

***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	40 Philadelphia Ave., Takoma Park	<b>Meeting Date:</b>	11/15/17
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	11/08/17
<b>Review:</b>	HAWP	<b>Public Notice:</b>	11/01/17
<b>Case Number:</b>	37/03-17UUU	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Kristina Gear	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Rear Deck Construction		

**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve** the HAWP application.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing building to the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1915-25

**PROPOSAL:**

The applicant proposes to install a rear deck at 40 Philadelphia Ave. The deck will be wood and measures approximately 6' x 10' (six feet by ten feet). In order to accommodate the rear deck a non-historic Chicago window in the rear corner will be removed and replaced with a set of simulated divided lite, sliding glass doors. The railing and balusters are to be 36" (thirty-six inches) tall and will match the details of the side porch and railing. Due to the placement of the deck and the angled shape of the lot the new deck will not be visible from the public right of way.

**STAFF RECOMMENDATION:**

**Approval**  
 Approval with conditions.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

x   2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

       3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

       4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

       5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

       6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Email: contractorservicesdc@gmail.com Contact Person: Beth Davis  
Daytime Phone No.: 301-370-0369  
Tax Account No.: 01076937  
Name of Property Owner: Kristina Grear Daytime Phone No.: 301-775-3409  
Address: 40 Philadelphia Ave. Takoma Park, MD 20912  
Street Number City State Zip Code  
Contractor: Alco Products Company, Inc Phone No.: 301-593-1691  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 40 Street: Philadelphia Ave  
Town/City: Takoma Park Nearest Cross Street: Park Ave.  
Lot: P20 Block: 3 Subdivision: North Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: 1301076937

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate
- Move  Install  Wreck/Raze
- Revision  Repair  Revocable.

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed
- Solar  Fireplace  Woodburning Stove  Single Family
- Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family bungalow built in 1923 with typical period features on a 5311 sq ft lot with well established shrubs and trees.

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construction of a new wood deck in the rear of the main structure at the first floor level.

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2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

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**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

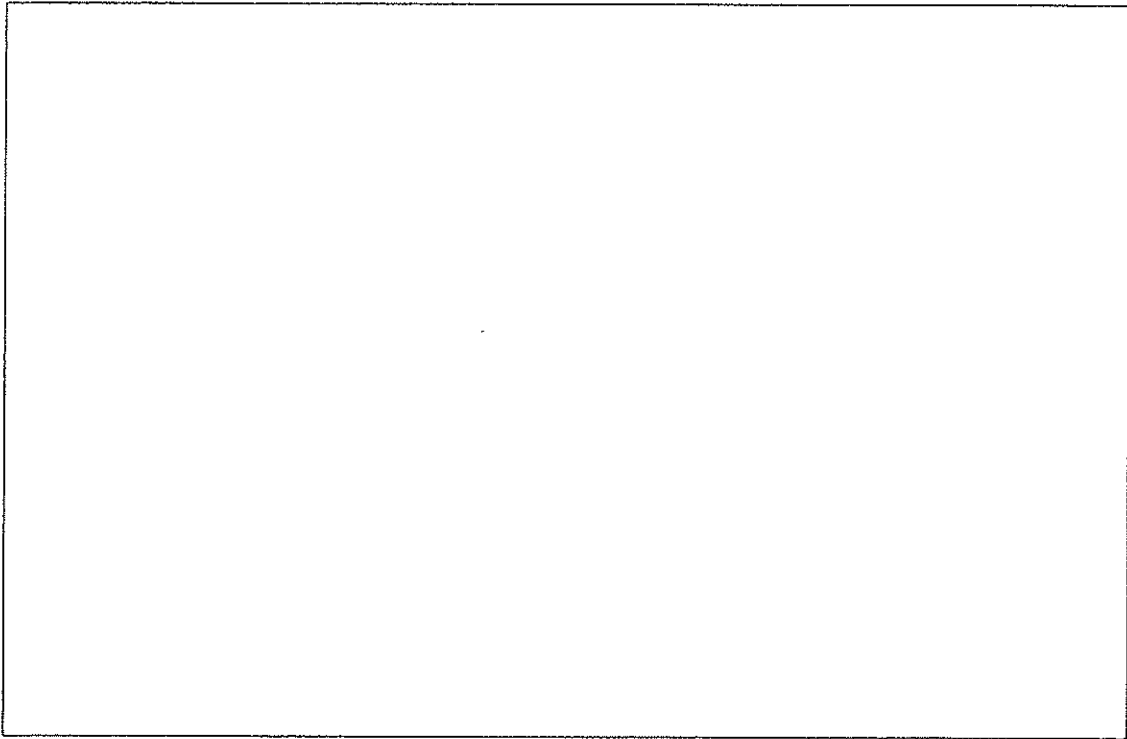
<b>Owner's mailing address</b> Kristina Grear 40 Philadelphia Ave. Takoma Park, MD 20912	<b>Owner's Agent's mailing address</b> Beth Davis - BD Contractor Services 15416 Baileys Lane Silver Spring, MD 20906
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Gary Lovett 38 Philadelphia Ave. Takoma Park, MD 20912	Carlos Sejas 42 Philadelphia Ave. Takoma Park, MD 20912
Stuart Gagnon 41 Philadelphia Ave. Takoma Park, MD 20912	

Existing Property Condition Photographs (duplicate as needed)

Current condition of rear of house.

