

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3704 Bradley Ln., Chevy Chase	Meeting Date:	10/24/2018
Resource:	Contributing Resource (Chevy Chase Village Historic District)	Report Date:	10/17/2018
Applicant:	John and Brittney Klaffky (Matthew McDonald, Architect)	Public Notice:	10/10/2018
Review:	HAWP	Tax Credit:	No
Case Number:	35/13-18DD	Staff:	Michael Kyne
PROPOSAL:	Screened porch construction		

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with one (1) condition** the HAWP application.

- 1. The proposed standing seam metal roof will be a traditional mechanically seamed roof without ridge caps or vents.**

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Tudor Revival
DATE: c. 1916-27

PROPOSAL:

The applicants propose to replace an existing wooden deck and pergola with a new screened porch.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sec. 24A-8. Same-Criteria for issuance.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The specific *Guidelines* that pertain to this project are as follows:

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources.

Skylights should be subject to strict scrutiny if they are visible from the public right-of-way, otherwise they should be subject to lenient scrutiny.

Secretary of the Interior's Standard's for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION:

The existing deck and pergola to be replaced are constructed from wood and attached to the northwest (rear/left) corner of the historic house. The proposed new screened porch will be constructed in the same location, with the same dimensions. Although the proposed screened porch will take design cues from the existing pergola, it will be constructed from paintable composite materials (Azek) and will have a standing seam metal roof with skylights.

Staff is generally supportive of the applicants' proposal, finding that the location of the proposed screened porch is appropriate and will result in minimal visual change to the mass and form of the historic house; however, staff is concerned about the proposed standing seam metal roof. From the manufacture's website, the proposed roof appears to be a prefabricated snap together system, which typically includes ridge caps and vents that are not consistent with traditional standing seam metal roofs. The seams available for the proposed roofing system appear to vary as well, ranging from low and wide to high and narrow. The proposed roofing system is not consistent with the character of the historic house or historic district.

Because the proposed screened in porch will be at least partially visible from the right-of-way (from oblique angles at the front on Bradley Lane and from the side on Brookville Road), staff recommends a

condition of approval, stipulating that the proposed standing seam metal roof will be a traditional mechanically seamed roof without ridge caps or vents. This will ensure that the proposed roof is compatible with the historic house and the surrounding streetscape, in accordance with *Standard #9*. It will also ensure that the proposed roof will not remove or alter character-defining features of the historic house, in accordance with *Standard #2*.

After full and fair consideration of the applicant's submission staff finds the proposal, as modified by the condition, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the one (1) condition specified on Circle 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal, as modified by the condition, is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

852539



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: matt@mcdstudio.com Contact Person: MATTHEW McDONALD
Daytime Phone No.: 301-215-7277
Tax Account No.: _____
Name of Property Owner: JOHN & BRITNEY KLAFFKY Daytime Phone No.: _____
Address: 3704 BRADLEY LANE CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: TBD
Agent for Owner: MATTHEW McDONALD Daytime Phone No.: 301-215-7277

LOCATION OF BUILDING/PREMISE

House Number: 3704 Street: BRADLEY LANE
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD
Lot: P14 Block: 61 Subdivision: 0009
Liber: 4229 Folio: 254 Parcel: _____

PART ONE: TYPE OF PERMIT/ACTIVITY/USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # 841872

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 9/19/18
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED DOCUMENT

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED DOCUMENT.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

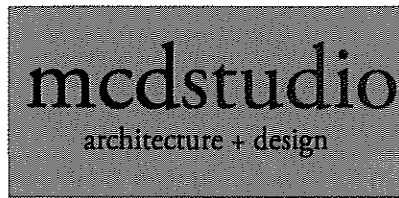
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



3704 Bradley Lane
Permit Number 841872
Written Description of Project

a. *Description of existing structure(s) and environmental setting, including their historical features and significance*

The site, located at 3704 Bradley, is located in the Chevy Chase Village Historic District. Chevy Chase Village was developed between 1892 and 1930, it is and was designed as a suburb of Washington, DC. The styles prevalent in Chevy Chase Village include Tudor Revival, Colonial Revival, Shingle, and Craftsman.

The current site consists of two structures, the main dwelling unit and a separate, detached garage at the rear of the property.

The original, single family house was built between 1916 and 1927 and is currently classified by Chevy Chase Village as a Tudor Revival, though it appears there are also elements of Craftsman detailing in some of the exterior brackets and the pergola that proposed to be replaced. There is no noted architect listed with the original structure. A rear addition to the original home and a detached garage were added sometime later.

Due to the location of the main house on the site, the Front Façade and front parts of the Right and Left Facades are the most visible from the Bradley Lane. There are neighboring properties that obscure the majority of the view of the property from Brookville Road.

b. *General description of the project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district.*

The proposed project is the replacement of an existing pergola on a deck located at the rear left-hand side of the existing house, with a new screen porch. The area of work will not be visible from Bradley Lane.

We are proposing a single story screen porch with detailing to resemble the previous pergola that is being removed as part of this project. The new screen porch will be connected on two sides to the existing home which currently obscures the view of the porch from both Bradley Lane and the neighboring property to the right, 3706 Bradley Lane.

Given the location of the proposed work, in the rear/side of the property, it will have minimal effect on the historic district as it will be unseen by the vast majority of the public.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address JOHN P KLAFFKY BRITTNEY M KLAFFKY 3704 BRADLEY LANE CHEVY CHASE, MD 20815	Owner's Agent's mailing address MCDSTUDIO 4948 ST. ELMO AVE, SUITE 304 BETHESDA, MD 20814
Adjacent and confronting Property Owners mailing addresses	
WIEMI A DOUOGUIH & SHEBA B DOUOGUIH 3703 BRADLEY LANE CHEVY CHASE, MD 20815	ALEXANDER J TRIANTIS 3706 BRADLEY LANE CHEVY CHASE, MD 20815
KIRK J & M H NAHRA 3702 BRADLEY LANE CHEVY CHASE, MD 20815	ANDREA PESCATORI CECILIA ROSA CAGLIO 37 QUINCY STREET CHEVY CHASE, MD 20815



Photo Key



Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT OF HOUSE - PORCH WILL NOT BE VISIBLE FROM FRONT ELEVATION



Detail: FRONT/RIGHT SIDE OF HOUSE - PORCH WILL NOT BE VISIBLE. IT WILL BE OBSCURED BY THE PREVIOUS REAR ADDITION

Applicant: Klaffky

Page: P1

Existing Property Condition Photographs (duplicate as needed)



