

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|---|-----------------------|---------------|
| Address: | 9519 Woodstock Ct., Silver Spring | Meeting Date: | 10/24/2018 |
| Resource: | Contributing Resource National Park Seminary Historic District | Report Date: | 10/17/2018 |
| Applicant: | Joyce Hamel and Bonnie Burns | Public Notice: | 10/10/2018 |
| Review: | HAWP | Tax Credit: | Yes |
| Case Number: | 36/01-18A | Staff: | Dan Bruechert |
| PROPOSAL: | Storm Window Installation | | |

STAFF RECOMMENDATION:

- Approve**
- Approve with conditions**

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the National Park Seminary Historic District
STYLE: Spanish Mission Revival
DATE: 1903

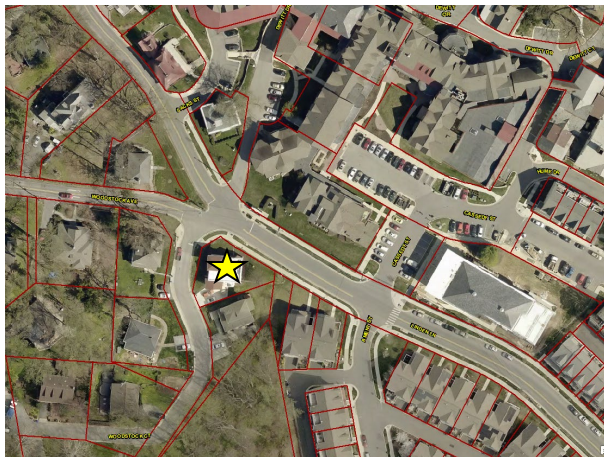


Figure 1: 9519 Woodstock Ct. is located across Linden Ln. from much of the National Park Seminary District.

PROPOSAL:

The applicant proposes to storm windows on the historic building.

APPLICABLE GUIDELINES:

The Expedited Staff Report format may be used on the following type of cases:

9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

Secretary of the Interior’s Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (3) having found that the proposal is consistent with the Secretary of the Interior’s Standards for Rehabilitation (specifically, Standards 2 and 5), and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.

852917



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: joyce.hamel@gmail.com Contact Person: Joyce Hamel
 Tax Account No.: 03532147 Daytime Phone No.: 301-267-5589
 Name of Property Owner: Joyce Hamel/Bonnie Burns Daytime Phone No.: 11 11
 Address: 9519 Woodstock Ct SS MD 20910
Street Number City State Zip Code
 Contractor: N/A Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: As above Street: _____
 Town/City: _____ Nearest Cross Street: Woodstock Ave/Linden
 Lot: _____ Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Storm Windows
 1B. Construction cost estimate: \$ 5,045.30 plus installation
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE ONLY FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date: 9/24/18
 Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No. 852917 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE NEXT PAGE,

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE NEXT PAGE.

2. SITE PLAN

Attached.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

N/A

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

See Quantapanel specification sheet attachment.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

N/A

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For All projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Application for Historic Area Work Permit

1. Written Description of the Project

a. Description of existing structure and environmental setting including their historical features and significance.

The structure is the so-called Spanish Mission, a former sorority house built in 1903 which is part of the National Park Seminary Historic District as recognized by the Maryland Historical Trust Survey No. M-36-1. The Spanish Mission is the home I live in with my wife (and co-owner), Bonnie Burns. **The project is to preserve both the original and existing in-kind wooden replacement windows by applying exterior storm windows to twenty windows.**

Context/Background: Since purchasing our home in 2014, we have had to repair the exterior windows numerous times--we've now replaced at least eight exterior rotted exterior window sills and repaired multiple portions of rotted window casings. Damage is occurring due to water infiltration. We've now had to replace some of the wood that WAS replaced by the developer from whom I purchased the property. Replacing wood trim in a 1903 home is a challenge with new wood because it is substandard and doesn't compare with the hardwoods formerly available. Exterior storm windows will, in large part, meet the requirement of protecting the original windows, particularly the sashes.

b. General description of project and its effect on the historic resources, the environmental setting, and, where applicable, the historic district.

