

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	28 Primrose St., Chevy Chase	<b>Meeting Date:</b>	2/8/2017
<b>Resource:</b>	Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	2/1/2017
<b>Applicant:</b>	Kathleen Lindsay	<b>Public Notice:</b>	1/25/2017
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	35/13-17C	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Replacement of retaining wall		

**STAFF RECOMMENDATION:**

- Approve  
 Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Tudor Revival  
**DATE:** c. 1916-27

**PROPOSAL:**

The applicant is proposing to replace a failing 30-40" tall brick retaining wall at the right side of the subject property. The entire wall to be replaced is at the rear of the property. The proposed replacement wall will be a stone retaining wall of the same approximate height. The proposed replacement wall will match existing stone site walls at the rear of the property.

**APPLICABLE GUIDELINES:****Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.

**Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement

or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the Chevy Chase Village Historic District Guidelines, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they

propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Email: Kate.Oelindsay.com Contact Person: Kate Lindsay  
Daytime Phone No.: 7039329000

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Kathleen Lindsay Daytime Phone No.: 7039329000  
Address: 28 Primrose St. Chevy Chase Md 20815  
Street Number City Street Zip Code  
Contractor: Serra Stone Phone No.: 3019861850  
Contractor Registration No.: MD # 4613  
Agent for Owner: Eddie Serra Daytime Phone No.: 3019861850

**LOCATION OF BUILDING/PREMISE**

House Number: 28 Street: Primrose Street  
Town/City: Chevy Chase Nearest Cross Street: Bonkole Rd. / Primrose  
Lot: 57 & 28 Block: 57 Subdivision: Sec 2 Chevy Chase, Mont. Co.  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate
- Move  Install  Wreck/Reuse
- Revision  Repair  Revocable

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed
- Solar  Fireplace  Woodburning Stove  Single Family
- Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 30,000.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 30" feet 60" inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Kathleen Lindsay 1/9/2017  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

30"-40" - Red brick retaining wall between two properties. Wall supports plantings and soil from one property to other. Existing soil/yard is approx. 18"-20" high.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Replace crumbling, bowed red brick retaining wall between two properties with a 30" stone wall to match existing walls in yard of 28 Primrose St.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

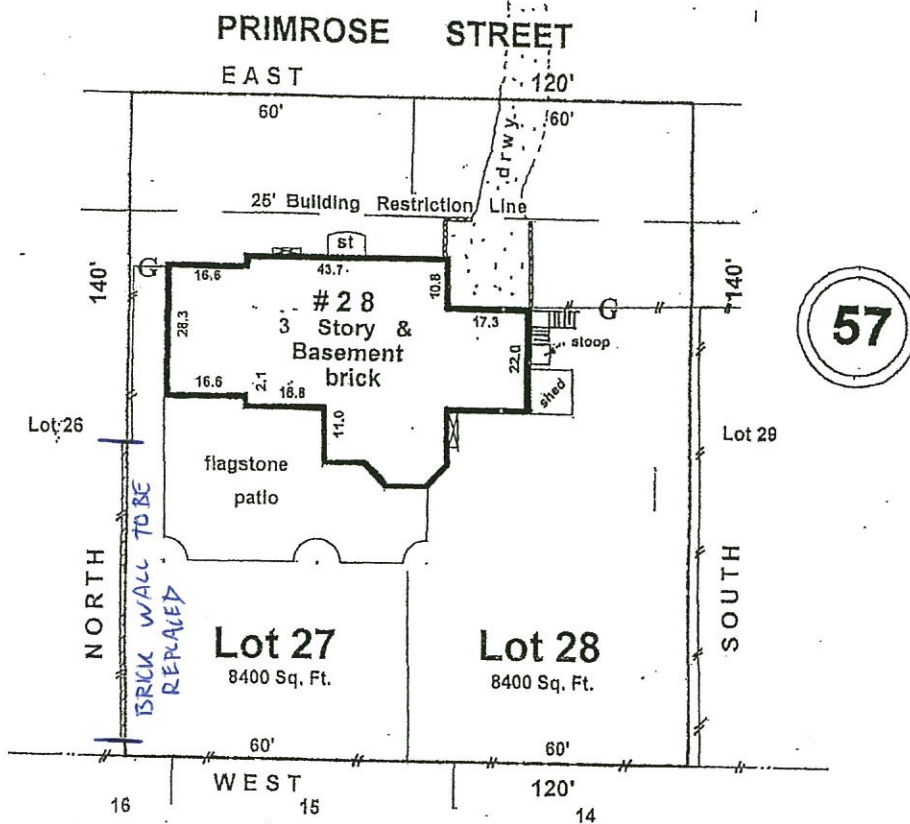
7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**LANDTECH ASSOCIATES, INC.**