RIGHT/REAR ELEVATION. PERGOLA TO BE REPLACED IS CIRCLED IN RED. MAJORITY
Detail: OF VIEW IS OBSCURED DUE TO FENCE, TREE AND GARAGE



LEFT/REAR ELEVATION. PERGOLA TO BE REPLACED IS CIRCLED IN RED
Detail: _____

Applicant: _____ Klaffky

Page: P2

Existing Property Condition Photographs (duplicate as needed)

PHOTO 5

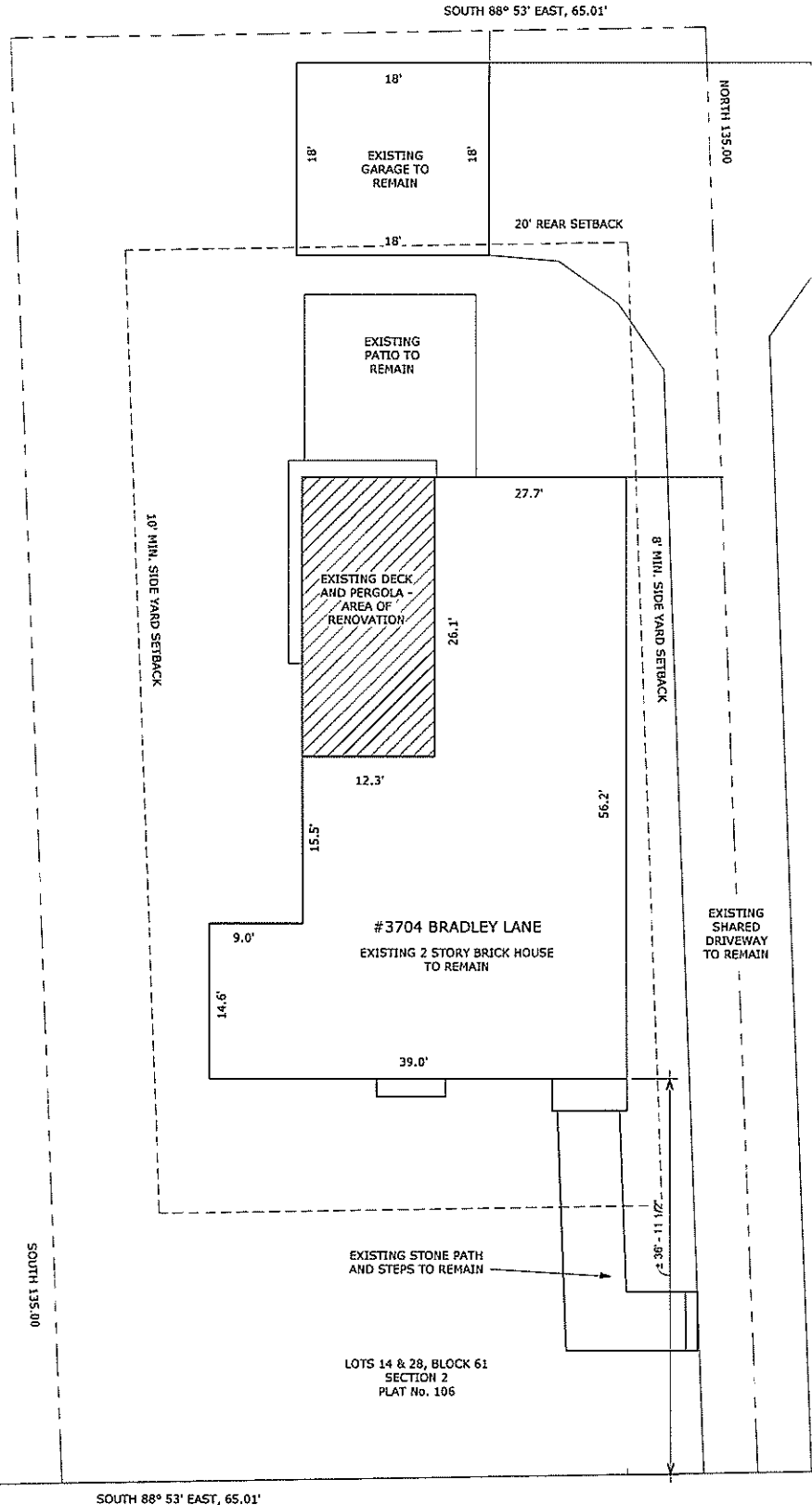


FRONT/LEFT SIDE OF HOUSE - THERE WILL BE LIMITED VISIBILITY OF THE
Detail: PORCH. IT WILL BE MOSTLY OBSCURED BY TREES AND THE EXSITING FRONT
OF THE HOUSE

PHOTO 6



LEFT/REAR SIDE AS SEEN FROM BROOKVILLE ROAD. THERE WILL BE LIMITED
Detail: VISIBILTY OF THE PORCH. IT WILL BE MOSLY OBSCURED BY THE FENCE,
GARAGE, AND TREES ON THE NEIGHBORING PROPERTY