Other than preserving the original and existing in-kind wooden sashes and window structure, there will be no effect on historic resources or historic district. The plan is to install Quantapanel Insulating Glass System windows. See: (<https://www.quantapanel.com/residential/residential-historic-preservation/>)

The powder coated color has been matched to the existing exterior trim paint on the home. We also intend to use the bare minimum of caulk so that the storms are easily removed for future preservation needs.

2. Site Plan. See the attached survey.

3. Plans and Elevations Not applicable.

4. Materials specifications.

The storm windows have powder coated metal frames that will match the color of the existing trim and be low profile windows having only two tracks. All double hung windows will match the window meeting rails. Casement windows will be protected with a single fixed/picture removable sash. Please see attached project window measurements and product information from Quantapanel.

Applicant: Hamel/Burns

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| Owner's mailing address | Owner's Agent's mailing address |
|--|---------------------------------|
| Joyce Hamel/Bonnie Burns 9519 Woodstock Ct Silver Spring MD 20910 | Same |
| Adjacent and confronting Property Owners mailing addresses | |
| Aled and Marcia Greville 9517 Woodstock Ct Silver Spring MD 20910 | Same |
| George and Galasso and Patty Jehle 9518 Woodstock Ct Silver Spring MD 20910 | Same |
| Mark Scheideler 9600 Dewitt Dr. Silver Spring MD 20910 | Same |

Applicant: Hamel/Burns

Existing Property Condition Photographs



Detail: Sill rot due to water infiltration
& repaired sill (upper).

Applicant: Hamel/Burns

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Existing Property Condition Photographs



Detail: Window sill & casement rot due to water infiltration. (Upper) repaired trim & sill.

Applicant: Hamel/Burns

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Side yard view



North-East

"X" above window means ext. storms applied to window.



North-West

Applicant: Hamd/Burns

Dewitt Dr. facing view

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Southern exposure

"X" above window means exterior storms applied



Western exposure

Applicant:

Hamel/Borns

Page:

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Site Plan

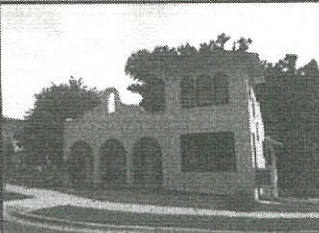
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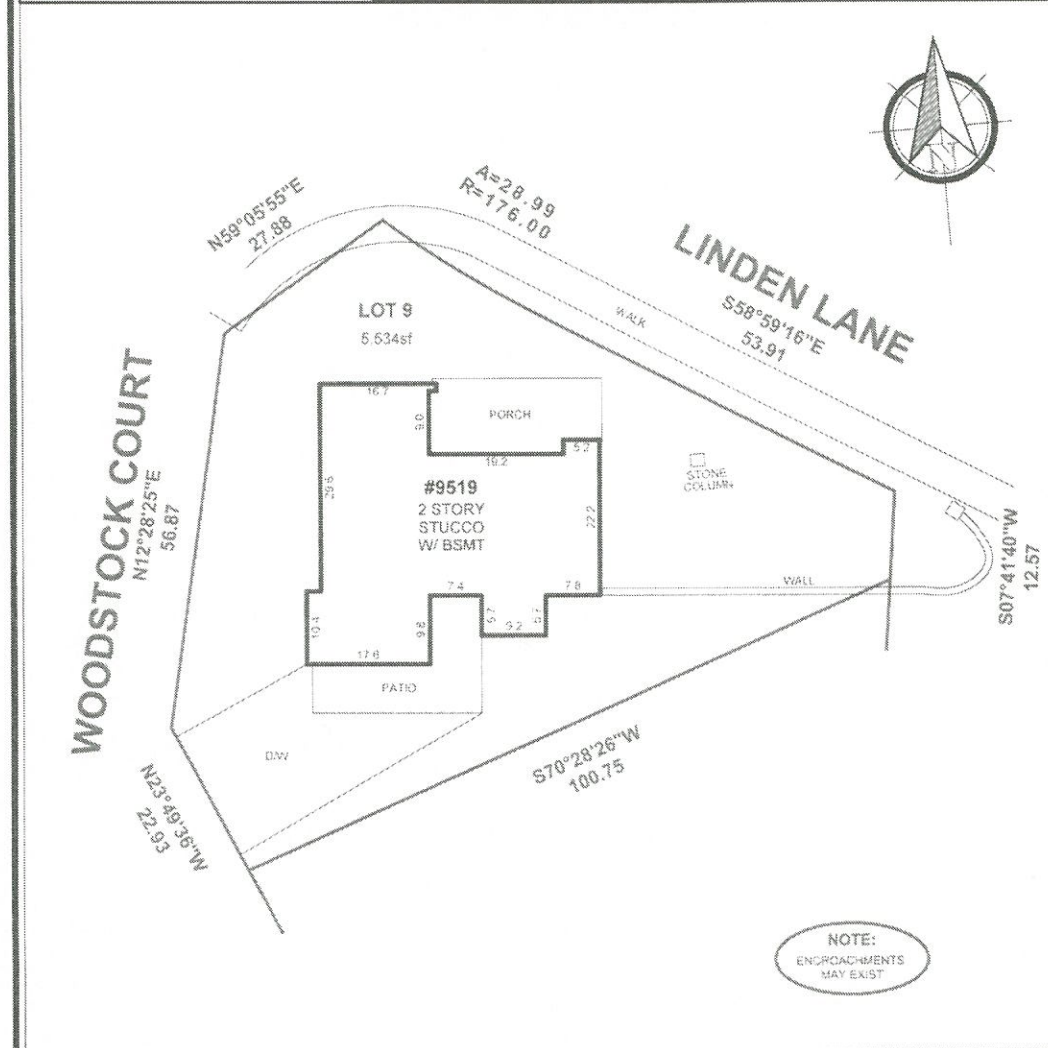
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CASE #. R1407006