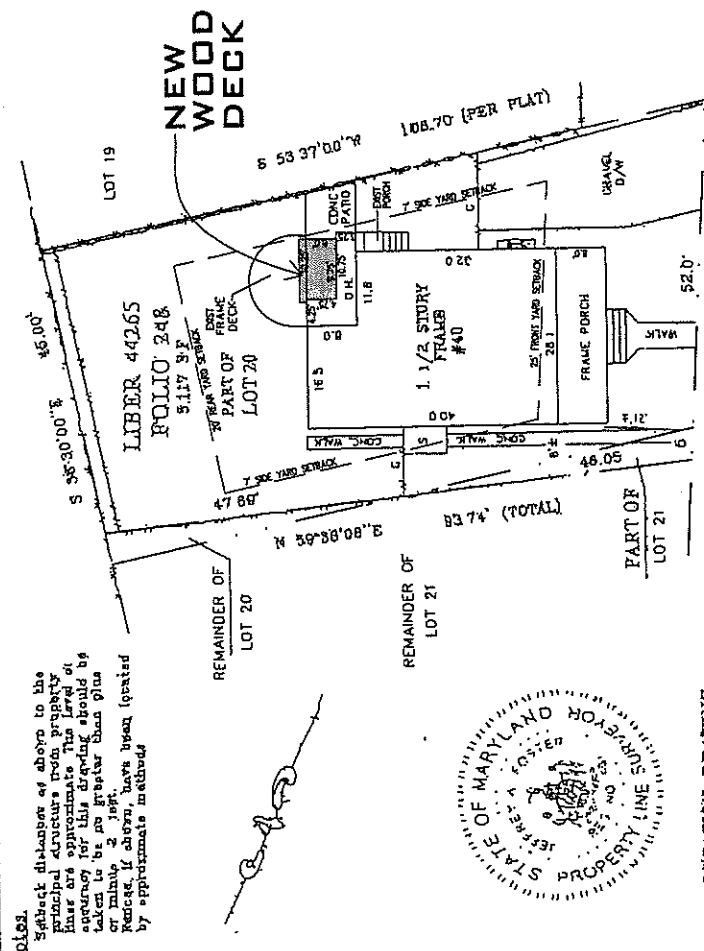


Detail: Rear of house. No existing trees or shrubs to be disturbed.



Detail: \_\_\_\_\_

- CONSUMER INFORMATION NOTES:**
- This plan is a benefit to a consumer member as it is required by a member of a SUB CONTRACTOR company or its agent in connection with contemplated transfer, financing or re-financing.
  - This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
  - This plan does not provide for the accurate identification of property boundary lines, but such identification can only be obtained by the transferor of title or securing financing or re-financing.
  - Building line and/or Flood Zone information is taken from available sources and is subject to misrepresentation of original or other sources.
  - No Title Report furnished.



LOCATION DRAWING  
PARTS OF LOTS 20 & 21  
BLOCK 3  
HILL - CREST  
MONTGOMERY COUNTY, MARYLAND

PHILADELPHIA AVENUE  
(50' R/W)  
PARK AVENUE-PER PLAT

SPIDER & ASSOCIATES  
LAND SURVEYORS  
2020 Colverwood Lane, Suite 110  
Columbia, Maryland 21046  
301/346-5120 Fax 301/346-1288

DATE OF LEGATIONS: 08-17-19  
SCALE: 1" = 20'-0"  
WALL CHECK: D.M.L.  
REVISIONS: 08-17-19 08-4588  
LIBER: 44265  
PLAT NO. 140

2016 - 2981



**SUPPLYOR'S CERTIFICATE**

THE INFORMATION WHICH HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE NEED FOR RECORDING THIS SURVEY IS ACCURATE AND CORRECT. I HAVE BEEN ADVISED BY THE SURVEYOR OF ANY AND ALL DISCREPANCIES OR DISCREPANCIES OF LINE OR AREA OCCURRING.

David A. Foster  
Surveyor License No. 681  
Expire 04-12-2017

# REAR DECK ADDITION TO THE GREAR/FAUCILLION RESIDENCE

40 PHILADELPHIA AVE  
TAKOMA PARK, MD 20912

**ZONING INFORMATION**      **SCOPE OF WORK:**

LOT: PT 20    BLOCK: "F"

PLAT No.: 140

LOT AREA: 5,117.00 S.F.

SUBDIVISION: HILLOREST

PRIMARY STRUCTURE BUILT: 1923

ZONED: R-60

USE GROUP: RESIDENTIAL  
SINGLE OCCUPANCY

CONST. CLASS: TYPE 3B

**DESIGN PARAMETERS:**

1. CONSTRUCT NEW WOOD DECK IN REAR OF MAIN STRUCTURE AT FIRST FLOOR.

**SETBACKS / COVERAGE**

MAIN STRUCTURE SETBACKS (R-60)

FRONT YARD: 25' or 55'

SIDE YARD: 12' one side/12' one side (combined shall not be less than 22')  
(7'-0" Each Side-Lot recorded before 1950)

REAR YARD: 20' main structure.

**INDEX OF DRAWINGS**

A-0	COVER SHEET
A-1	CONSTRUCTION SPECIFICATIONS
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A-4	FIRST FLOOR PLAN
A-5	DOOR SCHEDULE
A-6	DOOR SCHEDULE
A-7	REAR ELEVATION
A-8	REAR ELEVATION
A-9	RIGHT SIDE ELEVATION
A-10	BUILDING SECTION A-A'
A-11	FIRST FLOOR FRAMING PLAN
A-12	FOUNDRY BASEMENT FRAMING

**RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS**

MIN. WIND SPEED	WIND CATEGORY	WIND BEARING	FLOOR LINE DEPTH	TORRNET	DECT
30 mph	B	SC90	24" to 48"	1/2" to 1/4"	1/2" to 1/4"

