

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	31 Oxford St., Chevy Chase	<b>Meeting Date:</b>	10/10/2018
<b>Resource:</b>	Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	10/3/2018
<b>Applicant:</b>	Dan Morgan and Mary Elaine Shannon	<b>Public Notice:</b>	9/26/2018
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Yes
<b>Case Number:</b>	35/13-18AA	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Siding alteration, roof replacement, and shutter replacement		

**STAFF RECOMMENDATION:**

- Approve  
 Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Craftsman  
**DATE:** c. 1916-27

**PROPOSAL:**

The applicants are proposing rehabilitation work at the subject property, with the following specifications:

- Removal of the non-historic aluminum siding.
- Repairs and painting of the original cedar siding.
- In-kind replacement of the three-tab asphalt roofing shingles.
- Replacement of the non-historic aluminum louvered shutters (11 pairs total) with wooden louvered shutters (operable) of the same dimensions.
- Other repairs, including re-caulking of the historic windows.

**APPLICABLE GUIDELINES:****Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.  
(Ord. No. 9-4, § 1; Ord. No. 11-59.)

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1) & (2) and having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standard for Rehabilitation #2 and 9*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

850785  
SS7  
OSS

eshannon0609@gmail.com      Contact Person: Elaine Shannon

Contact Email: \_\_\_\_\_      Daytime Phone No.: 202-664-9232

Tax Account No.: District - 07 Account Number - 00454652

Name of Property Owner: Dan Morgan and Mary Elaine Shannon      Daytime Phone No.: 202-664-9232

Address: 31 Oxford Street, Chevy Chase, Md. 20815

Street Number      City      Street      Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 31      Street: Oxford

Town/City: Chevy Chase      Nearest Cross Street: Connecticut Avenue

Lot: PT LTS 18 & 19 CHEVY CHASE SEC 2      Block: 57      Subdivision: Chevy Chase Village

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: 0000

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE: Roof replacement      CHECK ALL APPLICABLE:

Construct     Extend     Alter/Renovate       A/C     Slab     Room Addition     Porch     Deck     Shed

Move     Install     Wreck/Raze       Solar     Fireplace     Woodburning Stove     Single Family

Revision     Repair     Revocable       Fence/Wall (complete Section 4)     Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal:    01  WSSC    02  Septic    03  Other: NA

2B. Type of water supply:    01  WSSC    02  Well    03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches      NA

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]      Sept 2/2018

Signature of owner or authorized agent      Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

Tuesday, August 28, 2018

# Application for Historic Area Work Permit

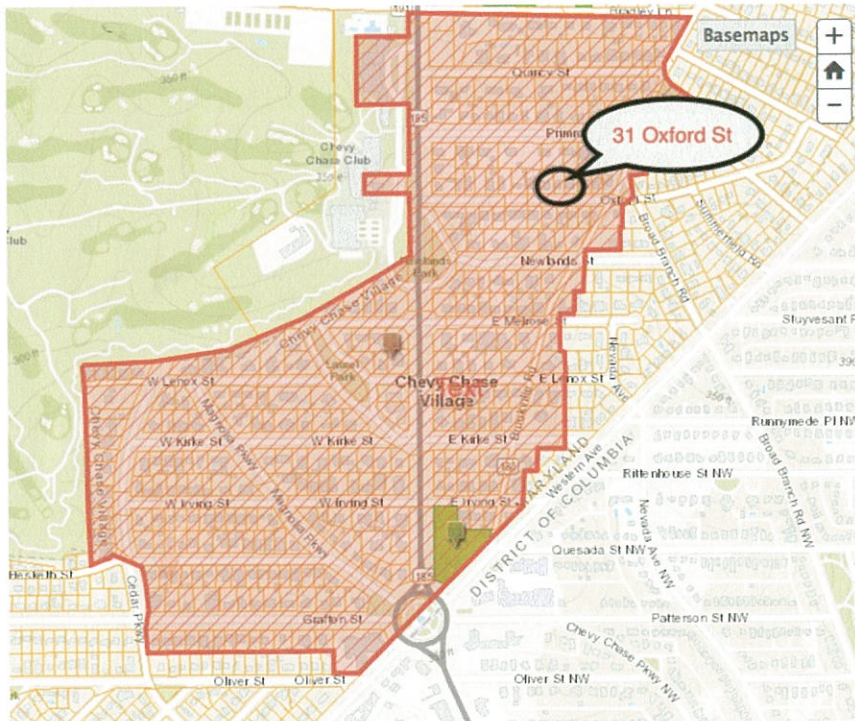
To: Montgomery County Historic Preservation Commission  
Department of Permitting Services (DPS)  
255 Rockville Pike, Rockville, Md. 20850  
240.777.0311.

