

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4805 Cumberland Ave., Chevy Chase	<b>Meeting Date:</b>	10/10/2018
<b>Resource:</b>	Contributing (Pre-1915) Resource (Somerset Historic District)	<b>Report Date:</b>	10/3/2018
<b>Applicant:</b>	Joseph and Anne Yap	<b>Public Notice:</b>	9/26/2018
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Yes
<b>Case Number:</b>	35/36-18I	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Window replacement		

**STAFF RECOMMENDATION:**

- Approve**  
 **Approve with conditions**

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing (Pre-1915) Resource within the Somerset Historic District  
**STYLE:** Four-Square  
**DATE:** Pre-1906

**PROPOSAL:**

The applicants are proposing to make structural repairs to a non-historic enclosed 2<sup>nd</sup>-floor porch on the front (south) elevation of the historic house, and to rebuild the enclosed porch in-kind. The non-historic windows of the enclosed porch will also be replaced, with the following specifications:

- Removal of the four (4) paired non-historic wooden casement windows (each pair with 4-lites) and aluminum storm windows on the front (south) elevation.
- Installation of four (4) fixed TDL (with 1-11/16" wide muntins) wooden picture windows (4-lites each) on the front (south) elevation.
- Removal of the two wooden casement windows (2-lites each) and aluminum storm windows on the left (west) elevation
- Installation of two 1-over-1 wooden double-hung windows on the left (west) elevation.
- Removal of the two wooden casement windows (2-lites each) and aluminum storm windows on the right (east) elevation.
- Installation of two 1-over-1 wooden double-hung windows on the right (east) elevation.

**APPLICABLE GUIDELINES:****Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.  
(Ord. No. 9-4, § 1; Ord. No. 11-59.)

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1) & (2) and having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standard for Rehabilitation #2 and 9*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: yaplets@aol.com Contact Person: Joseph D. YAP  
 Tax Account No.: 535645 Daytime Phone No.: 301-654-5038  
 Name of Property Owner: Joseph D & Anne D. YAP Daytime Phone No.: 301-654-5038  
 Address: 4805 Cumberland Ave, Chevy Chase, Md. 20815  
Street Number City Street Zip Code  
 Contractor: RNP Remodelling Phone No.: 301-682-3690  
 Contractor Registration No.: \_\_\_\_\_  
 Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

997058

**LOCATION OF BUILDING/PREMISE**

House Number: 4805 Street: Cumberland Ave.  
 Town/City: Somerset Nearest Cross Street: Surry St.  
 Lot: 13 Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Flaze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: Windows

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joseph D. Yap 9/4/18  
 Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Our house is a 1906 4-square at 4805 Cum-berland in the Sunnyside historic district. At some point, a sleeping porch was added to the front of the house. Subsequently (prob. in 1970s), the porch was enclosed. Aluminum storm windows were added over the other (not original) windows and a large radiator was installed in the former sleeping porch area.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Because, apparently, the porch piers were not designed to carry the weight of the additions, the porch and enclosed sleeping porch area have sagged significantly causing water run-off and leakage problems and rendering the windows non-functional. Beyond the necessary structural repairs, we propose to replace the old windows

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

Plat attached. See attached.

There is no site plan for this project. Attached are relevant engineering documents for the structural work and a

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

See attached. Per above

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

- This information is included in the attached specifications on the windows.

**5. PHOTOGRAPHS**

- Attached

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

- N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

- Attached

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

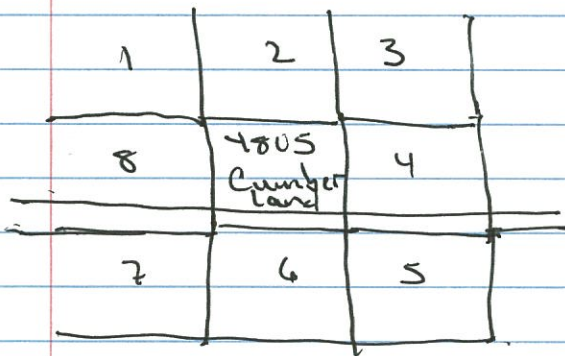
1. b. (cont'd.)

with new double-glazed windows otherwise identical to the windows first installed in the sleeping porch and to remove the aluminium storm windows. There will be no other exterior changes

2. Site Plan (cont'd.)

detailed description of the proposed new windows.

