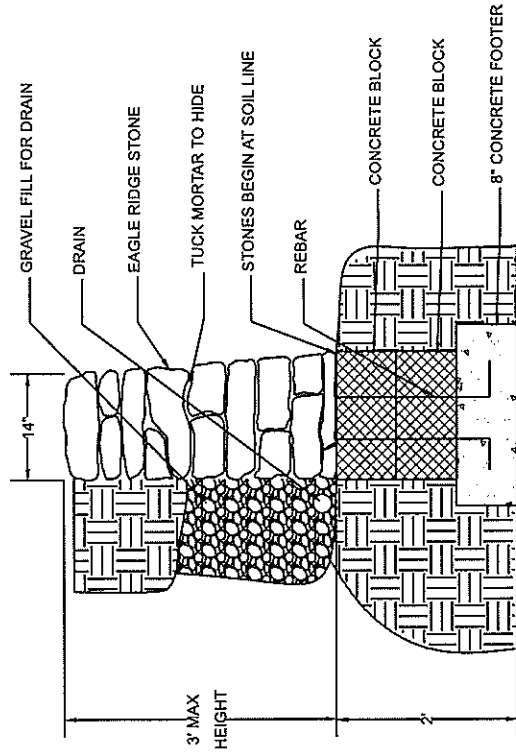
STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve** this HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

ADDENDUM TO HANS REIMER HAWP APPLICATION
HPC Case No. 37/03-17FFF, Takoma Park Historic District

9-13-17

This addendum is intended to provide an image of what the Hans Reimer wall will look like once constructed, and a revised construction detail. The image was provided by Stone Solutions, the contractor that is intended to be hired to construct the wall.



DRY PACK WALL CONSTRUCTION DETAIL
 (this detail replaces detail on previous HAWP App.)

SCALE: 1/2" = 1' - 0"

IMAGE OF DRY PACK EAGLE RIDGE STONE WALL
 (Image provided by Wayne Lampe, Stone Solutions)

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HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: hans-riemer@gmail.com Contact Person: Hans Riemer
Daytime Phone No.: 301 939 6899
Tax Account No.: 556 95 2937
Name of Property Owner: Hans Riemer Daytime Phone No.: _____
Address: 7701 Takoma Ave Takoma Park MD 20912
Street Number City State Zip Code
Contractor: Sorvalis Landscaping & Design LLC Phone No.: 410-409-1993
Contractor Registration No.: EIN: 82-1486240
Agent for Owner: George Sorvalis Daytime Phone No.: 410-409-1993

LOCATION OF BUILDING/PERMIT

House Number: 7701 Street: Takoma Ave
Town/City: Takoma Park Nearest Cross Street: New York Ave
Lot: 6 Block: 73 Subdivision: Takoma Park
Liber: 2530 Folio: 88 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Remove
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Stair Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 59,549.00

1C. If this is a revision of a

previously approved active permit, see Permit # _____

PART TWO: SPECIAL PERMIT REQUIREMENTS AND OTHER PROVISIONS

03 Other: _____

2B. Type of water supply:

01 WSSC

02 Well

03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line

Entirely on land of owner

On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

HR

Signature of owner or authorized agent

8-11-17

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

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#809803

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

We plan to install a retaining wall at the corner of the property, backfill with soil, and plant trees, shrubs and grasses to beautify the neighborhood and provide more privacy.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

There are many beautiful retaining walls in Takoma Park and this retaining wall will be a nice addition. The wall will begin as a 6" curb and hold that elevation while the land form falls away. The wall will never be taller than 3', and will step down several times in order to maintain a level grade, while integrating into the land form.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