From Dan Morgan and Mary Elaine Shannon  
31 Oxford Street  
Chevy Chase, Md. 20815

## 1. Written description of project

- a. Description of existing structure and environmental setting, including historical features and significance:

The Chevy Chase Village Historic District was created in 1995, with 11 buildings initially, and expanded in 1998 to include 326 structures, mostly residences, between the Chevy Chase Club and Bradley Lane on the north and Western Avenue on the south.



The house at 31 Oxford Street, built between 1906 and 1908, shares that history and exemplifies the graceful architectural styles of the historic community.

According to a document available on the [Montgomery Planning Department website](#), quoting *Places from the Past: The Tradition in Gardes Bien in Montgomery County, Maryland* by Clare Lise Cavicchi:

Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

The three-story craftsman-style house at 31 Oxford Street is typical of the large, graceful houses constructed in Chevy Chase Village soon after the neighborhood was established in 1890. A cornerstone found on the property is inscribed 1906. Montgomery County property records give the date of construction as 1908. It appears to be the oldest structure on Oxford Street. A capped well in the back yard suggests that a farm once sat on or near the site.

The house is a white wood frame house, sided with cedar shingles seen throughout Chevy Chase Village. It has a graceful wrap-around veranda with cylindrical columns and original architectural details inside and out. Doors, windows, mahogany bannisters and other features are original. The rooms have high ceilings and moulding. The floors are of red pine no longer available. The windows are large and well-placed to bring light into the house.

Over the years, we have changed nothing about the appearance of the house from the street. Very few changes have been made in the rear. The floor plan has never changed. Our efforts have focused on restoring, rehabilitating and preserving the house as its builder originally conceived it.

We acquired the house in 1985 and found it in need of extensive repairs and rehabilitation. The front porch had large holes in the floor. The columns that hold up the roof over the porch were sagging. The foundation was crumbling. The heating system was decades old. Joists had been severed, causing the whole structure to sink inward. The previous owners attempted to remedy this critical problem by jerry-rigging a two-story jack that reached from the cement basement floor to the top of the kitchen. The jack supported an I-beam that extended across the kitchen ceiling to support the second and third floors.

We replaced the rotted front porch floor with tropical mahogany, which has a long life and can withstand Washington's weather extremes. We installed a new roof, with asphalt shingles, the same material as we found when we moved in.

The floor plan of the house is as it was originally constructed, with one exception: a flat-roofed family room apparently added to the rear in the 1960s. We found this room partly finished, with subflooring but no flooring, rudimentary space heating and a rudimentary powder room. We finished it in 1989, with a maple floor and central heating and air conditioning. We added glass sliding doors to the garden. We re-roofed the flat family room roof.

Also in 1989, we updated the kitchen and restored the original hardwood flooring, hidden under layers of vinyl tile. The kitchen features wood cabinets and tile. It has the look of a farmhouse kitchen, in keeping with the period of the house. In 1989, we undertook extensive work to reinforce the original foundation. We updated the second-floor bathroom, replacing plastic tile tiled with high quality ceramic tiles. We repaired and painted ceilings and walls damaged by leaks from the second and third bathrooms.

In 2005, we added an air conditioning system to the second and third floors, using a Unico ductless system designed specifically for retrofitting historic structures. This system did not require alteration of the interior to accommodate ducts.

In 2012, we updated the third floor bathroom. In 2014, we replaced the sewage outflow pipe, which had crumbled over the years and was undermining the foundation.

The previous owners covered the entire house's cedar siding with aluminum siding. When we rehabilitated the kitchen in 1989, we removed the aluminum siding on the exterior walls of the kitchen. We hope to remove the rest of the aluminum siding this year.