10260 OLD COLUMBIA ROAD SUITE J  
 COLUMBIA, MARYLAND 21046-1721  
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920  
 FAX: 410-290-8299 TOLL FREE 888-290-1922



Location Survey of:	LOT: 27 & 28	BLOCK: 57
#28 Primrose Street	PLAT BK: 2	PLAT#: 106
Section No.: 2	DATE: 5-08-06	SCALE: 1"=30'
<b>CHEVY CHASE</b>	CASE NUMBER: 060379	
Montgomery Co., MD	FILE NUMBER: LT-2061921	

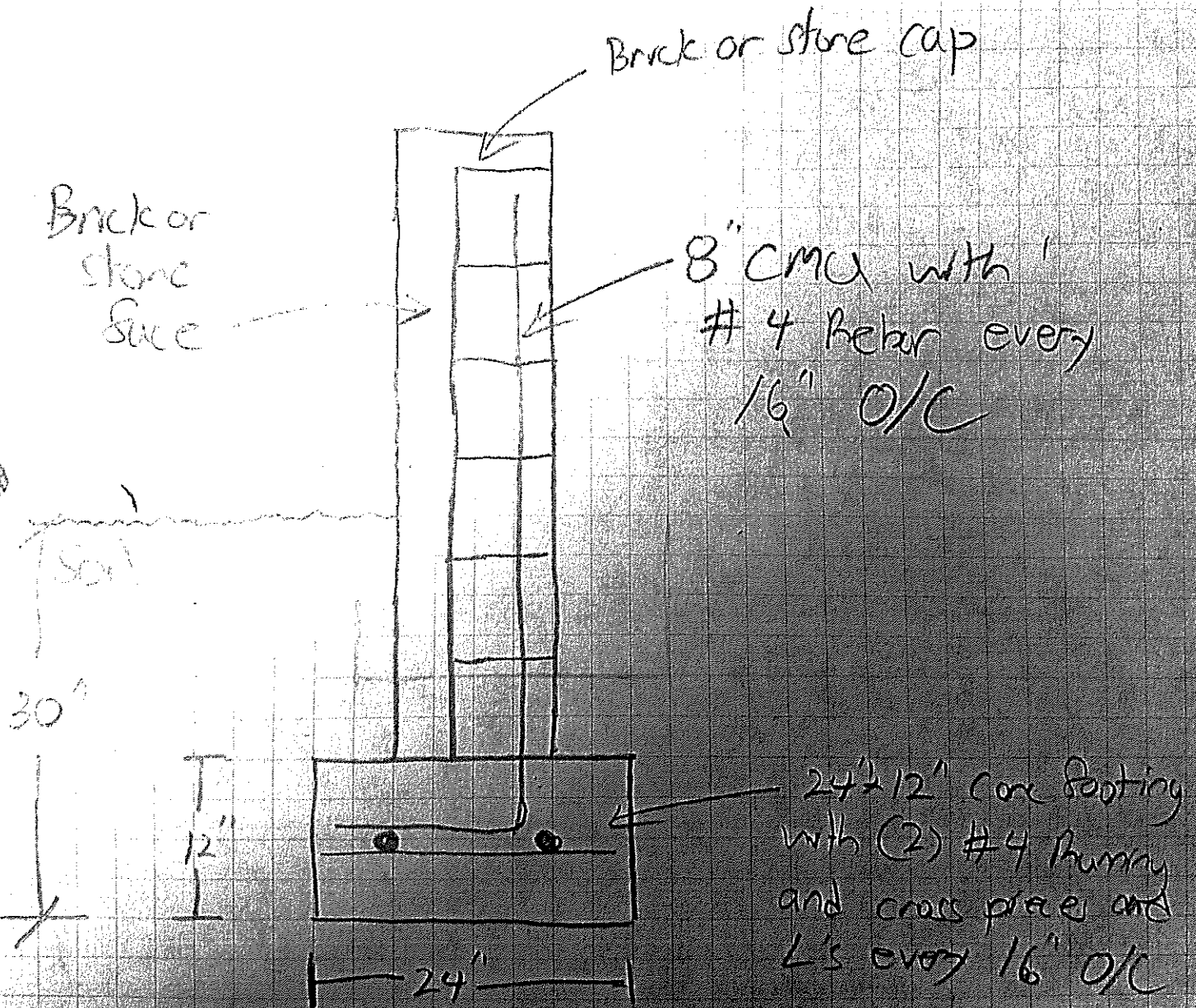


- NOTES:**
1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
  2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
  3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
  4. Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
  5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
  6. This plat is not to be used for the issuance of permits.
  7. No title report furnished.

**CERTIFICATION:** I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

*Graden A. Rogers*  
 GRADEN A. ROGERS - M.D. ROP. L.S. LIC. NO. 119

# Lindsey Residence



# Serra Stone Corporation

4312 Montgomery Avenue  
Bethesda, MD 20814

Office: 301-986-1830 ~ Fax: 301-986-1833

## Contract

Contract Submitted To:
Kate Lindsay 28 Primrose Street Chevy Chase, MD 20815

Contract No.: 16746  
Prepared by: Eduardo Serra  
Date: 11/23/2016

Maryland Home Improvement License #4613  
Virginia Home Improvement License #A-032395  
District of Columbia Home Improvement License #39107605