7. Adjacent/Confronting Property Owners - all in



1. <sup>Bruce</sup> Trazer Blaylock Chevy Chase, Md.  
4812 Drummond Ave. 20815

2. Tim Shriver + Linda Potter  
4810 Drummond Ave

3. Viktor Koschke  
4804 Drummond Ave.

4. Mark London + Darin Fitzgerald  
4801 Cumberland alt

5. Jeff Mascott  
5820 Surrey

6. Natalie Forrester  
4808 Cumberland

7. Vacant

8. Phil + Tammy Mundelsson  
4807 Cumberland



4805















## QUOTE

DATE: July 31st, 2018, revised August 27<sup>th</sup>, 2018

QUOTE#: 10041

### **RNP REMODELING SERVICE INC.**

307 Boxford Ct., Frederick MD 21702

301-602-3690 OR 301-519-0626

reinaldonicolasflores@live.com

**WORK TO BE PERFORMED AT:** 4805 Cumberland Ave, Somerset MD

### DESCRIPTION OF WORK:

*STRUCTURAL REPAIRS OF PORCH, AND PIER SUPPORT AND MODIFICATIONS TO SECOND FLOOR PER STRUCTURAL DRAWINGS BY GAVIN & ASSOC. DATED 07.16.2018*

FOOTINGS AND PIERS - Remove existing brick piers and existing footings and replace with new 36"x36" footings and new piers to match existing. Remove lattice as necessary and reinstall.

\$20,800.00

PORCH FLOOR – Jack to level platform. Remove and install new flooring (scenic mahogany, usually from Malaysia, 1x4 T&G R/L for exterior deck). Remove and reinstall railing.

\$13,410.00

WINDOWS – Replace windows (Marvin wood ultimate double-hung operable and fixed pictures, interior wood trimmed pine pre-finished, exterior wood primed pine, insulated glass clear, standard hardware white finish, wood primed frames for screens on both sides with high transparency mesh)

\$20,000.00

SECOND FLOOR STRUCTURAL – Install new beam and install new insulation and drywall as needed, including beadboard repair of the existing gap, plus a full new sub-floor where carpet has been removed. Hardwood floor on remaining part of room to remain as-is. Carpet supplied by owner.

\$5,710.00

**Total:** **\$59,920.00**

**GENERAL NOTES**

- DESIGN NOTES**
- I. DESIGN LOADS
    - A. ROOF LIVE LOAD = 30 PSF
    1. GROUND SNOW LOAD = 30 PSF
    - B. WIND LOADS
      1. WIND SPEED = 115 MPH
      2. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 AS AMENDED BY MONTGOMERY COUNTY, MARYLAND.
    - C. FLOOR LOADS
      1. FLOOR LIVE LOAD = 40 PSF
      2. D.L. = 10 PSF (UNFD)
  - II. CONCRETE
    - A. NEW CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
    - B. ANY CONCRETE EXPOSED TO THE EXTERIOR TEMPERATURES SHALL BE 3500 PSI
    - C. REINFORCEMENT SHALL BE #4 K81 GR60.
    - D. OTHERWISE.
    - E. ALL WATERPROOFING, ELECTRICAL, AND MECHANICAL WORK RELATED TO THE STRUCTURE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
    - F. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
    - G. THE STRUCTURE NEW WORK SHALL BE DESIGNED IN ACCORDANCE WITH IRC 2015 CODE.
    - H. NEW FOOTINGS SHALL BEAR ON 2500 PSF BEARING CAPACITY TO BE FIELD VERIFIED/INSPECTED. EXTERIOR NEW FOOTINGS DEEPER IF REQUIRED TO REACH ADEQUATE SOIL.
  - III. PORCH FLOOR JACKING
    - A. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL FLOOR JACKING WORK. RAISE UP PORCH FLOOR TO CORRECT LEVEL. ALL JACKING SHALL BE ACCORDING TO LOGS, FLOOR JACKING LOGS ABOVE. IF NECESSARY, MAKE ALL NECESSARY ADJUSTMENTS & REPAIRS UPON COMPLETION OF FLOOR JACKING WORK.
  - IV. NEW WINDOWS
    - A. THE FOUR FRONT WINDOWS SHALL BE DEMOLISHED AND REPLACED WITH NEW DOUBLE HUNG WINDOWS. MATCH ALL AESTHETIC APPEARANCES OF HOUSE.
  - V. COUNTY PERMITS
    - A. CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS FOR WORK AND PROVIDE COUNTY WITH ALL NECESSARY DOCUMENTS, PHOTOGRAPHS, AS NECESSARY IN ADDITION TO THESE PLANS.