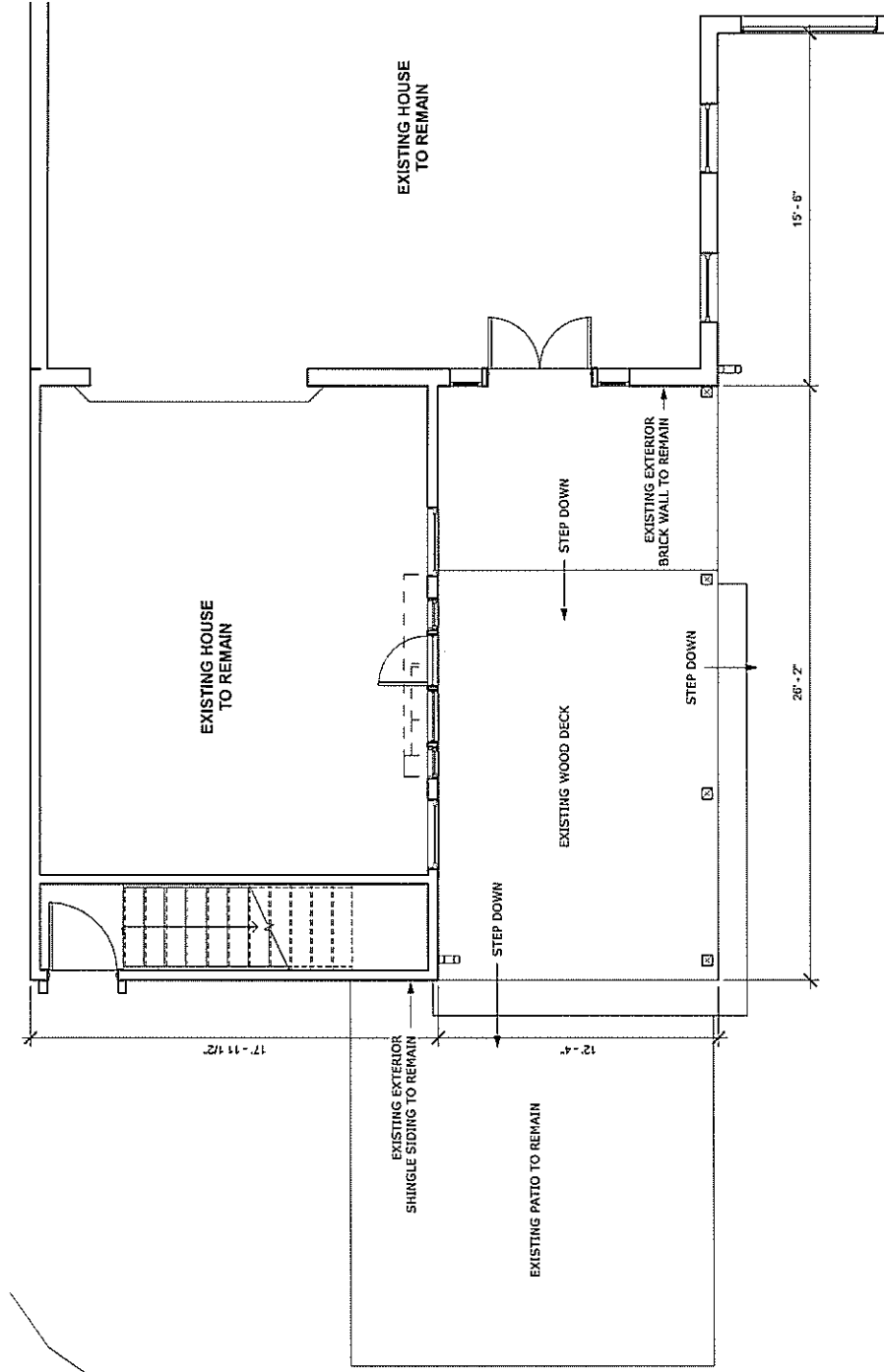


1 Site Plan
1/16" = 1'-0"

Site Plan
Klaffky Screened Porch
3704 Bradley Lane, Chevy Chase, MD 20815

mcdstudio
4948 St. Elmo Ave, Suite 304
Bethesda, MD 20814
P: (301) 215-7277
www.mcdstudio.com

Scale: 1/16" = 1'-0"
Drawing Issue Date: 9-18-18



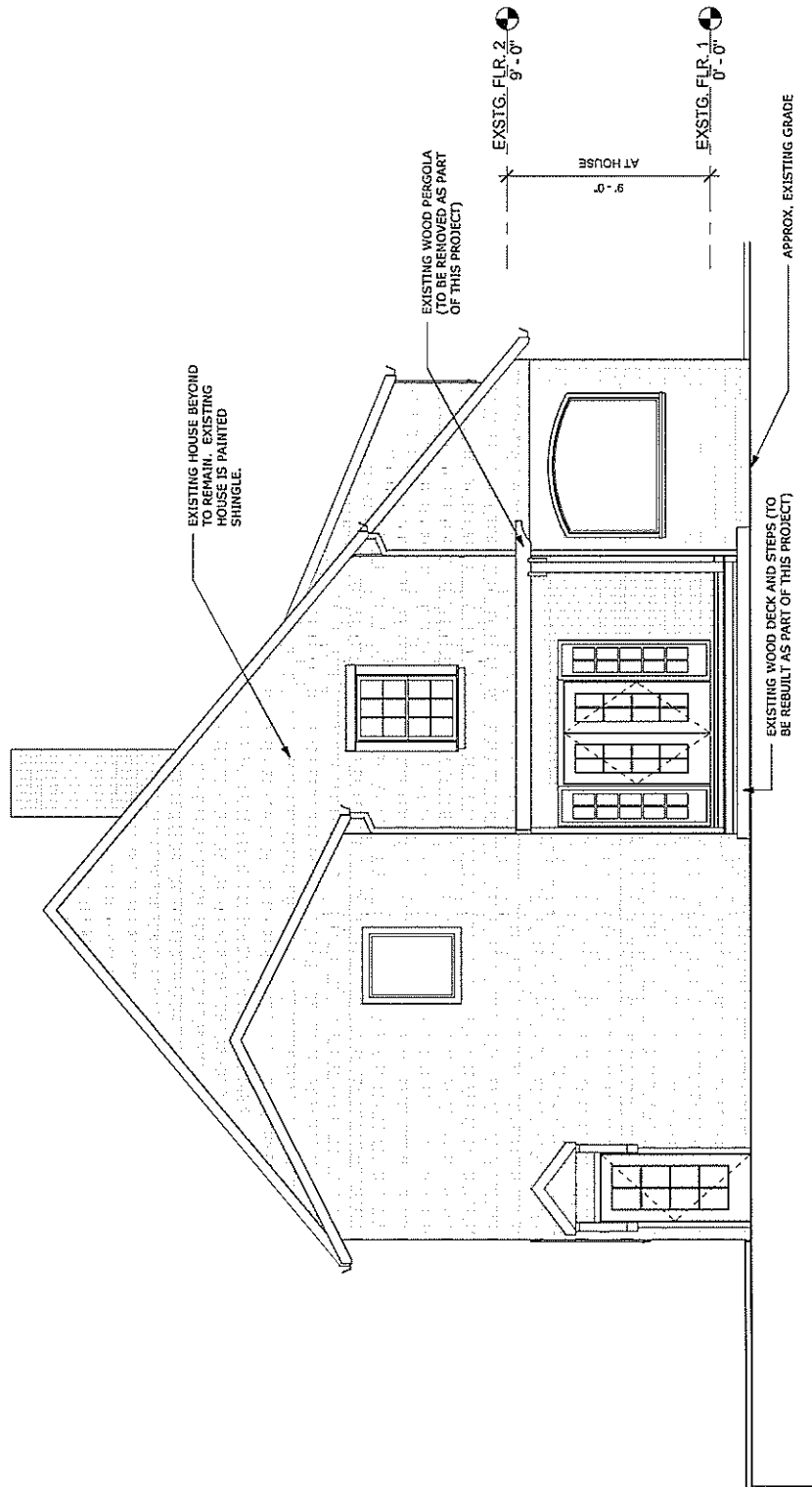
① Existing First Floor Plan
1/8" = 1'-0"