In 2016, we repainted and restored the plaster walls of the living room, dining room and entrance hall, which are the oldest part of the house. We used historic colors found in the homes of George Washington and Thomas Jefferson. We finished the 1960s-era powder room, replacing a plywood-and-plastic vanity with an heirloom-quality tiger maple vanity and mirror and adding a hardwood floor.

When we moved into the house in 1985, the side yard and much of the back yard were paved with asphalt. The previous owners had used the yard as a parking lot for their several vehicles. We had the asphalt dug out by hand. Over the years we added soil and plants. In 2014, we had the garden designed by Alida Morgan, an artist and professional landscape designer. We made broader perennial beds and added tables and benches.

Today, 31 Oxford Street looks much as it did when it was built. Like all houses, and for that matter, all people, it takes work to stay the same.

- b. General description of project and its effect on the historic resource, the environmental setting and the historic district

We propose to continue our work to restore the house to its original beauty and maintaining it good condition. Our current project is straightforward: cleaning, repairing and repainting. We contemplate no changes to the structure. We plan to:

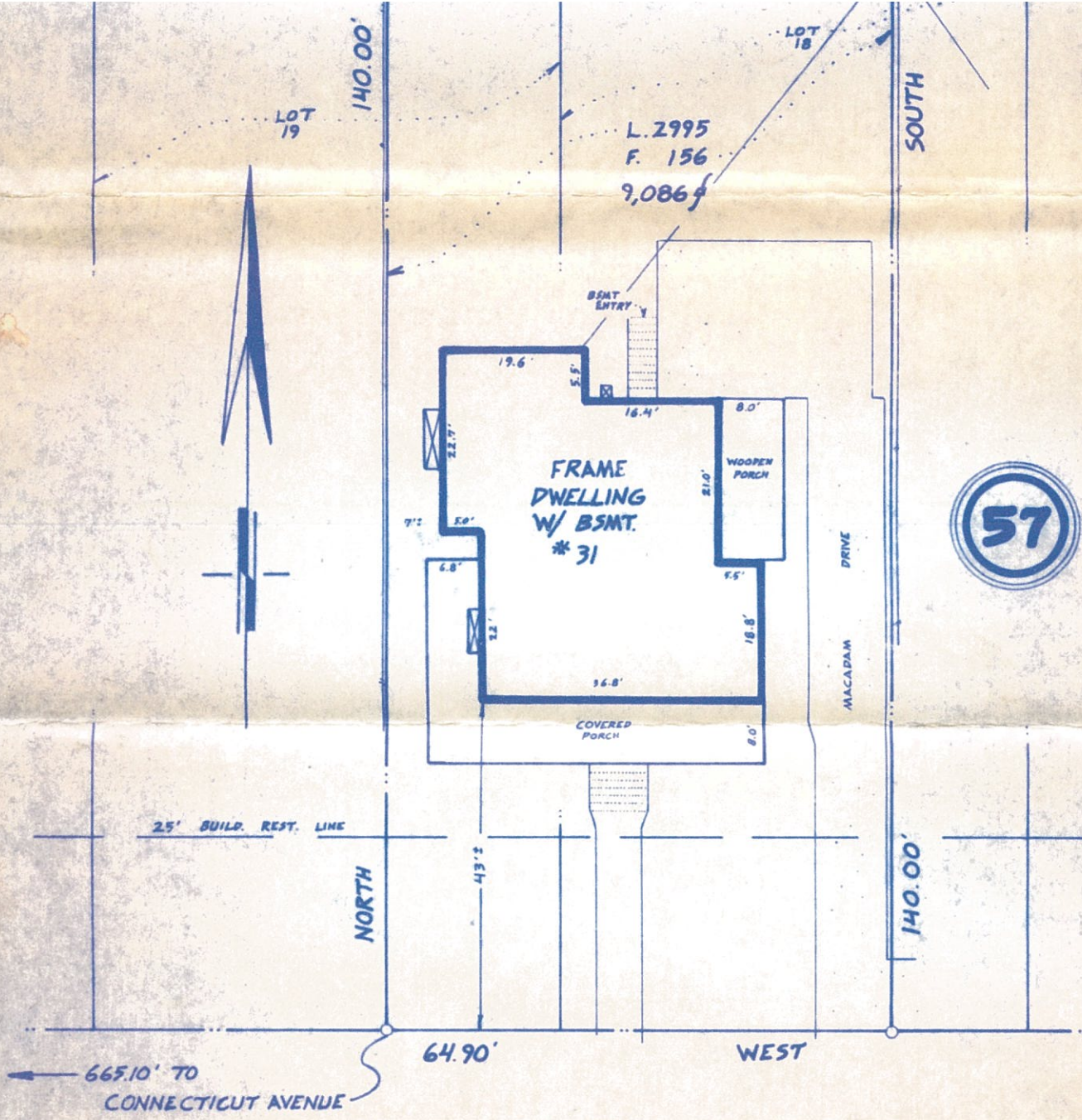
- Clean and paint peeling and mildewed all painted surfaces.
- Remove aluminum siding applied by a previous owner.
- Caulk and repaint the original cedar siding, with repairs as needed.
- Replace fake aluminum shutters with real wooden shutters that match original wooden shutters.
- Replace aging roof with missing shingles with new roof, with asphalt shingles, the same as before. Windows will be recaulked and preserved.