We hereby propose to furnish all materials and perform all the necessary labor for the completion of:

Description of Work:	Total
<p><b>NOTES:</b></p> <ul style="list-style-type: none"> <li>-All stone veneer to match existing.</li> <li>-Winter protection to continue work may be done for an extra charge.</li> <li>-Colors of material to be matched will be with closest standard stock materials provided by vendors. Exact matches will require additional cost.</li> <li>-Stable soil conditions are assumed in this price. Serra Stone is not responsible for unstable sub-grade soil.</li> <li>-Portal John if needed will be provided at a rate of \$200 per month.</li> </ul> <p><b>EXCLUSIONS (unless otherwise noted in estimate):</b></p> <ul style="list-style-type: none"> <li>-All tree and plant removal.</li> <li>-All drain tile and drainage systems.</li> <li>-Any sleeves.</li> <li>-All permits.</li> </ul>	
All material is guaranteed to be as specified, and the above work is to be performed and completed in a substantial workmanlike manner for the sum of:	\$31,505.00

Payments are to be made by Check Only as follows: 30% deposit due upon acceptance of proposal, 65% of total to be paid in installment(s) according to progress of work, remainder due upon completion.

The Provisions specified in the attached "Exhibit A" dated 13 July 2012 are expressly incorporated into this agreement.