**DESIGN BASED ON THE FOLLOWING MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS**

COLOCATED USE	UNIFORM LIVE LOAD
AT-RS (RESIDENTIAL)	20 psf
AT-RS (RESIDENTIAL)	10 psf
AT-RS (RESIDENTIAL)	40 psf
AT-RS (RESIDENTIAL)	60 psf
AT-RS (RESIDENTIAL)	200 psf
AT-RS (RESIDENTIAL)	50 psf
AT-RS (RESIDENTIAL)	40 psf
AT-RS (RESIDENTIAL)	30 psf
AT-RS (RESIDENTIAL)	40 psf

**PROFESSIONAL CERTIFICATION**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland, License Number: 10119. Expiration Date: 10-09-2018

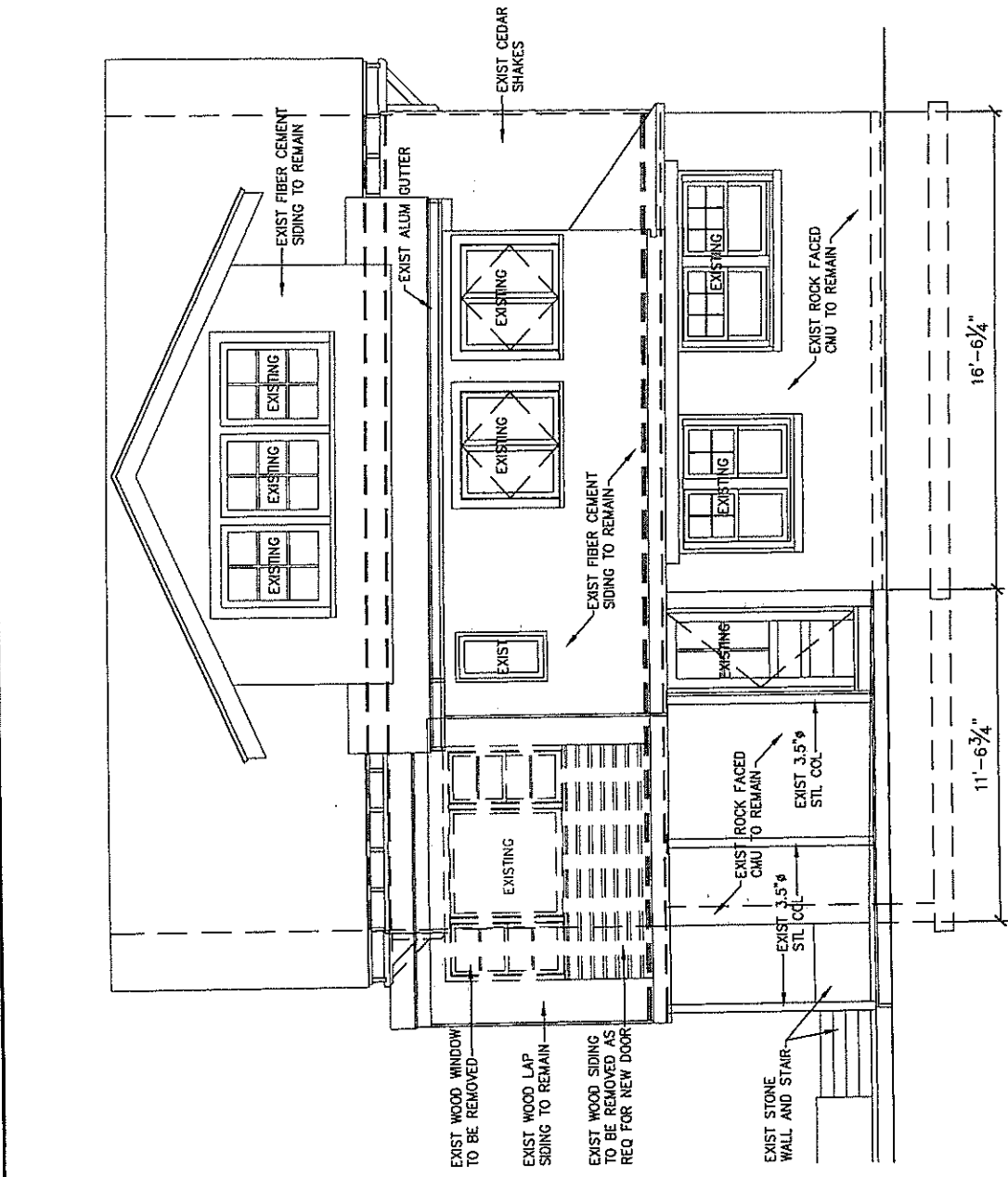
**KJD ARCHITECTS LLC**  
4904 AURORA DRIVE  
KENSINGTON, MARYLAND 20895  
KEVIN J. DRISCOLL, AIA  
(W) 301-933-1611 KJDARCH@AOL.COM

PROJ. No.: 2017-19  
DATE: 10-02-17  
SCALE: AS NOTED  
A-3

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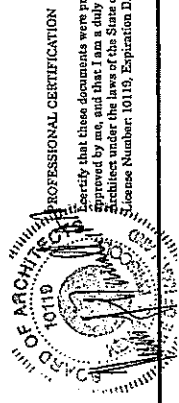
**DEMO NOTES**

1. GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL REVIEW THE EXISTING FACILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO INSTALL THE NEW WORK.
2. COORDINATE ALL ITEMS TO BE DEMOLISHED WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND COORDINATING THE PROPOSED WORK WITH FIELD DIMENSIONS. ANY DISCREPANCIES BETWEEN PROPOSED WORK AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
4. CARE SHALL BE TAKEN DURING DEMOLITION SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS TO REMAIN. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCOVERED DURING DEMOLITION.
5. IN ALL WALLS AND CEILINGS THAT ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS AND MECHANICAL DUCTWORK THAT IS DISCOVERED AND NOT SCHEDULED FOR REUSE. RE-ROUTE AND CONTINUE ANY SYSTEM THAT IS TO BE RETAINED FOR ADJACENT BUILDING AREAS.
6. CONTRACTOR SHALL PROVIDE PROTECTION ON A DAILY BASIS FOR ALL WORK THAT PENETRATES THE EXISTING WALLS OR ROOF MATERIAL, UNTIL PERMANENT FINISHES ARE INSTALLED.
7. RETURN STRUCTURES & SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
8. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE & EXTENT OF CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITING ACCURATE DETAIL. PENDING RECEIPT OF DIRECTION FROM OWNERS REP. REARRANGE SELECTIVE DEMOLITION SCHEDULE AS REQD. TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
9. THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING PLUMBING, HVAC, ELECTRICAL, AND REFRIGERATION DRAWINGS. CONTRACTOR SHALL COORDINATE BETWEEN THE DEMO PLAN AND OTHER DRAWINGS INDICATING NEW WORK TO DETERMINE FULL EXTENT OF DEMO WORK TO BE PERFORMED.



**REAR ELEVATION DEMO**

1/4" = 1'-0"



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 4904 AURORA DRIVE  
 KENSINGTON, MARYLAND 20895  
 KEVIN J. DRISCOLL, AIA  
 (W) 301-933-1511 KJDARCH@aol.com

REAR DECK ADDITION  
 TO THE  
**GREAR/FAUCILLION**  
 RESIDENCE  
 40 PHILADELPHIA AVE TAKOMA PARK, MD 20912

PROJ. No.:  
 2017-19  
 DATE:  
 10-02-17  
 SCALE:  
 AS NOTED

**DM-1**



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**DIVISION 1: GENERAL REQUIREMENTS**

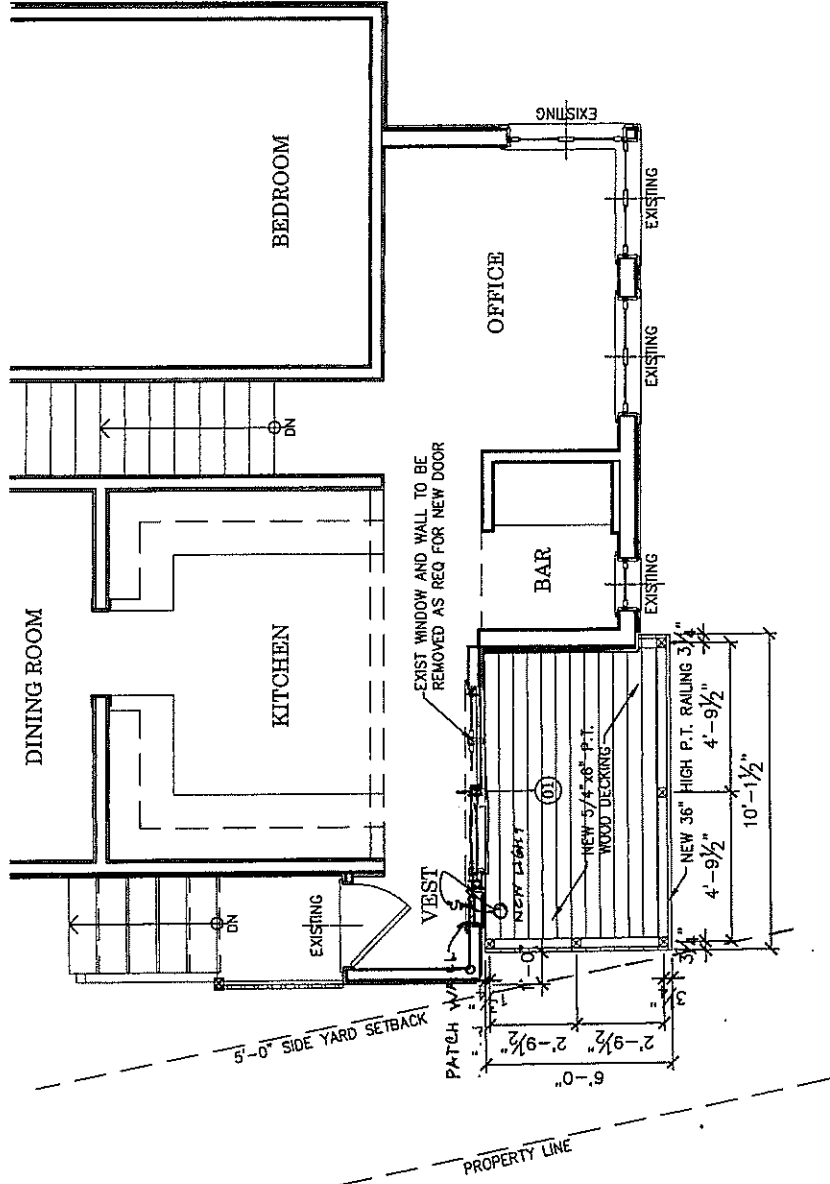
**A. Summary of Work**

- All work shall comply with the codes and ordinances of Montgomery County, Maryland and shall be done to the highest standards of craftsmanship by journeymen of their respective trades.
- The Contractor/Owner shall fully acquaint himself with all conditions relating to construction so that he understands the facilities, difficulties, and restrictions attending the execution of the work under this contract; no extras will be allowed due to failure to understand all the conditions involved.
- Should the Contractor/Owner find at any time discrepancies, omissions, ambiguities, or conflicts in the Contract Documents, or be in doubt as to their meaning, he shall contact the Architect before proceeding with any work in question. The Contractor shall check and verify all dimensions and quantities in the field and inform the Architect of any discrepancy(ies). Large scale drawings take precedence over small. Where necessary dimensions are not given, Contractor is responsible for obtaining clarification from the Architect. Do not scale drawings.
- All materials and systems are to be installed per Manufacturer's recommendations.
- These Documents do not include the necessary components for construction safety. Safety and care of adjacent properties during construction are and shall be the Contractor's responsibility. The Contractor shall maintain the job clear of trash and debris. All waste materials shall be removed from the site prior to substantial completion.