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| <p>LOCATION DRAWING OF:</p> <p>#9519 WOODSTOCK COURT LOT 9 BLOCK 2 SUBDIVISION RECORD PLAT FOREST GLEN PARK PLAT NO. 23361 MONTGOMERY COUNTY MARYLAND</p> <p>SCALE: 1"=20' DATE: 7-16-14 DRAWN BY: AP FILE #: 143384-241</p> | <p>LEGEND</p> <p>— FENCE</p> <p>— BASEMENT ENTRANCE</p> <p>— BAY WINDOW</p> <p>— BRICK</p> <p>— BRICK RESTRICTION LINE</p> <p>— BSMT</p> <p>— CONCRETE STOOP</p> <p>— CONCRETE</p> <p>— DRIVEWAY</p> <p>— FRAME</p> <p>— MAGAZINE</p> <p>— OVERHANG</p> <p>— PUBLIC UTILITY BSMT</p> <p>COLOR KEY</p> <p>(RED) RECORD INFORMATION</p> <p>(BLUE) IMPROVEMENTS</p> <p>(GREEN) EASEMENTS & RESTRICTIONS</p> | <p>A Land Surveying Company</p> <p style="text-align: center;">DULEY and Associates, Inc.</p> <p style="text-align: center;">Serving D.C. and MD.</p> <p>14604 Elm Street, Upper Marlboro, MD 20772</p> <p>Phone: 301-888-1111 Fax: 301-888-1114 Email: orders@duley.biz On the web: www.duley.biz</p> |
|---|--|--|

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|  | <p style="text-align: center;">SURVEYOR'S CERTIFICATE</p> <p>I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 06 13.05 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING OR OTHER IMPROVEMENTS. THIS PLAN DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING THE PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1:4. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED TO DETERMINE THE EXACT LOCATION OF IMPROVEMENTS.</p> | <p>DULEY & ASSOC.</p> <p>WILL GIVE YOU A 100% FULL CREDIT TO UPGRADE THIS SURVEY TO A "BOUNDARY/STAKE" SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY.</p> <p>(EXCLUDING D.C. & BALT. CITY)</p> |
|---|---|--|