Once the repairs and repainting are accomplished, the house will look the same as it always had, but fresher.



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>Dan Morgan and Mary Elaine Shannon,          31 Oxford Street, Chevy Chase, Md. 20815          eshannon0609@gmail.com          202-664-9232 or 301-654-3158</p>	<p><b>Owner's Agent's mailing address</b></p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Hashim, Jeff &amp; Maryam Salass          25 Oxford Street          Phone: (301) 907-0123          Email: jjhashim@gmail.com</p>	<p>Talbott, Scott &amp; Leanne          33 Oxford Street          Phone: (301) 229-5816          Email: stalbott@electran.org</p>
<p>Minshall, Werner E. &amp; Joan M.          12 Oxford Street          Phone: (301) 654-8258          Email: wem@msscompany.com</p>	<p>Rayder, J.W. &amp; Helene          14 Oxford Street          Phone: (301) 656-6436          Email: jwrayder@aol.com</p>
<p>Leggett, Matthew &amp; Melissa          16 Oxford Street          Phone: (301) 652-8546          Email: matthew.h.leggett@gmail.com</p>	



# OXFORD STREET



NO TITLE REPORT FURNISHED

LOCATION SURVEY OF  
\* 31 OXFORD STREET  
MONTGOMERY COUNTY, MD

LOT: PARTS OF 18 & 19

BLOCK: 57

PLAT BOOK: 2

PLAT NO: 106

DATE: 3-06-85

SCALE: 1" = 20'

SUBDIVISION  
SECTION No 2  
CHEVY CHASE

CASE NO: 13634

FILE NO: RC 85027

CERTIFICATION: I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN THERE ARE

Existing Property Conditions Photographs



Detail: Photo# 1 4/25/18 Front (south) elevation



Detail Photo# 2 4/25/18 Front (south) elevation Shows mildew, peeling paint, aluminum siding to be removed

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo# 3 8/20/18 Front (south) elevation  
Shows view from adjacent neighbors at 33 Oxford Street



Detail Photo# 4 8/20/18 Side (east) elevation  
Shows view from adjacent neighbors (33 Oxford Street)

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

**Existing Property Conditions Photographs**



Detail Photo# 5 8/20/18 Front (south) elevation  
View from confronting neighbors and adjacent neighbors (29 Oxford Street)