# 4805 CUMBERLAND AVENUE SOMERSET, MD

**GAVIN & ASSOC., INC.**  
STRUCTURAL ENGINEERS  
P.O. BOX 5142  
ALEXANDRIA, VA 22304  
PHONE: (703) 493-8783  
FAX: (703) 491-3136  
WWW.GAVINENGINEERING.COM

4805 CUMBERLAND AVE.  
SOMERSET, MD

HEREBY CERTIFY THAT THESE  
DOCUMENTS WERE PREPARED OR  
REVIEWED BY ME OR UNDER MY  
DIRECT SUPERVISION AND THAT I AM  
A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF VIRGINIA. LICENSE NO. 54576  
ISSUE DATE 03/01/2016



7-16-18

COVER SHEET

A1

**SCOPE OF WORK**

STRUCTURAL REPAIRS AT PORCH AND FLOOR SUPPORT  
AND MODIFICATIONS TO THE SECOND FLOOR.

**ZONING AND BUILDING CODE INFORMATION**

YEAR BUILT: 1922  
FLOOR SIZE: 5540 SF.  
BASEMENT SIZE: 554 SF.  
LOT SIZE: 10,423 SF.  
APPLICABLE BUILDING CODE:  
IRC - 2015

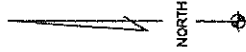
**PROJECT TEAM**

**OWNER:**  
JOSEPH DEAN & MARUINE YAP  
4805 CUMBERLAND AVENUE  
SOMERSET, MD

**ENGINEER:**  
CHARLES GAVIN P.E.  
GAVIN & ASSOCIATES  
14000 WOODBURN AVENUE  
ALEXANDRIA, VA 22303  
P: 703-493-8783  
E-MAIL: CGAVIN@GAVIN.COM

**CONTRACTOR:**  
PATRICK JANNONIS  
10100 WOODBURN AVENUE  
ALEXANDRIA, VA 22304  
P: 703-493-8783  
E-MAIL: PJANNONIS@GAVIN.COM

**VICINITY MAP**



**DRAWINGS LIST**

A1 COVER SHEET  
A2 PLANS & ELEVATIONS  
A3 SECTIONS

**GAVIN & ASSOC., INC.**  
**STRUCTURAL ENGINEERS**  
 P.O. Box 5142  
 McLean, VA 22103  
 PHONE (703) 435-8775  
 FAX (703) 435-8775  
 WWW.GAVINENGINEERS.COM

4815 CUMBERLAND AVE.  
 SOMERSET, MD

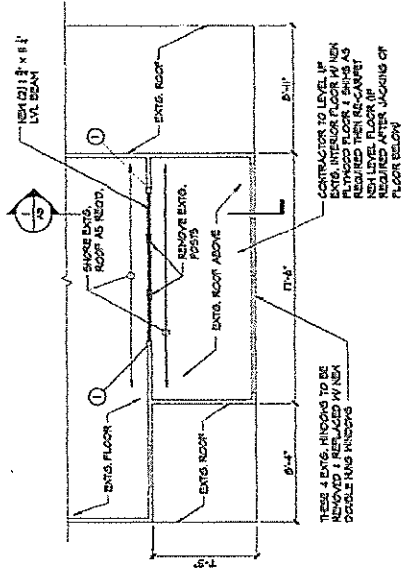
I HEREBY CERTIFY THAT THESE  
 DOCUMENTS WERE PREPARED BY  
 ME OR UNDER MY CLOSE PERSONAL  
 SUPERVISION AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF VIRGINIA, LICENSE NO. 55-0000018  
 EXPIRES EXPIRATION DATE 7/30/18