BY: SERRA STONE CORPORATION

Contractor Name	Contractor Signature	License No.	Date
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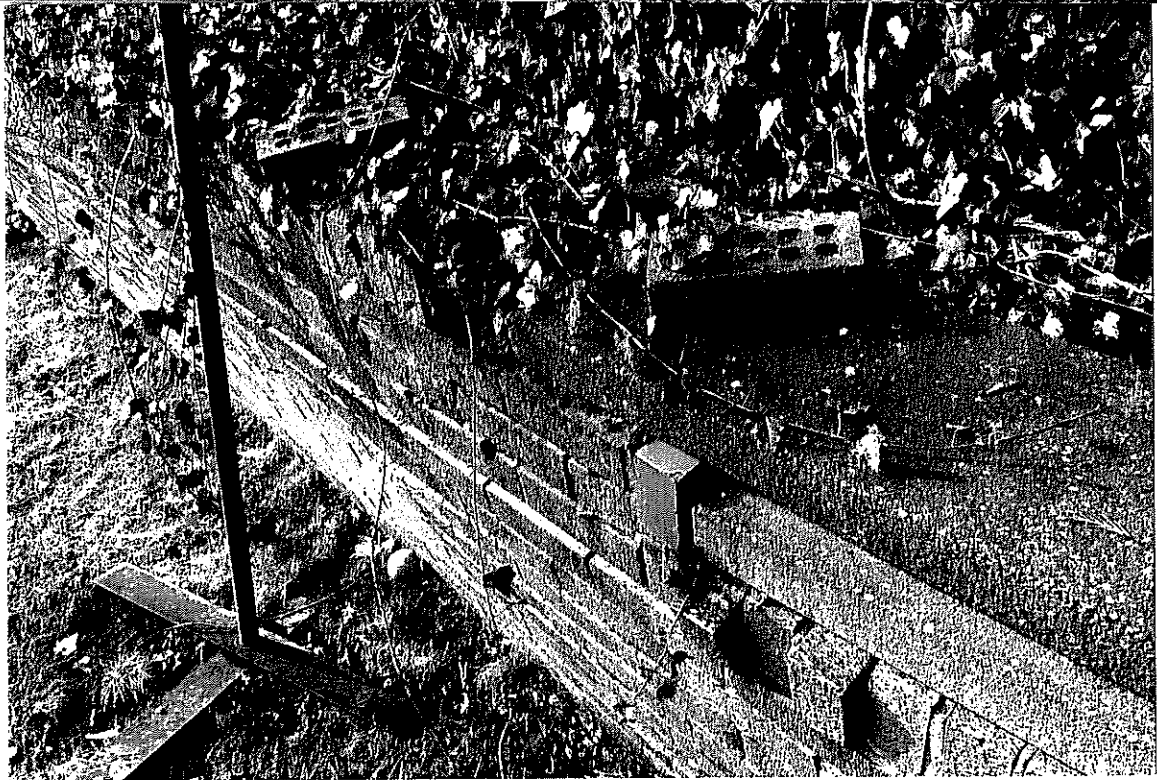
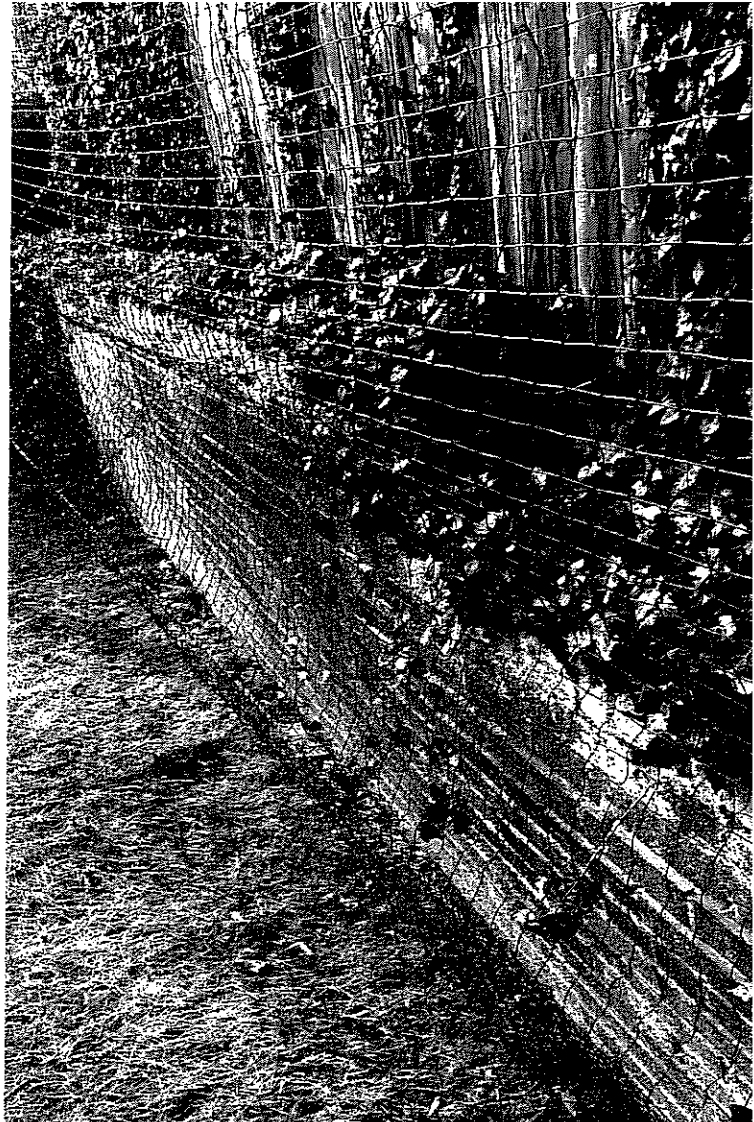