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Existing Plan - Partial
Klaffky Screened Porch
3704 Bradley Lane, Chevy Chase, MD 20815

Scale:
Drawing Issue Date:

1/8" = 1'-0"
9-18-18

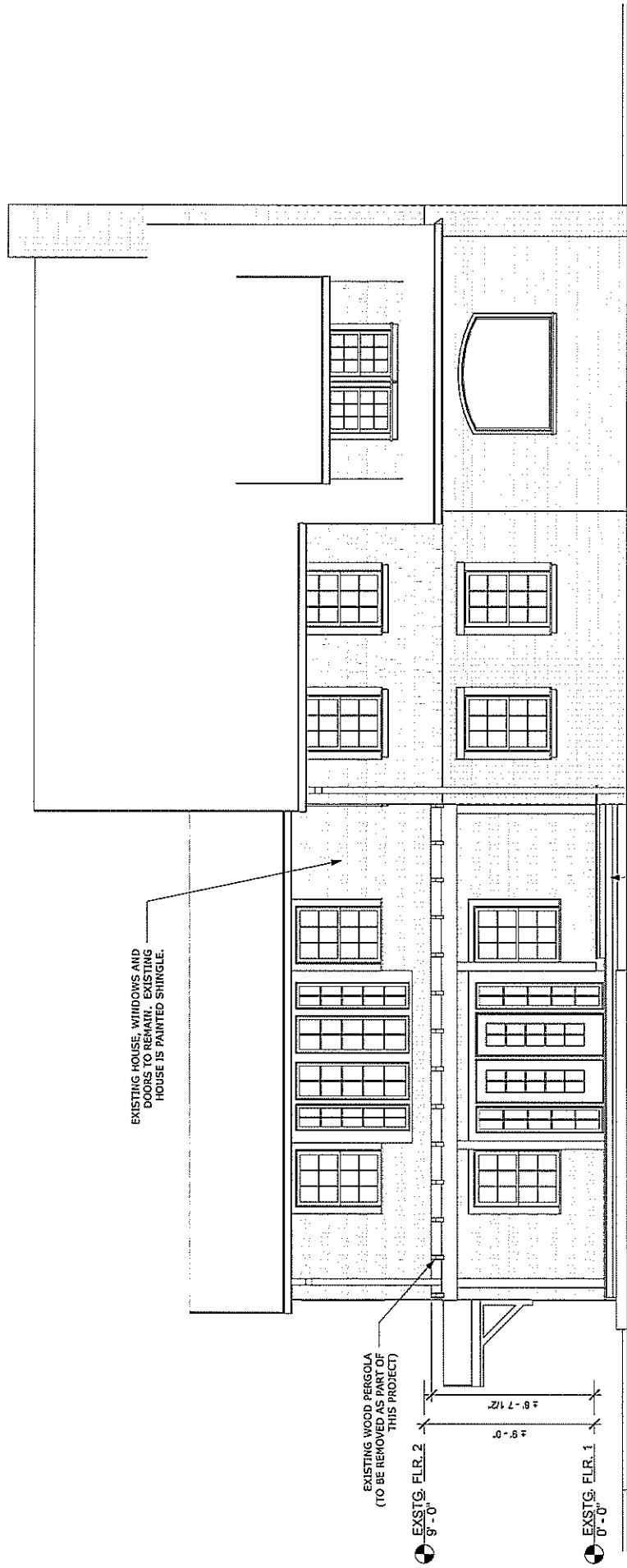


① Existing Rear Elevation
1/8" = 1'-0"

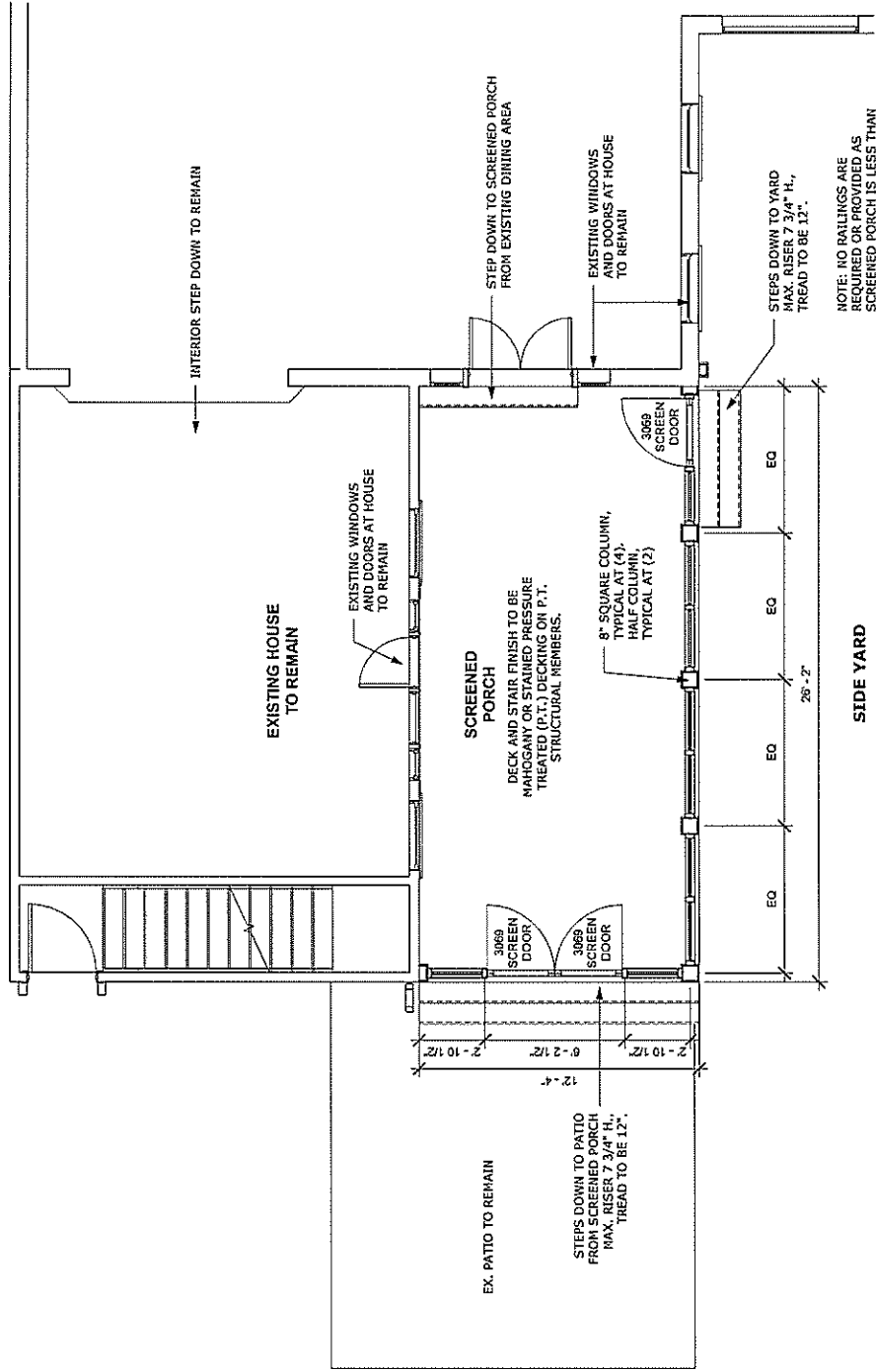
Existing Rear Elevation
Klaffky Screened Porch
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Scale:
 Drawing Issue Date:
 1/8" = 1'-0"
 9-18-18