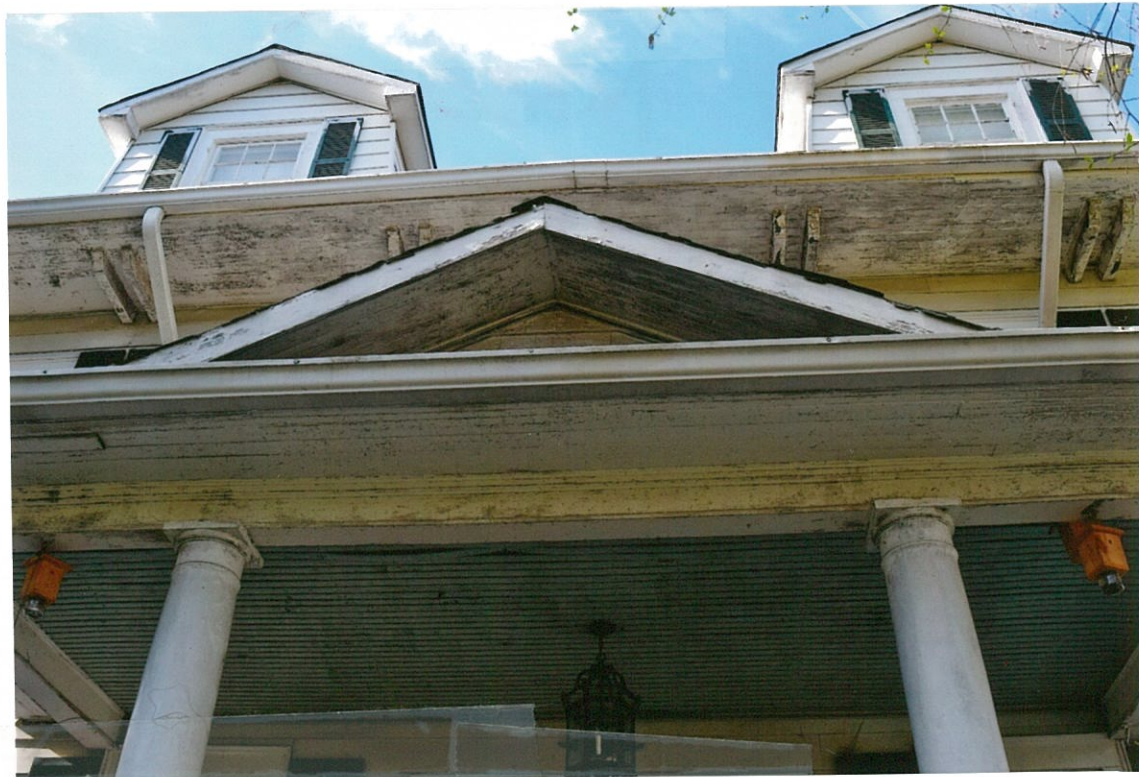
Detail Photo# 6 4/25/18 Front (south) elevation  
Shows mildew, peeling paint under eaves aluminum siding to be removed

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo# 7 4/25/18 Front (south) elevation  
Shows mildew, peeling paint under eaves aluminum siding to be removed



Detail Photo# 8 4/25/18 Front (south) elevation  
Shows mildew, peeling paint under eaves aluminum siding to be removed

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo# 9 4/25/18 Front (south) elevation  
Front (south) elevation detail of covered front porch  
Shows peeling paint, mildew



Detail Photo# 10 4/25/18 Front (south) elevation  
Front (south) elevation detail of eaves with peeling paint, mildew

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#11 4/25/18 Front (south) elevation  
Front (south) elevation detail of front steps and railing  
Shows peeling paint, mildew



Detail Photo#12 4/25/18 Front (south) elevation  
Front (south) elevation and side (east) elevation detail of front porch railing