**DIVISION 2: SITEWORK**

**A. Selective Demolition**

- Sequence demolition of structural work carefully to maintain the structural integrity of the building. Contractor to be responsible for providing temporary bracing and other structural supports as necessary.
  - Notify Owner and Architect if wires, conduits, pipes, or other utilities will be affected by demolition or renovation before commencing such operations.
  - Disconnect and cap pipes and utilities as required and as necessary for demolition and renovation work.
  - Maintain existing services, to remain, intact unless otherwise acceptable to the Owner.
  - Restore work remaining in place that is damaged or defaced during demolition or renovation.
  - If wires or plumbing is discovered during the demolition. Contractor shall contact the Owner and Architect immediately to determine appropriate course of action.
- B. Excavation**
- Excavate to exact dimensions. Place footings on firm undisturbed earth. Do not place footings on frozen earth. Remove all material subject to termite, rot or corrosion prior to back filling.
  - Minimum soil bearing capacity of 1500 psf under all footings and slabs, as verified by soils engineer. No foundations are to be placed within 2'-0" of seasonal high water table.
- C. Sediment and Erosion Control**
- Street and driveway shall be kept clean at all times during construction.
  - Provide erosion control methods in conformance with the local jurisdictions approved methods.



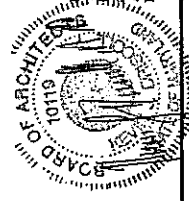
**FIRST FLOOR PLAN**

1/4"=1'-0"

**DOOR SCHEDULE**

- Notes:
- New exterior doors to replace existing window unit.

Door No.1: (New) 6'-6" x 6'-8" Sliding Wood French Door with 1" insulated glass as manufactured by Marvin.



PROFESSIONAL CERTIFICATION

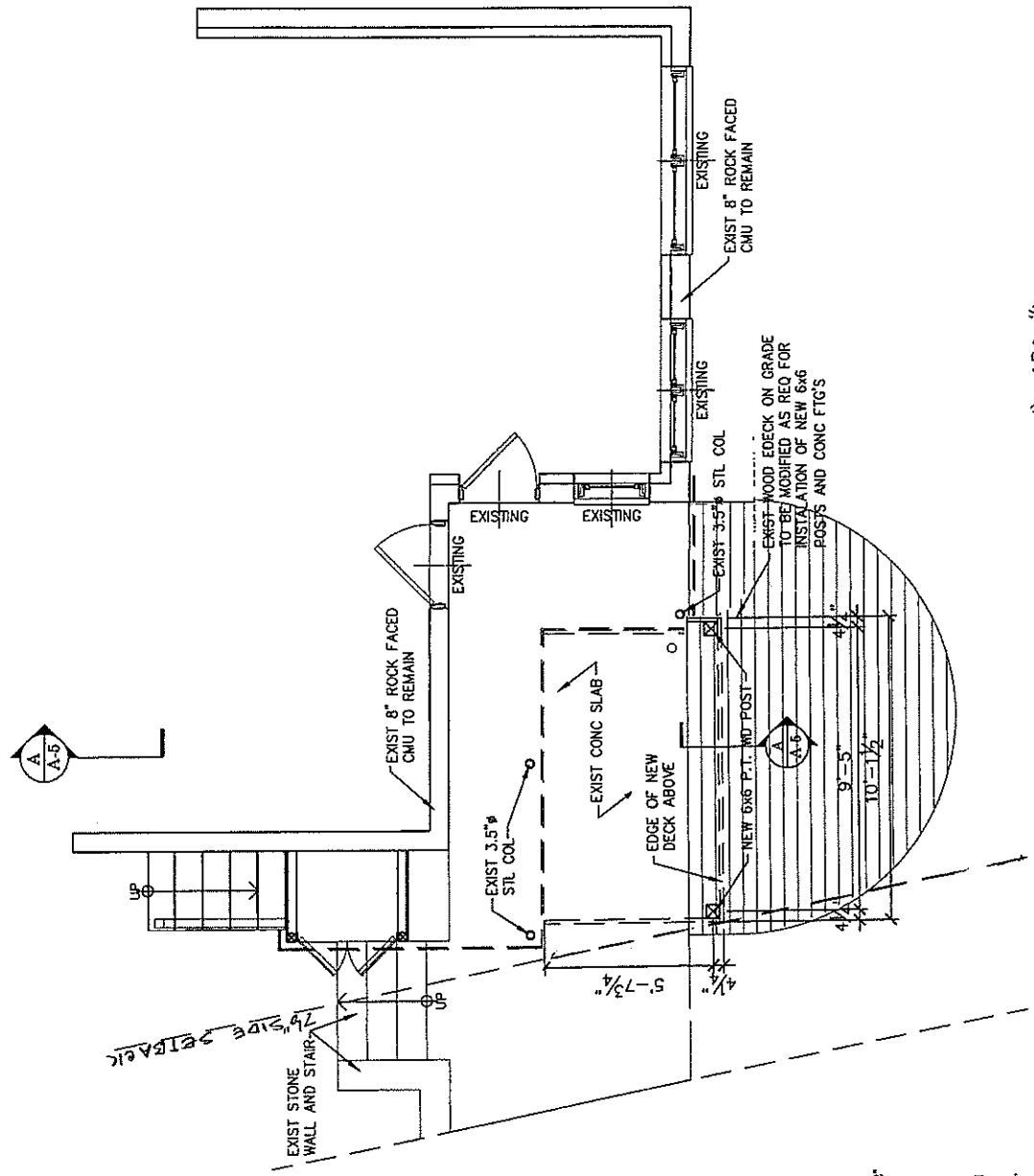
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License Number: 10119, Expiration Date: 10-09-2018