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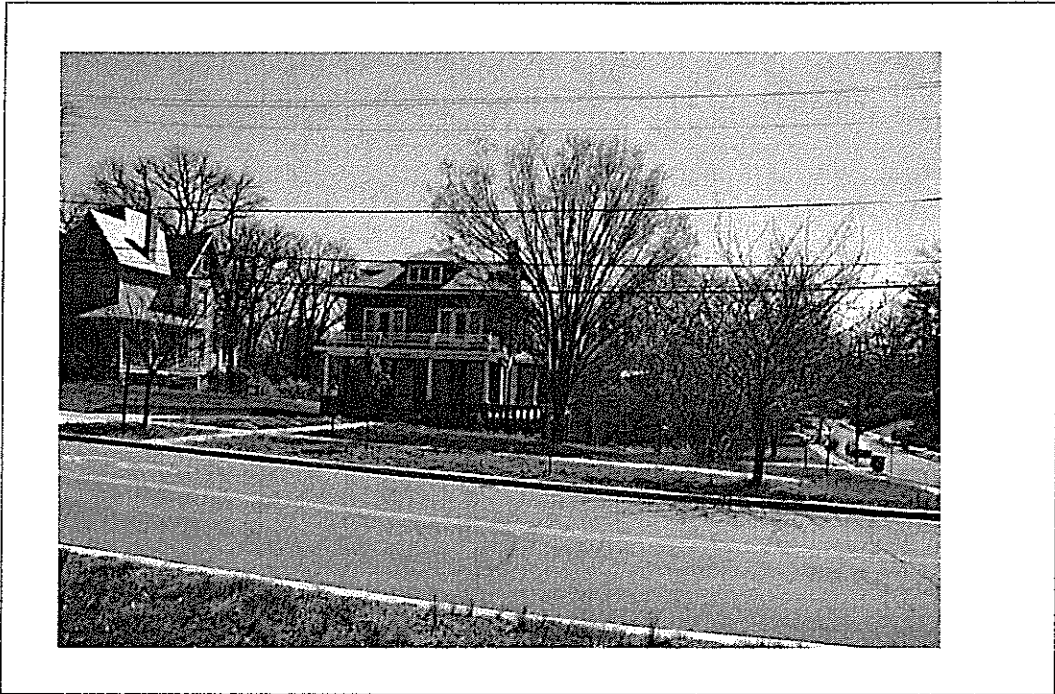
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
The Reimer Residence 7701 Takoma Avenue Takoma Park, MD 20912	Sorvalis Landscaping & Design LLC 707 Boston Ave. Takoma Park, MD 20912
Adjacent and confronting Property Owners mailing addresses	
7705 Takoma Ave. Takoma Park, MD 20912	7700 Takoma Ave. Takoma Park, MD 20912
523 New York Ave. Takoma Park MD 20912	7617 Takoma Ave Takoma Park, MD 20912
516 New York Ave Takoma Park, MD 20912	7704 Takoma Ave. Takoma Park, MD 20912

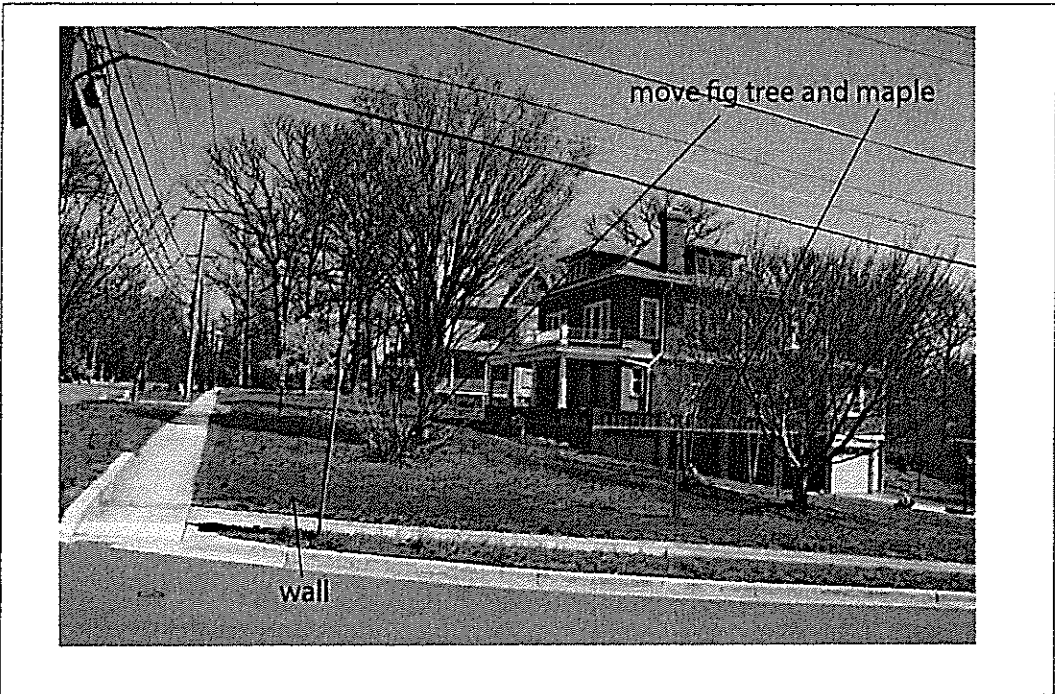
7600 Takoma Ave
20912

(7)

Existing Property Condition Photographs (duplicate as needed)