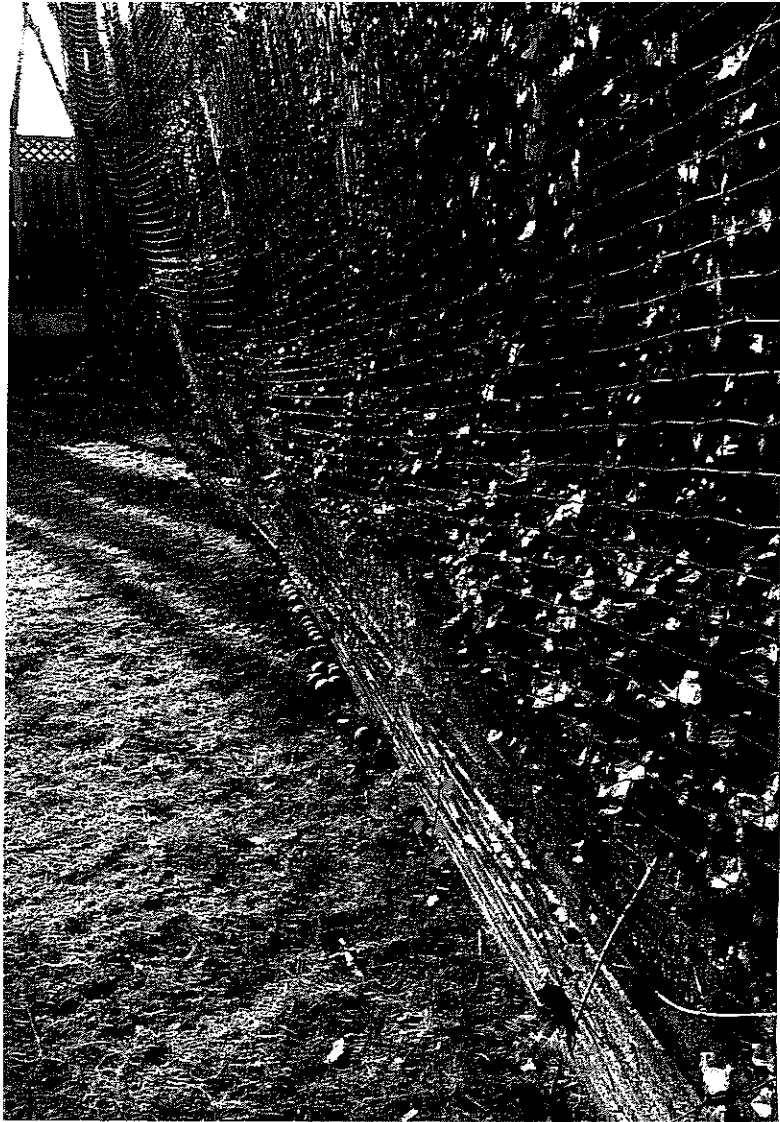
**ACCEPTANCE OF PROPOSAL - DO NOT SIGN IN BLANK. CLIENT IS ENTITLED TO A COPY OF THE CONTRACT AT THE TIME OF SIGNING. READ ADDITIONAL TERMS ON THE BACK BEFORE SIGNING.**