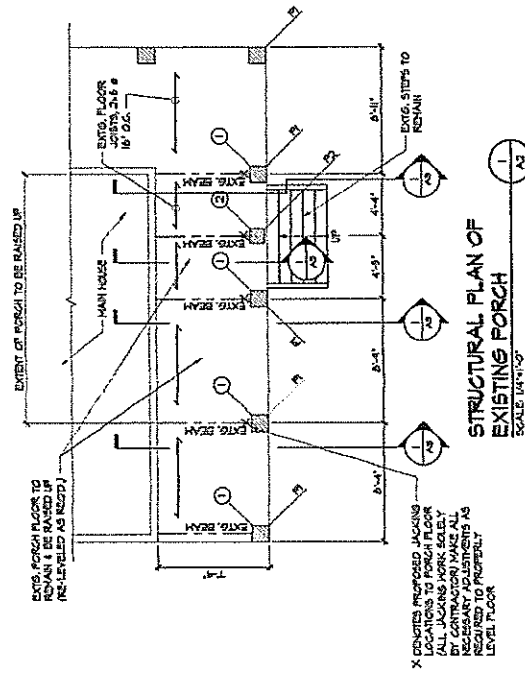
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STRUCTURAL PLAN OF  
 EXISTING PORCH

A2

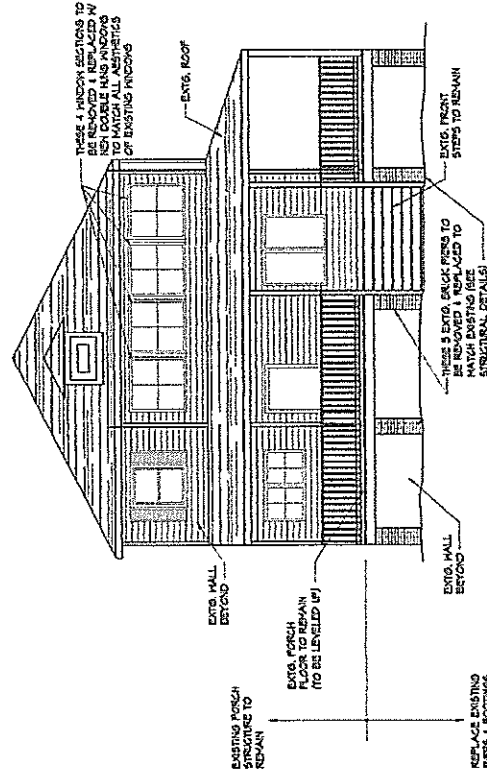


**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



**STRUCTURAL PLAN OF  
 EXISTING PORCH**  
 SCALE: 1/4"=1'-0"

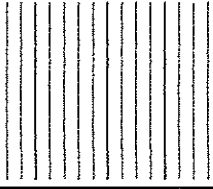
- PLAN NOTES**
- 1 EXISTING THAT EXISTING EXTERIOR BRICK PIERS AND EXISTING FOOTINGS ARE TO BE REMOVED AND NEW FOOTING AND PIER REPLACED PER SECTION 1/AS. ALL EXPOSED BRICK FWER WORK TO MATCH EXISTING CONDITIONS.
  - 2 EXISTING PIER TO BE REMOVED AND REPLACED SIMILAR TO SECTION 1/AS.