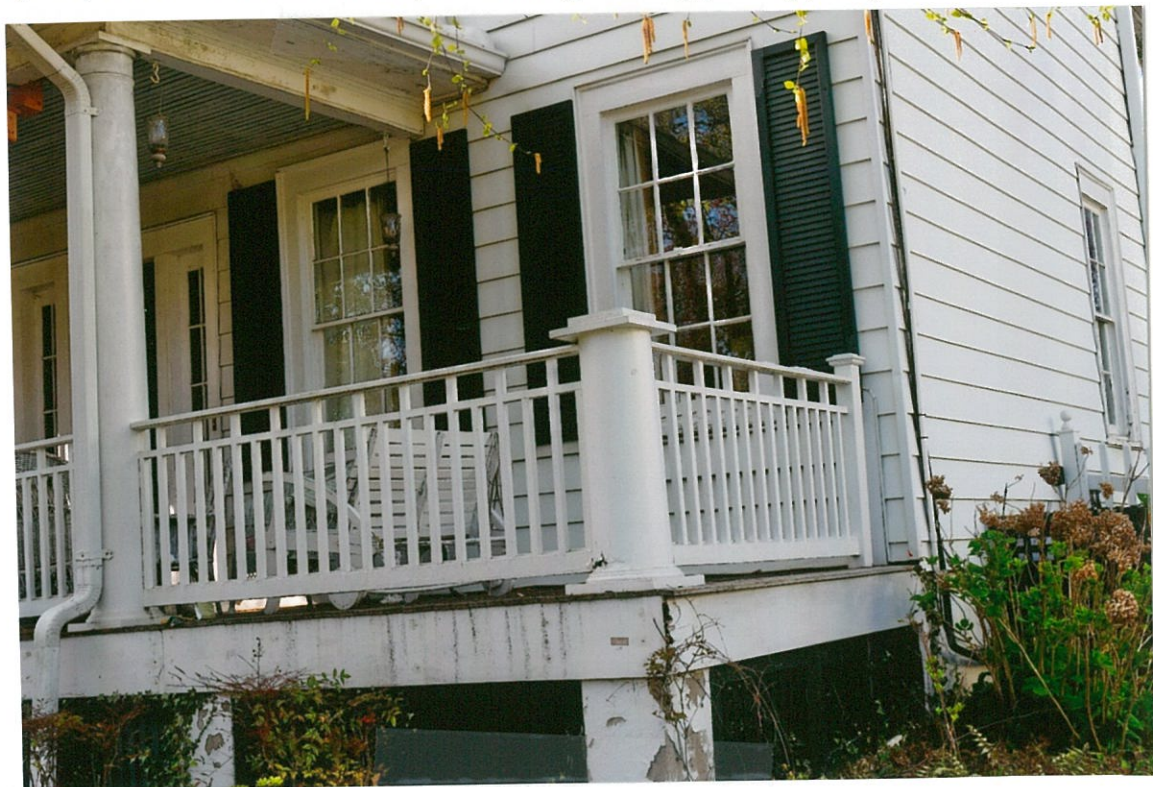
Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815



Existing Property Conditions Photographs



Detail Photo#13 4/25/18 Front (south) elevation side (east) elevation detail of front porch railing showing peeling paint, mildew



Detail Photo#14 4/25/18 Front (south) elevation Front (south) elevation and side (east) elevation, detail of front porch railing showing peeling paint, mildew

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#15 4/25/18 Front (south) elevation  
Front (south) elevation, detail of front porch showing aluminum siding to be removed



Detail Photo#16 4/25/18 Front (south) elevation  
Front (south) elevation, detail of front porch showing aluminum siding to be removed

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#17 4/25/18 Front (south) elevation  
Front (south) elevation, detail of 2<sup>nd</sup> and 3<sup>rd</sup> floor eaves shot from front yard



Detail Photo#18 4/25/18 side (east) elevation  
Side of front porch and beginning of east elevation, showing aluminum siding to be removed.

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#19 4/25/18 Front (south) elevation  
Front (south) elevation, detail of eaves showing peeling paint and mildew



Detail Photo#20 4/25/18 Rear (north) elevation showing 3-story oldest part of house and ca. 1960 1-story family room

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#21 4/25/18 Rear (north) elevation showing 3-story oldest part of house with original cedar shingles needing paint, plus vee-shaped kitchen bay



Detail Photo#22 4/25/18 Rear (north) elevation showing 1<sup>st</sup>-floor ca. 1960 family room needing siding repairs, paint

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#23 4/25/18 Rear (north) elevation showing 3-story oldest part of house with original cedar shingles and adjoining 1-story ca. 1960 family room



Detail Photo#24 4/25/18 Rear (north) elevation showing 3-story oldest part of house with original cedar shingles needing paint, plus top vee-shaped kitchen bay

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

## Existing Property Conditions Photographs



Detail Photo#25 4/25/18 Rear (north) elevation showing 1<sup>st</sup>-floor ca. 1960 family room needing siding repairs, paint, plus part of 2<sup>nd</sup> floor side (west) elevation



Detail Photo#26 4/25/18 Side (east) elevation showing 1<sup>st</sup>-floor side door aluminum siding to be removed

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#27 4/25/18 Side (east) elevation showing 1<sup>st</sup>-floor side door aluminum siding to be removed



Detail Photo#28 4/25/18 Side (east) elevation showing aluminum siding to be removed, eaves needing painting