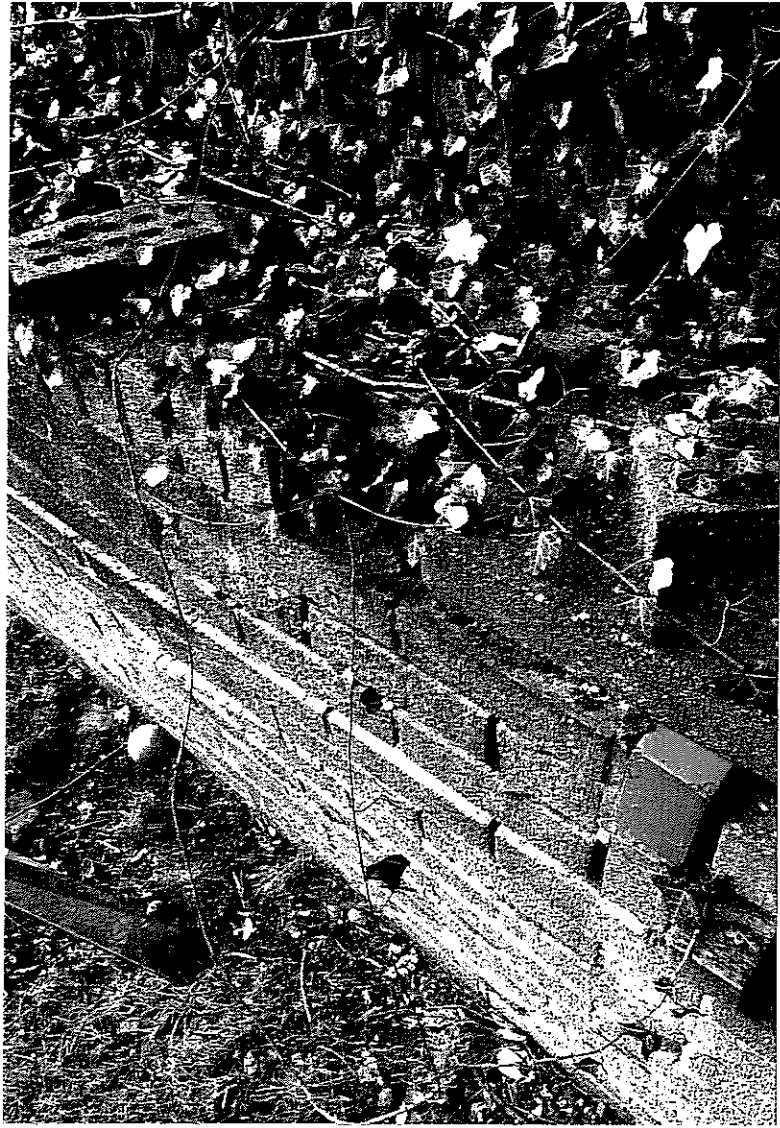
The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Client Name	Client Signature	Date
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Client Name	Client Signature	Date
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**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

Mathew Lindsay  
28 Primrose St.  
Chevy Chase, Md. 20815

**Owner's Agent's mailing address**

**Adjacent and confronting Property Owners mailing addresses**

Mr. Robert Stillman  
22 Primrose St.  
Chevy Chase, Md.  
20815