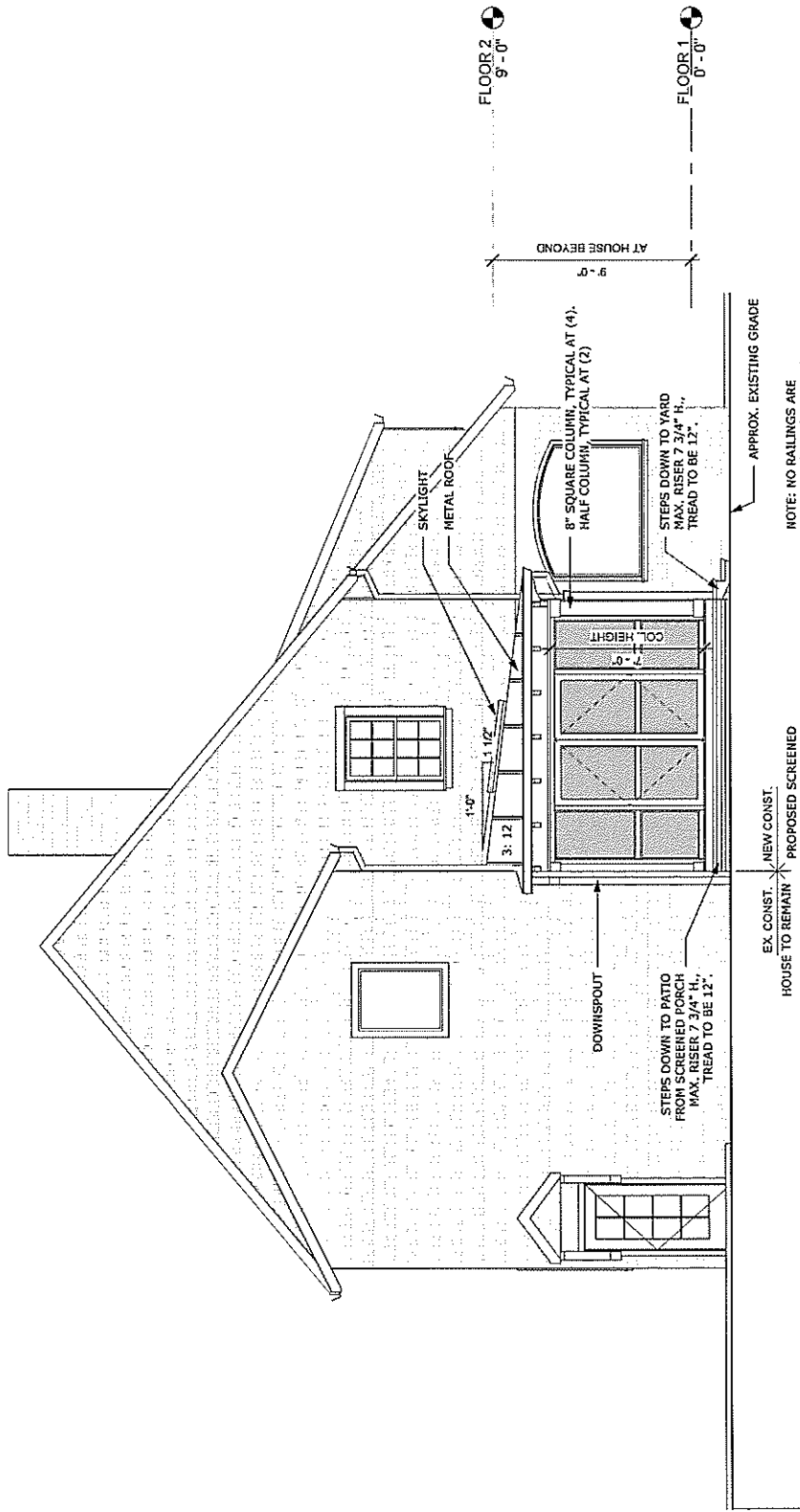


① Existing Left Elevation
1/8" = 1'-0"



1 Proposed First Floor Plan
 1/8" = 1'-0"

NOTE: NO RAILINGS ARE REQUIRED OR PROVIDED AS SCREENED PORCHES LESS THAN 30' ABOVE ADJACENT GRADE.