Applicant: Hamel/Burns

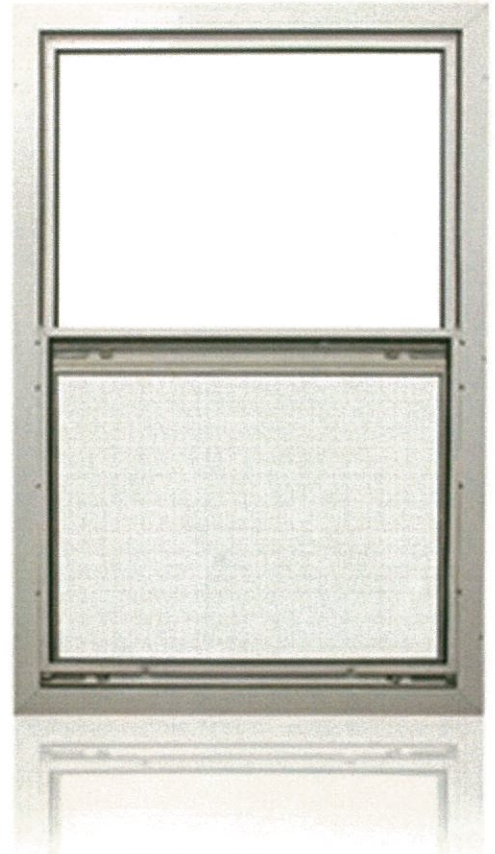


QUANTAPANEL® Insulating Glass System 500 Series (Exterior)

The QUANTAPANEL® Insulating Glass System (IGS) is an advanced, modern day version of what was once known as a storm window, which, when installed on the exterior of your existing window, delivers equivalent to superior energy savings and comfort enhancement as that delivered by a “state-of-the-art” (i.e., Energy Star) replacement window.

The **QUANTAPANEL® 500 Series** is designed primarily for single family residential properties and multi-family dwellings with less than 5 stories. The functionality of each product is designed to mirror the functionality of the underlying prime window (i.e., double hung, horizontal slider, picture window, etc.). These products have been installed on numerous private and public buildings.

The chart below shows typical performance results that can be realized by installation of a QUANTAPANEL® 500 Series IGS on an existing single glazed window.¹

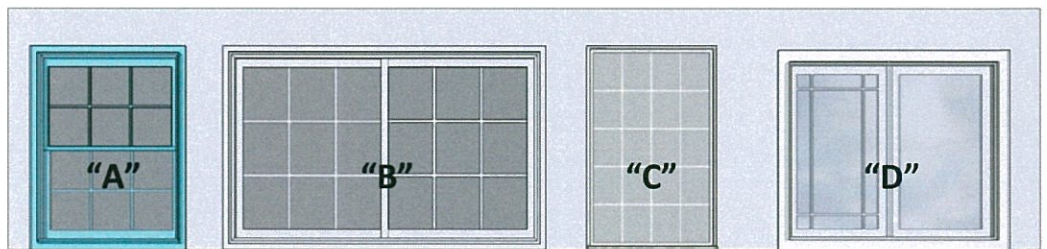


| PERFORMANCE | PARAMETER | EXISTING CONDITION | QUANTAPANEL® IGS Installed |
|------------------|-------------------------------------|--------------------|----------------------------|
| Insulating | U-Factor (BTU/hr-ft ² F) | 1.12 – 0.88 | 0.36 |
| Solar Heat Gain | SHGC | 0.72 | 0.52 |
| Air Infiltration | (cfm/ft ² glass) | 2 – 4 | < 0.1 |
| Noise Reduction | STC (Sound Transmission Class) | 25 | 38 |

PRODUCT OPTIONS/SELECTION

Select the Style to match the underlying prime window.

Pick your color: standard and custom colors are available.



The QUANTAPANEL 500 Series IGS features a low-profile design to maximize the glass-to-frame ratio, and will install to achieve visual integration to your existing windows.

| EXISTING WINDOW | QUANTAPANEL STYLE | DESCRIPTION |
|---------------------|-------------------|-----------------------------------|
| Double Hung (“A”) | QP- 504DH | 2-track with screen. |
| Slider (“B”) | QP- 506SL | 2-track with screen; 2 or 3 lite. |
| Fixed/Picture (“C”) | QP-502PW | Removable sash (exterior). |
| Casement (“D”) | QP-608JP | Single mountable panel. |

¹ For detailed description of the specific performance parameters and whole building results, visit www.quantapanel.com.