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REAR DECK ADDITION  
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**A - 1**



PROFESSIONAL CERTIFICATION



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**BASEMENT PLAN**

1/4"=1'-0"

**DIVISION 3 : CONCRETE**

- A. Concrete
- 1. Concrete footings to have a minimum 28 day compressive strength of 2,500 psi. All other concrete to have a minimum 28 day compressive strength of 3,000 psi. Place concrete as per ACI 318-07. All concrete exposed to the weather shall be air entrained ± 5-7%.
- 2. All reinforcements, anchor bolts, pipe sleeves, steel rods and other inserts shall be positively secured in place before concrete is placed.

**C. Foundation**

- 1. Footing depths are as indicated on the plans unless otherwise noted. Footings shall bear a minimum of 1'-0" into original undisturbed soil. Step footings at a 2:1 ratio maximum.

**DIVISION 4 : MASONRY and DIVISION 5 : METALS**

Divisions Not Used

**DIVISION 6 : WOOD AND PLASTICS**

**A. Rough Carpentry**

- 1. Structural lumber:
  - A. All lumber shall be pressure treated, unless otherwise noted, No. 2 grade Hem-fir with the following minimum allowable stresses and modulus of elasticity:
    - 1. Extreme fiber stress:  $F_b=1150$  PSI.
    - 2. Horizontal shear:  $V=75$  PSI.
    - 3. Compression perpendicular to grain:  $F_c=405$ .
    - 4. Modulus of elasticity:  $E=1,400,000$  PSI.
    - 5. Max. moisture content: Exterior 19 %
    - 6. Max. moisture content: Interior 12 %
- 2. Rough hardware: as required for proper installation of all carpentry.

**B. Hangers and other connectors**

- 1. All purlins, joists and beams not framed over supporting members shall be supported by means of joist hangers.
- 2. Hangers and other connectors shall be "Simpson" unless otherwise noted or an Architect approved equal.