**FRONT ELEVATION VIEW**  
 SCALE: 1/4"=1'-0"

- 3 EXISTING PIER TO BE REMOVED AND REPLACED TO MATCH EXISTING (SEE STRUCTURAL DETAILS)

REPLACE EXISTING PIERS & FOOTINGS PER SECTION 1/AS



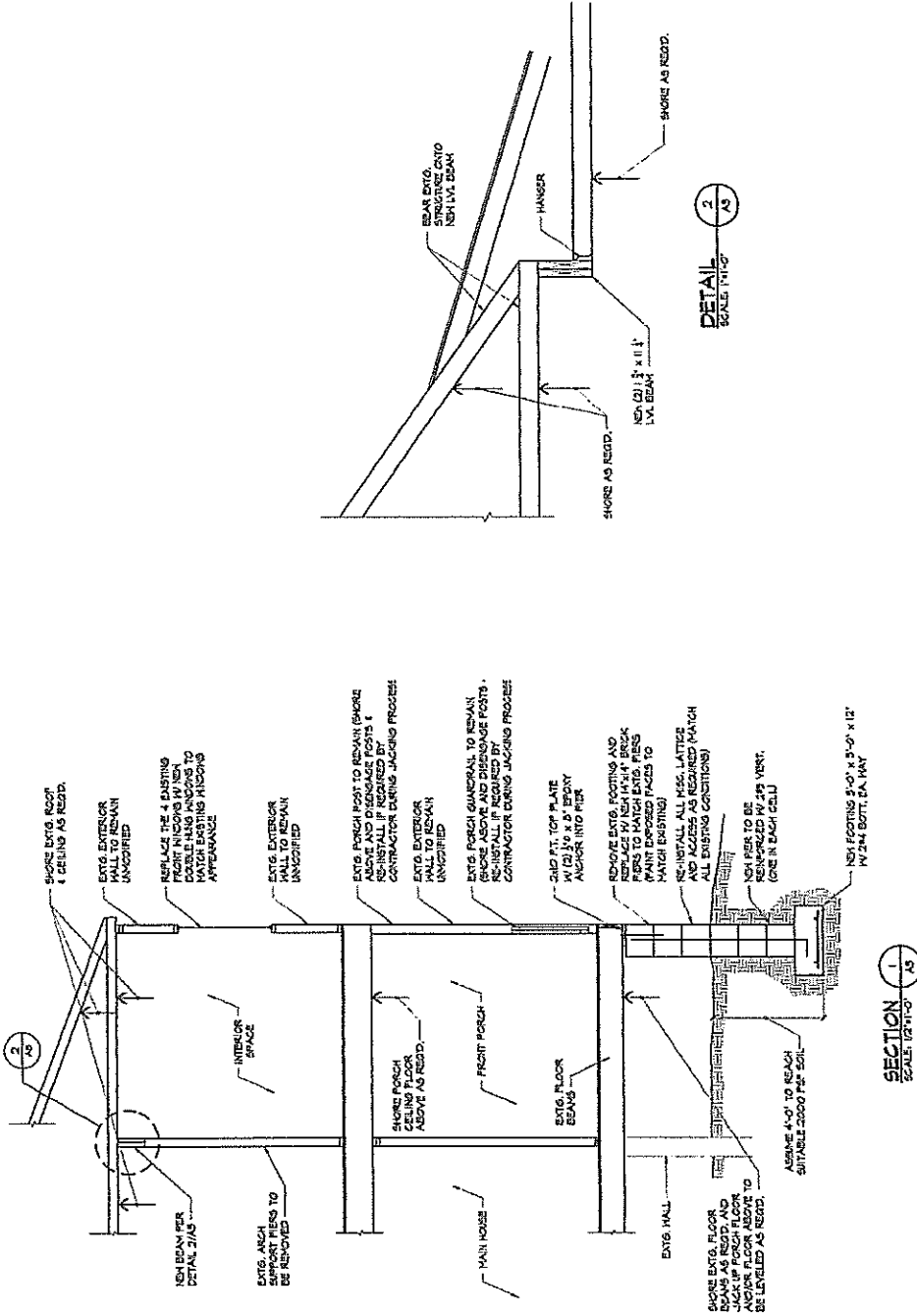
I HEREBY CERTIFY THAT THESE  
 DRAWINGS AND SPECIFICATIONS  
 APPROVED BY ME AS THAT DATA  
 DEVELOPED BY A REGISTERED PROFESSIONAL  
 ENGINEER IN THE STATE OF MARYLAND, UNDER THE  
 SEAL OF MY LICENSE, AND UNDER THE  
 MY EXPIRATION DATE 7/26/18