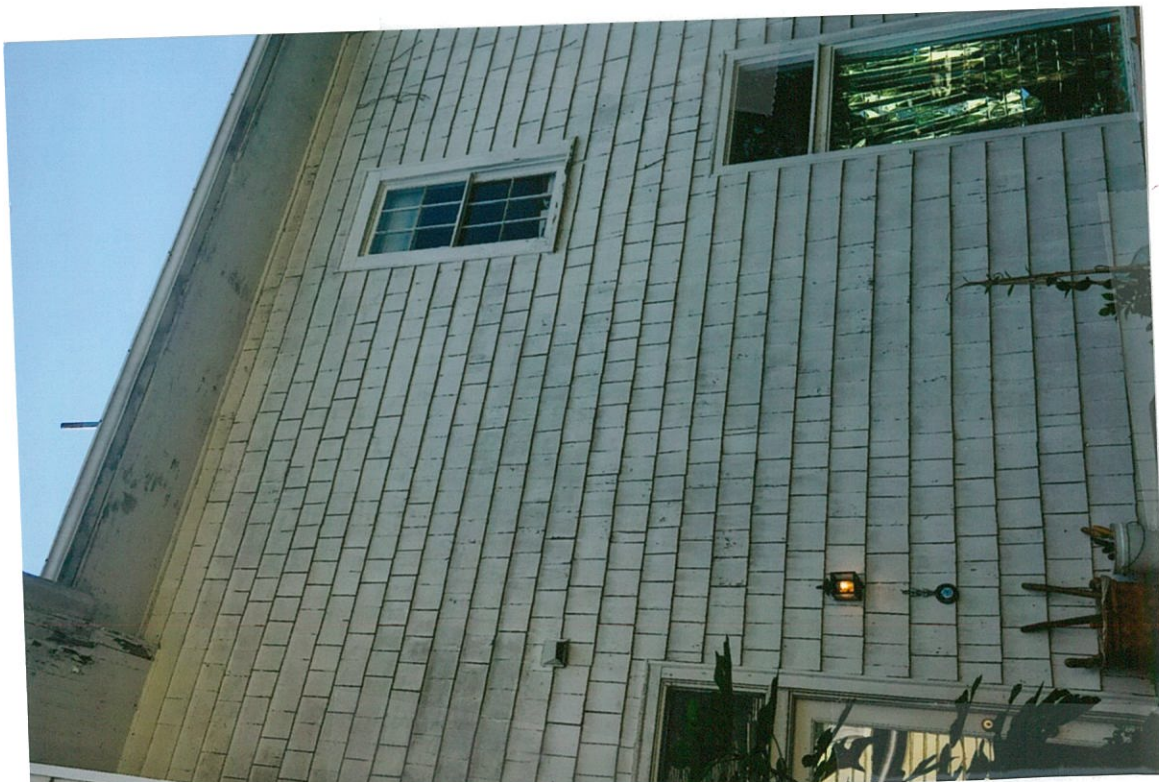
Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815



Existing Property Conditions Photographs



Detail Photo#29 4/25/18 Side (east) elevation showing 3rd-floor window aluminum siding to be removed, eaves needing painting



Detail Photo#30 4/25/18 Side (east) elevation showing 1st-floor side kitchen door and side kitchen window, original cedar siding and eaves needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#31 4/25/18 Side (east) elevation showing 2<sup>nd</sup> floor windows, original cedar siding, woodwork and eaves needing painting



Detail Photo#32 4/25/18 Side (east) elevation showing 2<sup>nd</sup> floor windows, original cedar siding, woodwork and eaves needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

**Existing Property Conditions Photographs**



Detail Photo#33 4/25/18 Side (west) elevation showing rear side of wraparound porch, aluminum siding to be removed, woodwork needing painting



Detail Photo#34 4/25/18 Side (west) elevation showing rear side of wraparound porch, aluminum siding to be removed, woodwork needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

**Existing Property Conditions Photographs**



Detail Photo#35 4/25/18 Side (west) elevation showing exterior of family room, aluminum siding to be removed, woodwork needing painting



Detail Photo#36 4/25/18 Side (west) elevation showing exterior of family room, aluminum siding to be removed, woodwork needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo #37 4/25/18 Side (west) elevation showing exterior of family room and edge of wraparound front porch, showing aluminum siding to be removed, woodwork needing painting