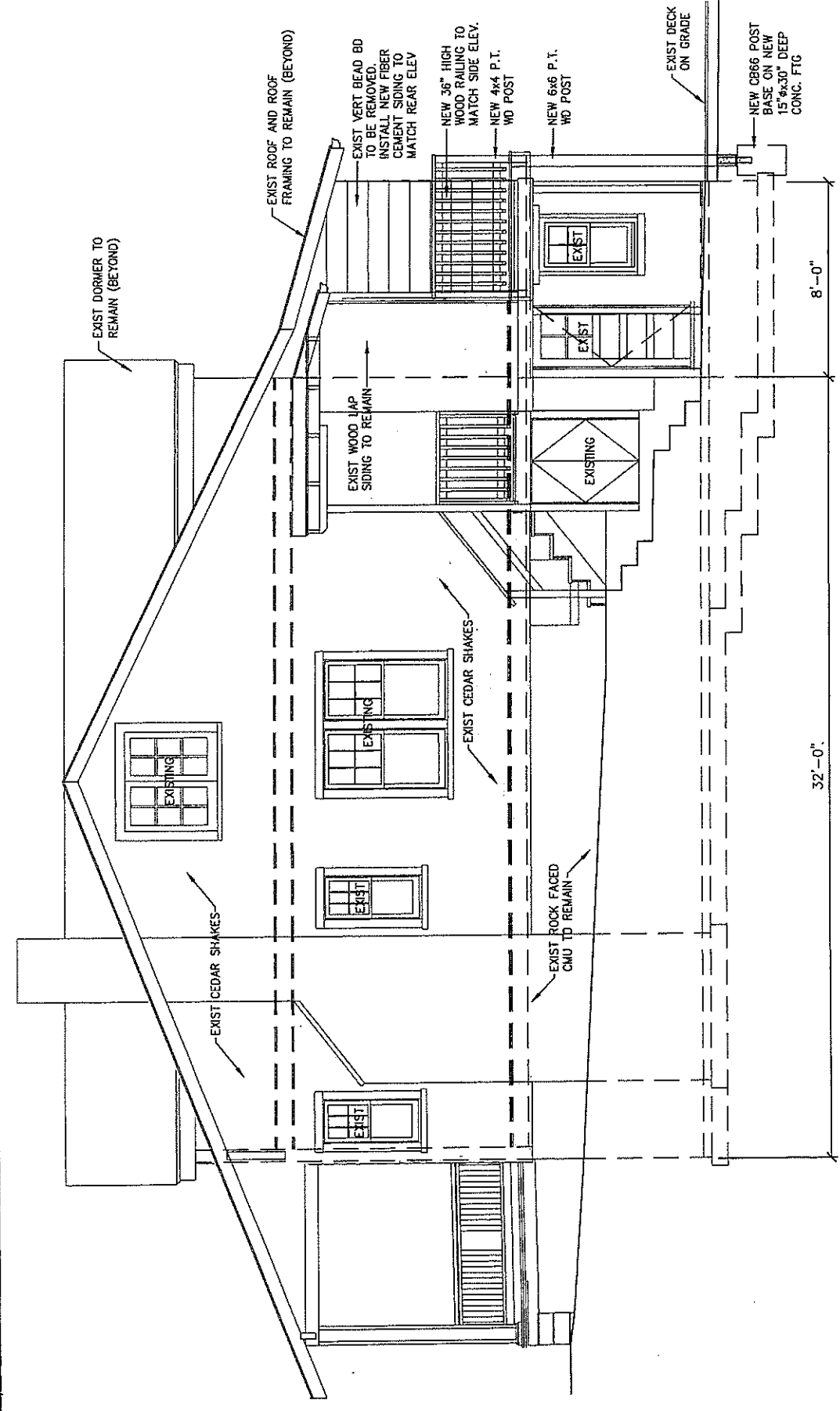
**D. Vertical Load Transfer**

- 1. All structural posts must be vertically aligned and blocked to provide continuous bearing to foundation. If a double top plate of less than 2x2x6 is used, joists and trusses must be centered directly over and below bearing studs or double studs at 12" oc. must be used. Unless certified by a structural engineer, interior bearing walls must be sheathed with either 1/2" plywood fastened according to code or a diagonal metal T strip installed according to manufacturers installation instructions prior to installation of all supported structure.
- 2. All Beams, joists, rafters, and trusses shall bear on 4" minimum continuous wood plates. Floor joists, ceiling joists, and roof rafters shall have 4" nominal bearing on wood wall plates or wood plates mechanically fastened to steel members or masonry.
- 3. Where multiple trusses, rafters, or joists are indicated on the drawings, they must be mechanically fastened to each other in a manner to share all superimposed loads, including loads from headers framing into the member. Wood columns and posts shall be framed to true end bearings, and shall be positively anchored to foundation with approved metal post bases.

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**RESIDENCE**  
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**A - 4**



PROFESSIONAL CERTIFICATION

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**SIDE ELEVATION**



1/4"=1'-0"

32'-0"

8'-0"

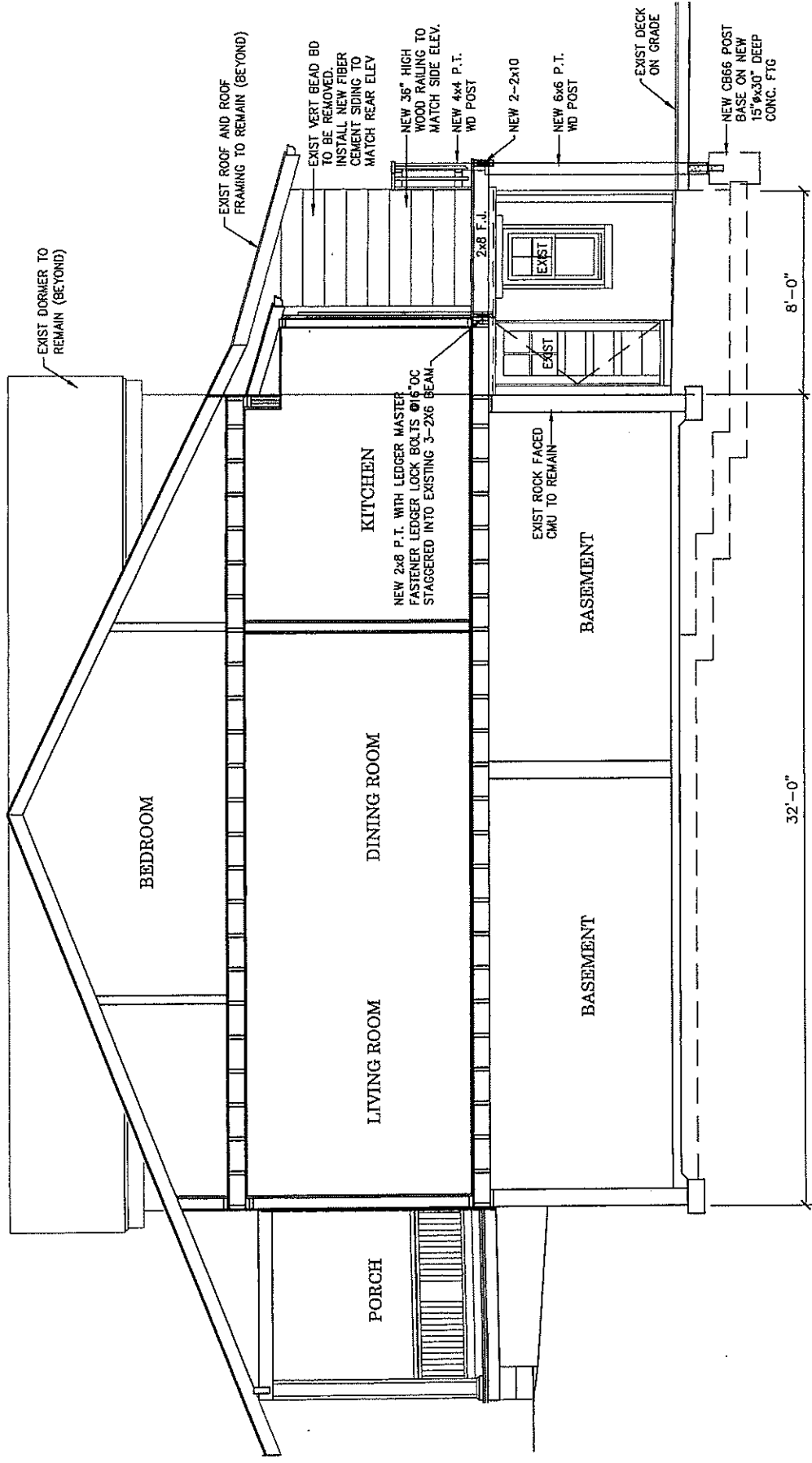
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**A - 5**



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**BUILDING SECTION A-A'**  
 1/4"=1'-0"

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**DIVISION 16: SPECIALTIES thru DIVISION 16 b; PLUMBING**

**DIVISIONS NOT USED**

**DIVISION 16: ELECTRICAL**

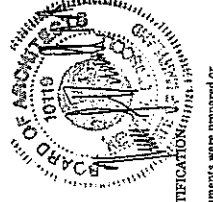
1. Rework existing ground floor light circuits and wiring as required for new deck work.
2. Final switch, outlet and fixture locations to be approved by Owner before final close-up.
3. All interior and exterior power and control wiring to be concealed.
4. Contractor is responsible for providing and installing all electrical materials required by Code or necessary for the intended functioning of electrical system, fixtures, fittings and appliances, even if not specifically included in these Specifications and Schedules, such as, but not limited to: disconnects, junction boxes, sub-panels, light fixture mounting bars, line-and low-voltage control wiring, etc.