7-18-18

SECTIONS

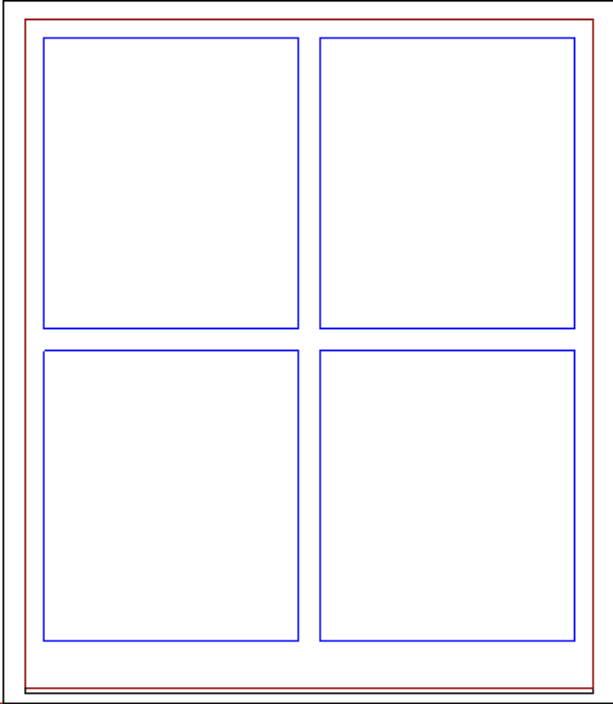
A3



**DETAIL**  
 SCALE 1/4" = 1'-0"  
 2 A3

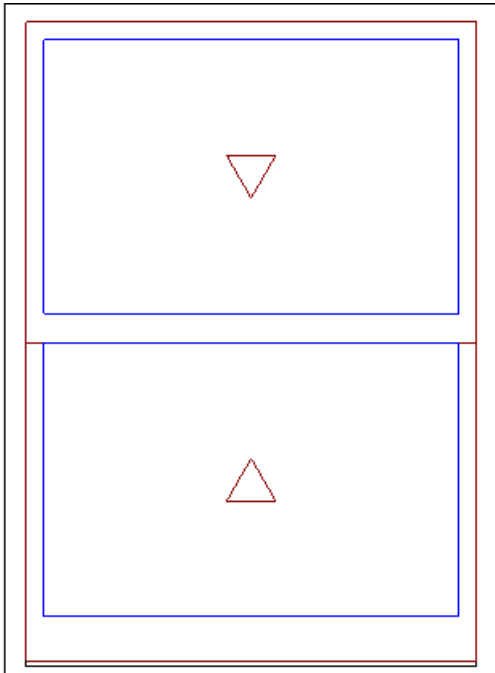
**SECTION**  
 SCALE 1/8" = 1'-0"  
 1 A3





As Viewed From The Exterior

FRONT ELEVATION WINDOWS

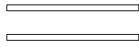


As Viewed From The Exterior

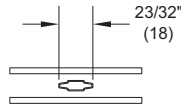
SIDE ELEVATION WINDOWS

# Wood Ultimate Double Hung Collection

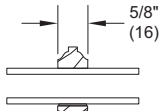
## Standard Insulating Glass Divided Lite Options



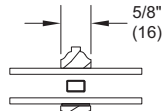
Insulating Glass



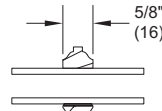
Aluminum 23/32"  
Contour GBG



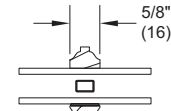
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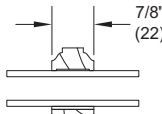
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W/Spacer



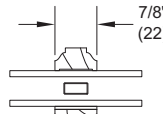
5/8" Putty  
SDL



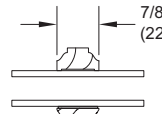
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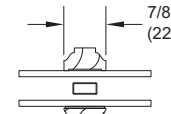
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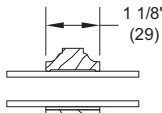
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W/Spacer Bar