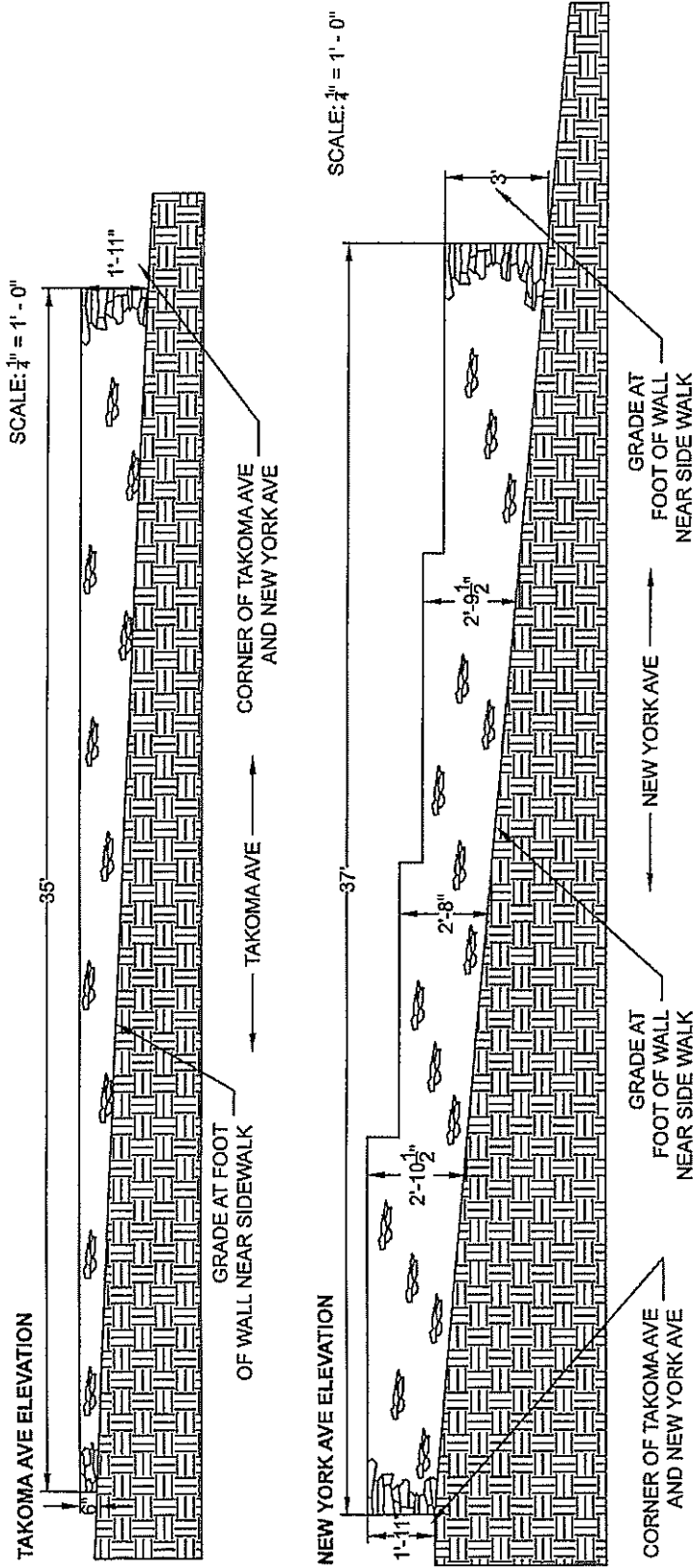


Detail: Approximate wall location shown in red

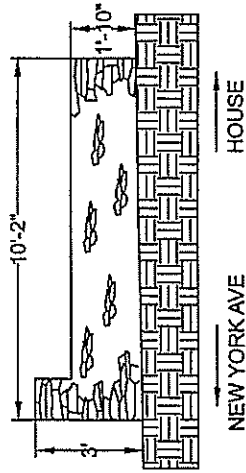


Detail: wall shown in red. small maple w/in wall and fig tree will be moved

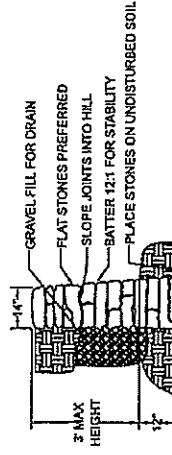
PROPOSED RETAINING WALL ELEVATIONS AND CONSTRUCTION DETAIL



SMALL SEGMENT ELEVATION SCALE: 1/4" = 1'-0"



DRY STONE WALL CONSTRUCTION DETAIL SCALE: 1/4" = 1'-0"






Produced by: Sonnet's Landscaping & Design
 For: Rehner Family HAMVP Application
 Date 8-10-17