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 KENSINGTON, MARYLAND 20896  
 KEVIN J. DRISCOLL, AIA  
 (W) 301-933-1511 KJDARCH@aol.com

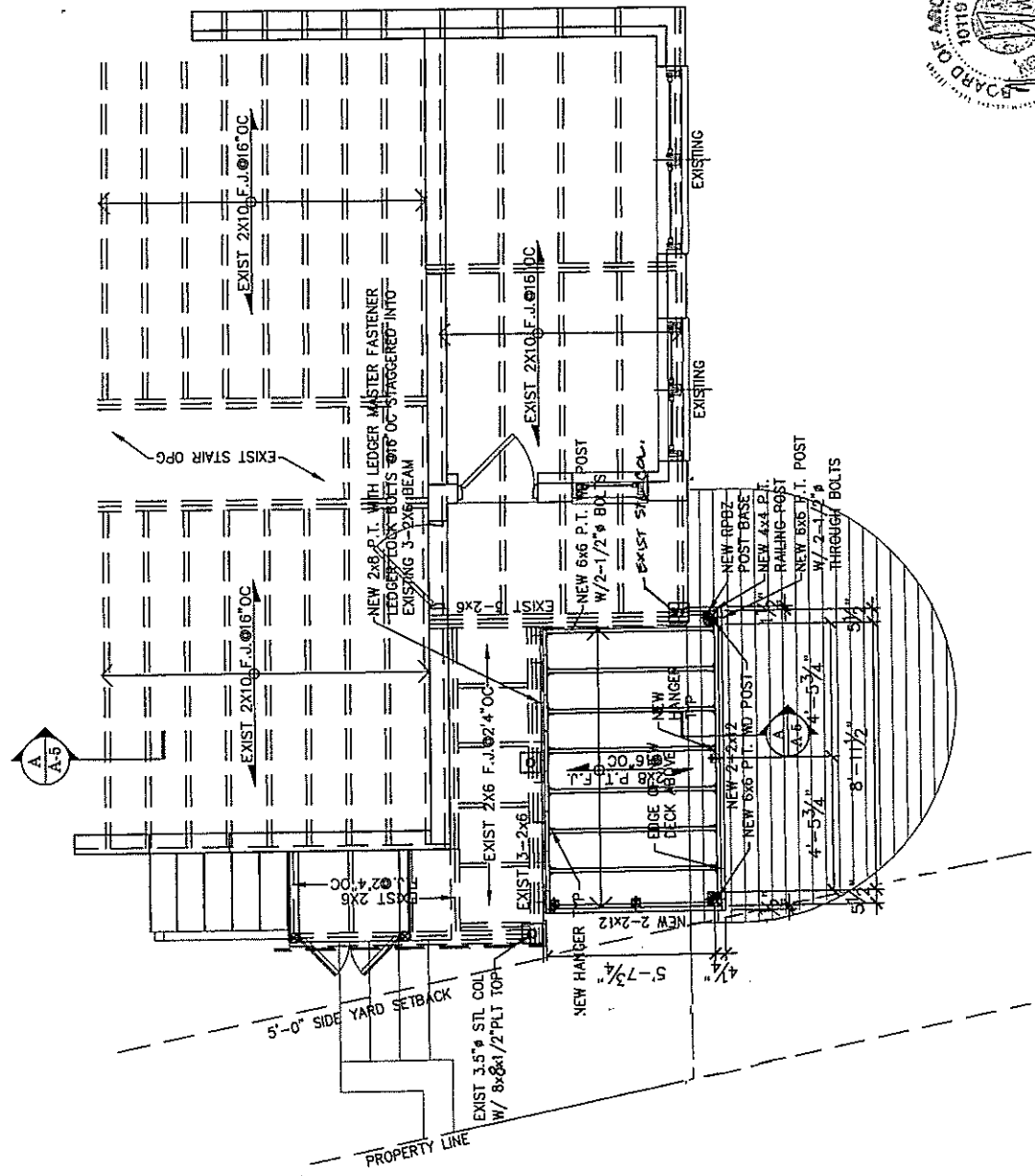
REAR DECK ADDITION  
 TO THE  
**GREAR/FAUCILLION RESIDENCE**  
 40 PHILADELPHIA AVE TAKOMA PARK, MD 20912

PROJ. No.: 2017-19  
 DATE: 10-02-17  
 SCALE: AS NOTED

**A - 6**

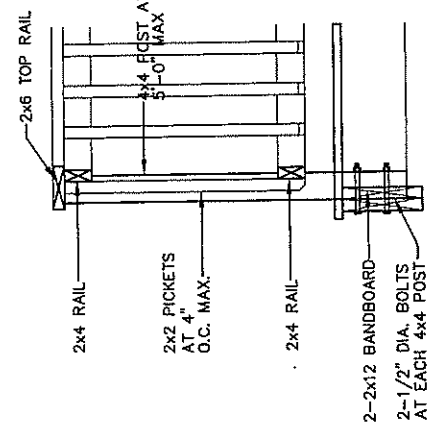


I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland. License Number: 10119, Expiration Date: 10/02/2018



**FIRST FLOOR FRAMING PLAN**

1/4"=1'-0"



**RAILING DETAIL**

N.T.S.