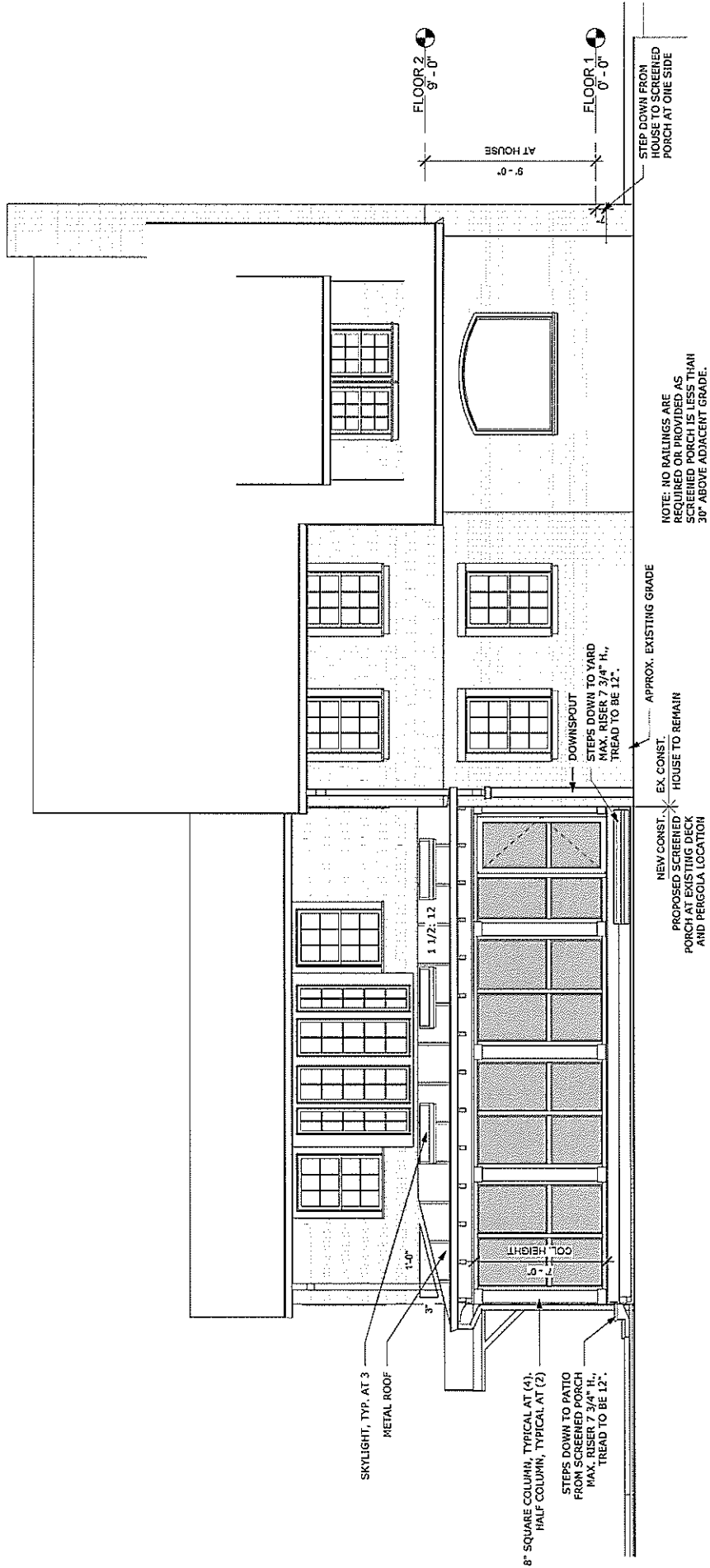
NOTE: NO RAILINGS ARE REQUIRED OR PROVIDED AS SCREENED PORCH IS LESS THAN 30" ABOVE ADJACENT GRADE.

NOTE: PLEASE SEE PARTIAL ELEVATIONS FOR SPECIFIC MATERIAL NOTES

① Proposed Rear Elevation
1/8" = 1'-0"

Proposed Overall Rear Elevation Klaffky Screened Porch

3704 Bradley Lane, Chevy Chase, MD 20815



SKYLIGHT, TYP. AT 3
METAL ROOF

8" SQUARE COLUMN, TYPICAL AT (4);
HALF COLUMN, TYPICAL AT (2)

STEPS DOWN TO PATIO
FROM SCREENED PORCH
MAX. RISER 7 3/4" H.,
TREAD TO BE 12".

NEW CONST. X
PROPOSED SCREENED
PORCH AT EXISTING DECK
AND PERGOLA LOCATION

EX. CONST. X
HOUSE TO REMAIN

DOWNSPOUT
STEPS DOWN TO YARD
MAX. RISER 7 3/4" H.,
TREAD TO BE 12".

APPROX. EXISTING GRADE

NOTE: NO RAILINGS ARE
REQUIRED, OR PROVIDED, AS
SCREENED PORCH IS LESS THAN
30" ABOVE ADJACENT GRADE.

STEP DOWN FROM
HOUSE TO SCREENED
PORCH AT ONE SIDE

FLOOR 2
9'-0"

FLOOR 1
0'-0"

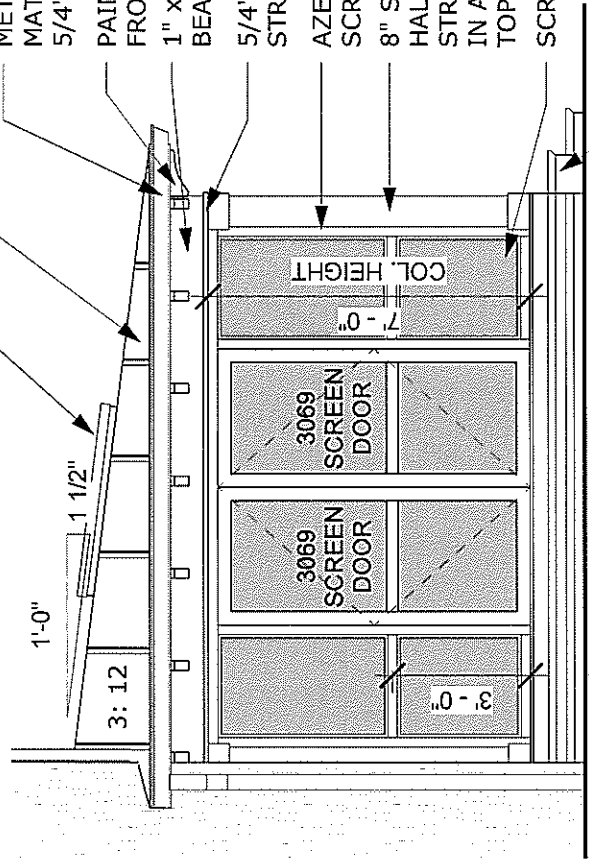
9'-0"
AT HOUSE

NOTE: PLEASE SEE PARTIAL ELEVATIONS FOR SPECIFIC MATERIAL NOTES

① Proposed Left Elevation
1/8" = 1'-0"

NOTE: NO RAILINGS ARE REQUIRED OR PROVIDED AS SCREENED PORCH IS LESS THAN 30" ABOVE ADJACENT GRADE.