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SITE PLAN and TREE SURVEY

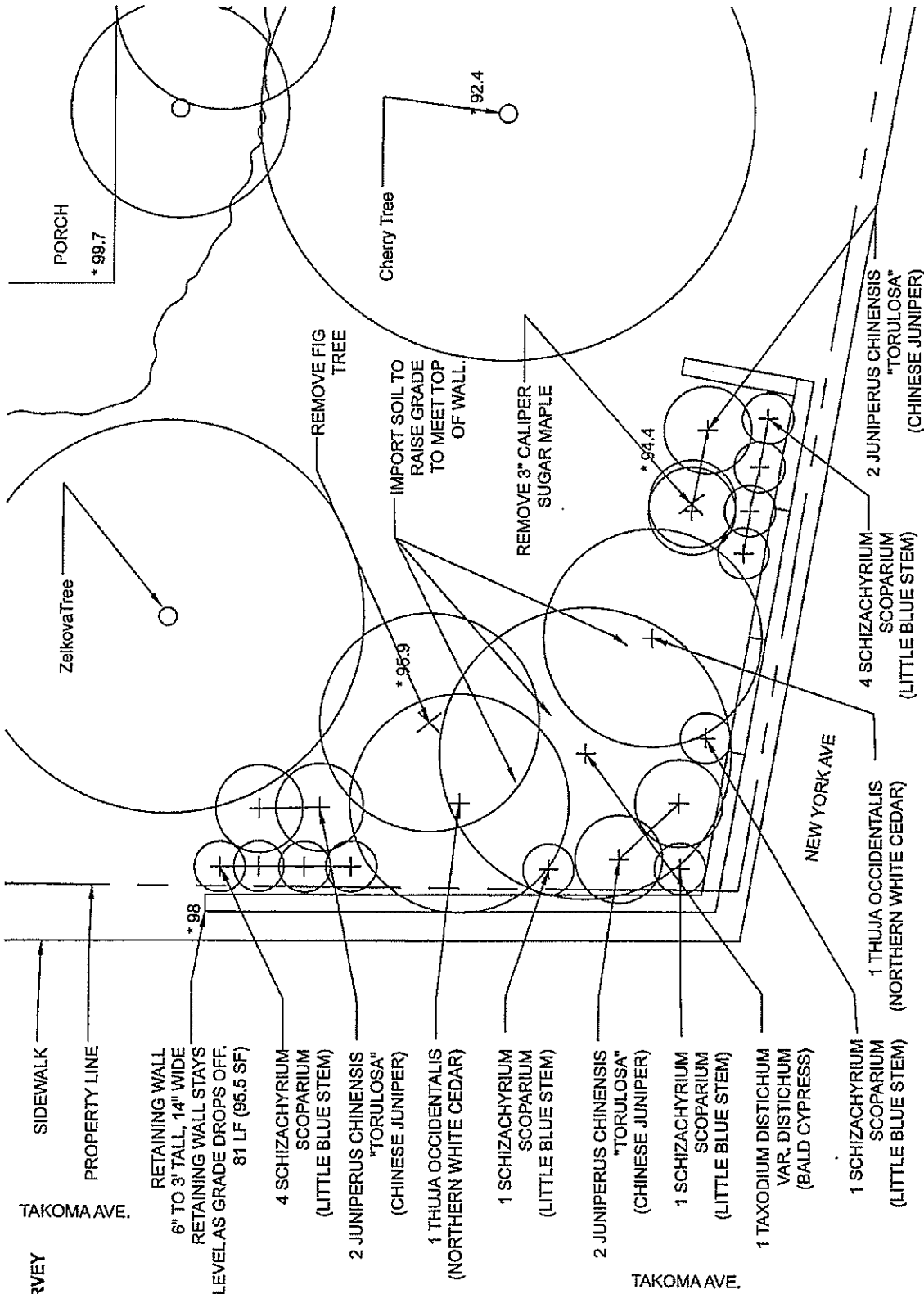
SCALE: $\frac{1}{8}" = 1' - 0"$



-  EXISTING VEGETATION
-  PROPOSED VEGETATION
-  EXISTING VEGETATION REMOVED

NOTES:

- MOVE EXISTING FIG TREE AWAY FROM PLANTING AREA.
- REMOVE EXISTING SUGAR MAPLE TREE AWAY FROM PLANTING AREA, CALIPER OF MAPLE IS 3".
- RETAINING WALL IS AT OR GREATER THAN, 10 FT. FROM STREET CURB.



Produced by Sorvalis Landscaping & Design
 For: Reiner Family HANP Application
 Date: 6-10-17