Detail Photo#38 4/25/18 rear (north) elevation and side (west) elevation showing 2<sup>nd</sup> floor exterior and family room roof, aluminum siding to be removed, eaves and woodwork needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#39 4/25/18 rear (north) elevation and side (west) elevation showing 2<sup>nd</sup> floor exterior and family room roof, aluminum siding to be removed, eaves and woodwork needing painting



Detail Photo#~~39~~<sup>40</sup> 4/25/18 rear (north) elevation and side (west) elevation showing 2<sup>nd</sup> floor exterior and family room roof, aluminum siding to be removed, eaves and woodwork needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#<sup>41</sup>~~40~~ 4/25/18 rear (north) elevation and side (west) elevation showing 2<sup>nd</sup> floor exterior and family room roof, aluminum siding to be removed, eaves and woodwork needing painting



Detail Photo#<sup>41</sup> 4/25/18 rear (north) elevation and side (west) elevation showing 2<sup>nd</sup> floor exterior and family room roof, aluminum siding to be removed, eaves and woodwork needing painting

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815

Existing Property Conditions Photographs



Detail Photo#43 rear (north) elevation roof showing missing and irregular shingles



Detail Photo#44 4/25/18 rear (north) elevation roof showing missing and irregular shingles

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815



Existing Property Conditions Photographs

↑ up



Detail Photo#45 8/22/18 side (east) elevation showing detail of aluminum siding to be removed and original cedar siding underneath

↑ up



Detail Photo#46 8/22/18 side (east) elevation showing original cedar siding, removed years ago and repainted

Applicant: Dan Morgan and Mary Elaine Shannon, 31 Oxford St, Chevy Chase, Md. 20815



**800-766-Roof (7663)**

**Sloped Roof Replacement**

Scheduled Date:		Completion Date:	
Name:	Date:	Representative:	
Elaine Shannon	5/14/18	John	
Address:			
31 Oxford St Chevy Chase MD 20815			
Phone:		E-mail:	
202-664-9232			

Scope of Work and Installation Specifications	
<b>Protection</b>	protect house and grounds from falling debris / set up work area to protect ground while working
<b>Removal</b>	remove existing <i>main house</i> down to the wood decking and haul away daily
<b>Decking</b>	inspect all wood decking for rot or damage and replace 1 sheet at an additional rate of \$65 per sheet for ½" CDX plywood
<b>Ventilation</b>	furnish and install Smart Ridge II shingle-over ridge ventilation on all peaks from end to end
<b>Ice &amp; Water Guard</b>	furnish and install rubberized ice & water shield to the gutterline
<b>Underlayment</b>	furnish and install #15 underlayment over entire exposed roof deck
<b>Drip Edge</b>	furnish and install aluminum drip edge along all gutter lines
<b>General Flashing</b>	furnish and install aluminum flashing at all walls, chimneys and skylights
<b>Pipe Flashing</b>	furnish and install neoprene pipe collars at all vent pipes
<b>Shingles</b>	furnish and install Owens Corning 25yr Supreme Color TBD
<b>Clean Up</b>	clean all gutters, ground and haul away all debris
<b>Guarantee</b>	LIFETIME Labor Guarantee
<b>Notes</b>	
<b>Total Investment:</b>	\$ 17,250 Initial: Shingle Color: TBD

Options and Upgrades			
<b>Extreme Storm:</b>	furnish and install rubberized ice & water shield over entire roof deck	\$	Initial: _____
<b>Algae Protection:</b>	furnish and install Zinc strips along all ridges and hips	\$	Initial: _____
		\$	Initial: _____
		\$	Initial: _____

Total Cost: \$17,250    Deposit: \$5,750    Balance Upon Completion: \$11,500    Payment Type:  Check     CC     Bill Me

Cancellation: You may cancel this agreement within 3 business days by calling the office, stating that you do not want the services, and receiving a cancellation code. If you cancel, any deposits will be returned.

Please sign below to authorize the above service  
 \_\_\_\_\_  
 Signature on file    5/1/18  
 signature                                  date

Please initial below that you received, read and approve the:  
 Terms & Conditions EB    Workmanship Guarantee EB  
 initial    initial

*Thank You, We look forward working with you*