NOTE: ALL EXTERIOR TRIM TO BE PAINTED WHITE TO MATCH EXISTING WINDOW TRIM.



- SKYLIGHT: VELUX FIXED CURB MOUNTED SKYLIGHT FCM 3446, TYPICAL OF 3
- METAL ROOF: METALSALES MANUFACTURING CORPORATION VERTICAL SEAM SYSTEM IN 26 GAUGE METAL, COLOR TO BE CHARCOAL IN MS COLORFAST 45 FINISH
- METAL GUTTER AND DOWNSPOUT TO MATCH EXISTING HOME STYLE ON 5/4" x 6" AZEK FASCIA BOARD
- PAINTED DECORATIVE BRACKETS FROM WOOD
- 1" x 10" AZEK WRAP AT STRUCTURAL BEAM, RIP TO FIT AS NECESSARY
- 5/4" x 5/4" AZEK BEAD AT BOTTOM OF STRUCTURAL BOARD, TOP OF COLUMNS.
- AZEK WRAPPED 2x4 FRAMES AT SCREENED PANEL LOCATIONS
- 8" SQUARE COLUMN, TYPICAL AT (4). HALF COLUMN, TYPICAL AT (2) STRUCTURAL POSTS TO BE WRAPPED IN AZEK WITH AZEK 1x6 TRIM AT TOP AND BOTTOM
- SCREEN PANEL
- DECK AND STAIR FINISH TO BE MAHOGANY OR STAINED PRESSURE TREATED (P.T.) DECKING ON P.T. STRUCTURAL MEMBERS. BASE OF DECK AND STEPS TO BE WRAPPED IN 1x8 AZEK TRIM STACKED. STEPS DOWN TO YARD MAX. RISER 7 3/4" H., TREAD TO BE 12".

APPROX. EXISTING GRADE

EX. CONST. X NEW CONST.

HOUSE TO REMAIN X PROPOSED SCREENED PORCH AT EXISTING DECK AND PERGOLA LOCATION

1 Proposed Rear Elevation - Partial
1/4" = 1'-0"

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Proposed Rear Elevation - Partial
Klaffky Screened Porch
3704 Bradley Lane, Chevy Chase, MD 20815

Scale: 1/4" = 1'-0"
Drawing Issue Date: 9-18-18

SKYLIGHT: VELUX FIXED CURB MOUNTED SKYLIGHT FCM 3446, TYPICAL OF 3

METAL ROOF: METALSALES MANUFACTURING CORPORATION VERTICAL SEAM SYSTEM IN 26 GAUGE METAL, COLOR TO BE CHARCOAL IN MS COLORFAST 45 FINISH

METAL GUTTER AND DOWNSPOUT TO MATCH EXISTING HOME STYLE ON 5/4" x 6" AZEK FASCIA BOARD

PAINTED DECORATIVE BRACKETS FROM WOOD

1" x 10" AZEK WRAP AT STRUCTURAL BEAM, RIP TO FIT AS NECESSARY
5/4" x 5/4" AZEK BEAD AT BOTTOM OF STRUCTURAL BOARD, TOP OF COLUMNS.

AZEK WRAPPED 2x4 FRAMES AT SCREENED PANEL LOCATIONS
8" SQUARE COLUMN, TYPICAL AT (4).

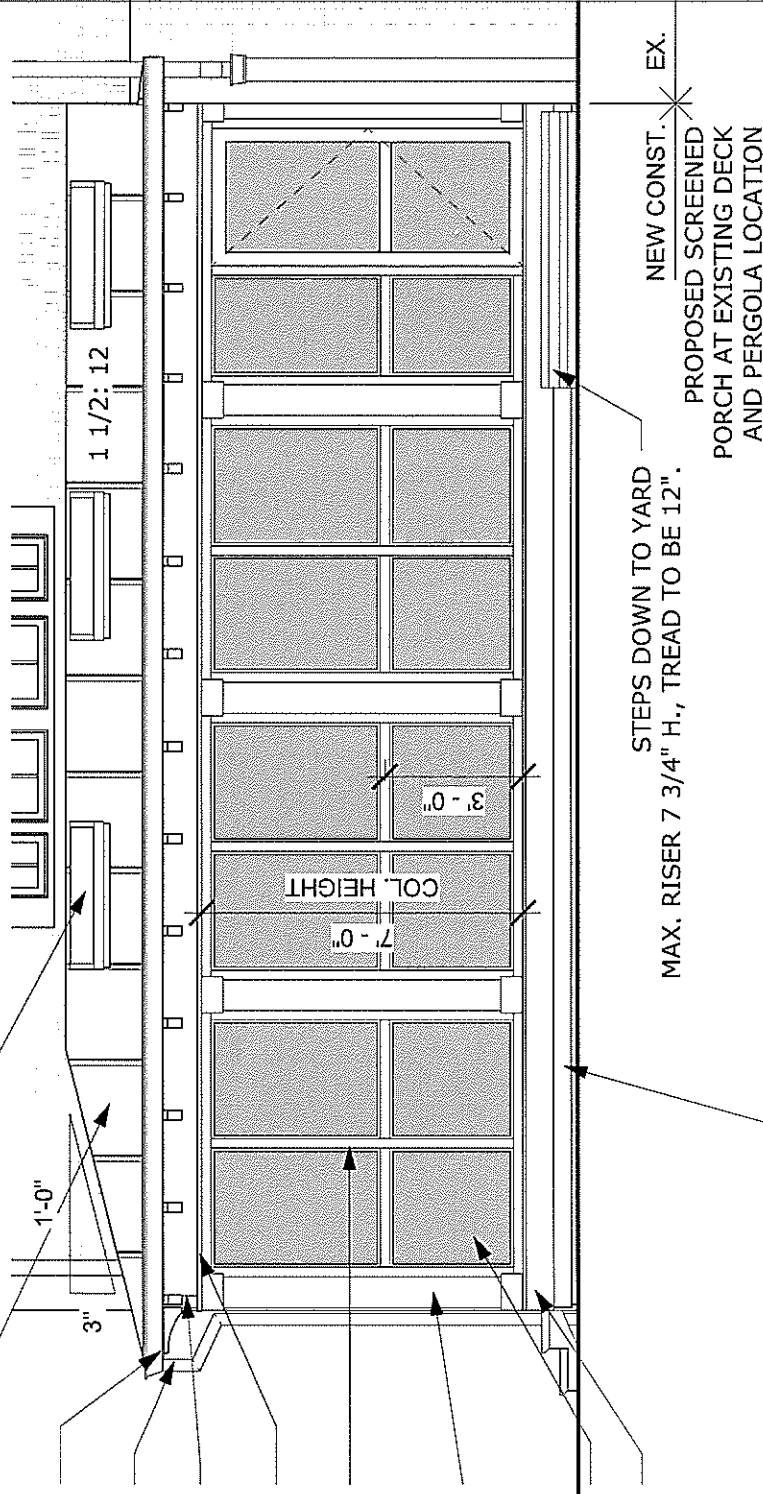
HALF COLUMN, TYPICAL AT (2) STRUCTURAL POSTS TO BE WRAPPED IN AZEK WITH AZEK 1x6 TRIM AT TOP AND BOTTOM

SCREEN PANEL
DECK AND STAIR FINISH TO BE MAHOGANY OR STAINED PRESSED TREATED (P.T.) DECKING ON P.T. STRUCTURAL MEMBERS.

BASE OF DECK AND STEPS TO BE WRAPPED IN 1x8 AZEK TRIM STACKED.

NOTE: NO RAILINGS ARE REQUIRED OR PROVIDED AS SCREENED PORCH IS LESS THAN 30" ABOVE ADJACENT GRADE.

NOTE: ALL EXTERIOR TRIM TO BE PAINTED WHITE TO MATCH EXISTING WINDOW TRIM.



STEPS DOWN TO YARD
MAX. RISER 7 3/4" H., TREAD TO BE 12".

NEW CONST. EX.
PROPOSED SCREENED PORCH AT EXISTING DECK AND PERGOLA LOCATION

1 Proposed Left Elevation - Partial
1/4" = 1'-0"

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Proposed Left Elevation - Partial
Klafky Screened Porch
3704 Bradley Lane, Chevy Chase, MD 20815

Scale: 1/4" = 1'-0"
Drawing Issue Date: 9-18-18



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Porch Design - Perspective View
Klaffky Screened Porch
3704 Bradley Lane, Chevy Chase, MD 20815

Scale:
Drawing Issue Date: 9-18-18

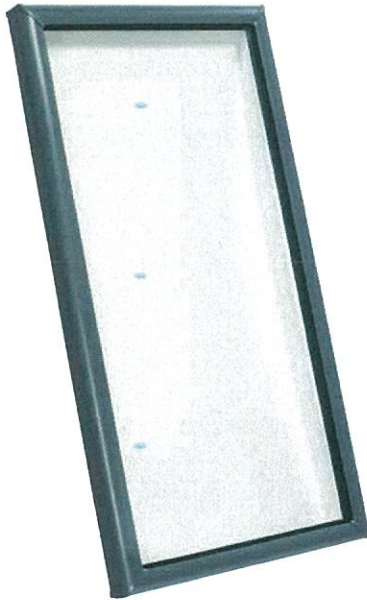
P:18-035 KlaffkyRevitKlaffky_FAWP.rvt

Fixed Skylights

The No Leak Skylight
No Leak Promise
No Worries

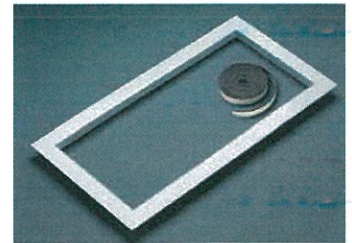
Curb-Mounted - FCM

NEW FCM Energy Performance Model



Triple Pane Glass
available for cold weather climates

Fixed Curb-Mounted No Leak Skylight - FCM



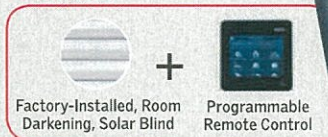
Accessory tray is required for blind installation. See page 50.

UPGRADE
to the Energy Performance Model

Boost energy performance up to 40%
Reduce energy dependency and maximize efficiency by automatically controlling blind position based on seasons.



Includes:



Eligible for **30%** Federal Tax Credit*

See page 36

Benefits:

- Integrated gaskets drain condensation to the outside.
- Streamlined exterior profile does not obstruct your roofline.
- A sunscreen accessory tray for standard site-built curbs allows for installation of VELUX Pick&Click!™ blinds.

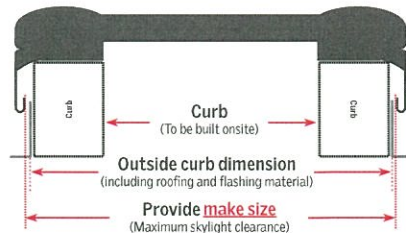
Custom Size Fixed Curb-Mounted Skylights - Custom FCM

Shipping

Width: 18 3/4 – 50 3/4
Height: 18 3/4 – 72
Delivered: 8-14 days

Width: 18 3/4 – 50 3/4
Height: 72 1/4 – 76 1/2
Delivered: 20 days

Note: Custom size flashing kits and custom size blinds are not available.
Note: Some specialty glass options require longer lead times.



Models FCM & FCM Energy Performance



Outside curb (W-in. x H-in.)

	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646
	17 1/2 x 33 1/2	17 1/2 x 49 1/2	25 1/2 x 25 1/2	25 1/2 x 33 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	25 1/2 x 73 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2	37 1/2 x 37 1/2	37 1/2 x 49 1/2	49 1/2 x 49 1/2

MS Colorfast45®



PVDF



Note: Custom colors are available upon request. There may be lead times for special requests. Contact your details.

Color Name: Charcoal (17)
Finish: MS Colorfast45®

Solar Reflectance: 0.31
Thermal Emittance: 0.87
SRI: 31

Meets or Exceeds Steep Slope
ENERGY STAR® Requirements,
Meets or Exceeds Steep Slope
LEED® Requirements

Proposed roof color is Charcoal – Indicated above.