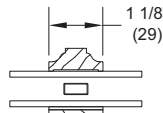
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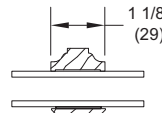
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W/Spacer Bar



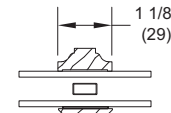
1 1/8" SDL



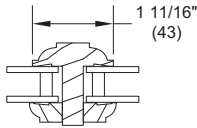
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W/Spacer Bar



1 1/8" Putty SDL



1 1/8" Putty SDL  
W/Spacer Bar



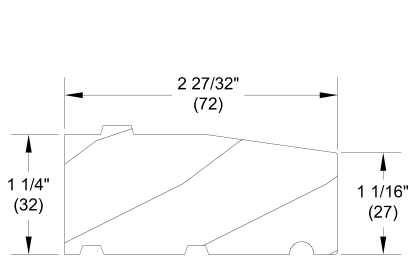
1 11/16" IG ADL

NOTE: ADL is not available with CE Mark.

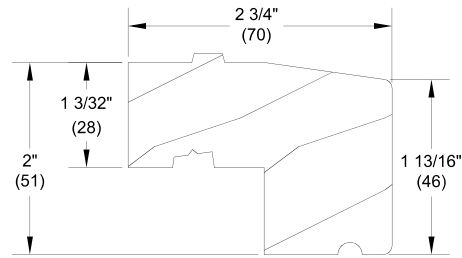
# Accessories

## Wood Subsills

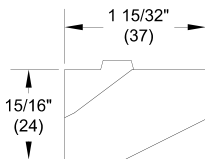
Not to Scale



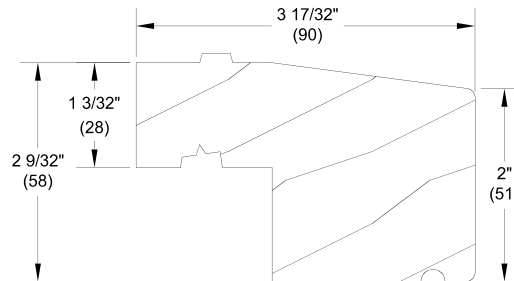
W2122 - Narrow Subsill



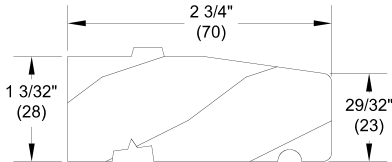
W2165 - 2" Simulated Thick Subsill



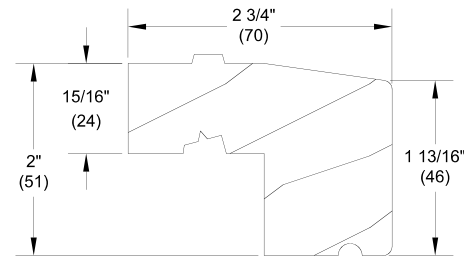
W2124 - Cut Back Subsill



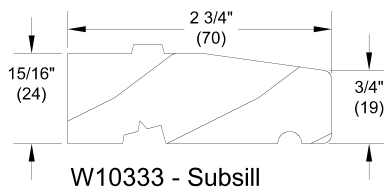
W8063 - 2" Simulated Thick Subsill



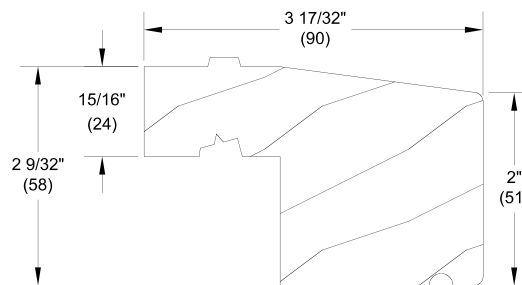
W2134 - Subsill



W10340 - 2" Simulated Thick Subsill



W10333 - Subsill



W10341 - 2" Extended Simulated Thick Subsill

*NOTE: For product compatibility, see chart on next page.*

# FINECRAFT

## Cumberland Project

Quote #: VFZAWBW

A Proposal for Window and Door Products prepared for:

**Job Site:**

20815

**Shipping Address:**

AMERICAN CEDAR & MILLWORK-BALTIMORE 2010

214 NAJOLES RD

MILLERSVILLE, MD 21108-2500

**Featuring products from:**



## Global Specs

The following product and option choices were designated as part of this project's Global Spec. Global Specs can be overridden on a line item basis. Exceptions to the specification are outlined in Line Item Quotes. Please proof all units thoroughly to ensure accuracy.

## Marvin Wood Spec



Exterior/Interior Colors/Finishes - Species	Pine
Exterior/Interior Colors/Finishes - Exterior Finish	Primed
Exterior/Interior Colors/Finishes - Interior Finish	Painted Interior Finish - White
Exterior/Interior Colors/Finishes - Back Prime	False
Window Glass Type - Glazing	IG
Window Glass Type - Glass Types	Clear
Window Glass Type - Perimeter Bar Color	Stainless
Divided Lites - Divided Lite Type	None
Window Hardware - Window Hardware Color	White
Window Hardware - Sash Lift	None
Window Hardware - Finger Pull	No Finger Pull
Interior Shade - Shade Placement	No Shade
Window Screens - Exterior Screen Type	Wood Screen
Window Screens - Mesh Type	Charcoal Hi-Transparency Fbrgls Mesh
Storm Sash/Energy Panel Options - Storm Sash	False
Jambs - Jamb Depth	4 9/16"
Casing/Subsill - Top Casing Type	None
Casing/Subsill - Side Casing Type	None
Casing/Subsill - Subsill	W8063 - Extended Thick Subsill
Casing/Subsill - Non Finger-Jointed Subsill	True
Casing/Subsill - Subsill Species	Pine
Casing/Subsill - Subsill Exterior Finish	Primed
Casing/Subsill - Non Finger-Jointed Sill	True
Casing/Subsill - Sill Horn Type	Long Sill Horns
Casing/Subsill - Sill Horn Width	6"
Assembly Accessories - Interior Accessory	None
Installation Method - Installation Options	No Installation Method
Miscellaneous Options - Interior Glazing Profile Options	Ovolo
Miscellaneous Options - Non Finger-Jointed Blindstop	False
Miscellaneous Options - Jamb Hardware Color	White
Miscellaneous Options - Sash Species	Pine
Miscellaneous Options - Sash Exterior Finish	Primed
Miscellaneous Options - Sash Interior Finish	Painted Interior Finish - White
Miscellaneous Options - Exterior Sash Lugs	None

## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 2	TOTAL UNIT QTY: 8
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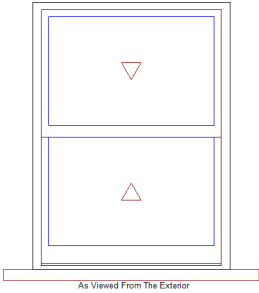
LINE	MARK UNIT	BRAND	ITEM	QTY
1	side units as DH	Marvin	Wood Ultimate Double Hung	4
2	Front picture units	Marvin	Wood Ultimate Double Hung Picture 1 5/8" Sash	4

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1 Qty: 4	Mark Unit: side units as DH			
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### Marvin Wood Ultimate Double Hung



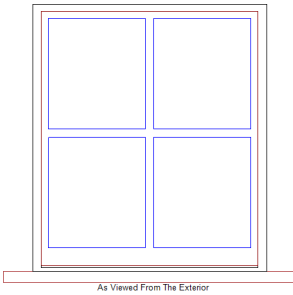
Initials required

Seller: \_\_\_\_\_

Buyer: \_\_\_\_\_

Line #2 Qty: 4	Mark Unit: Front picture units			
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### Marvin Wood Ultimate Double Hung Picture 1 5/8" Sash



Initials required

Seller: \_\_\_\_\_

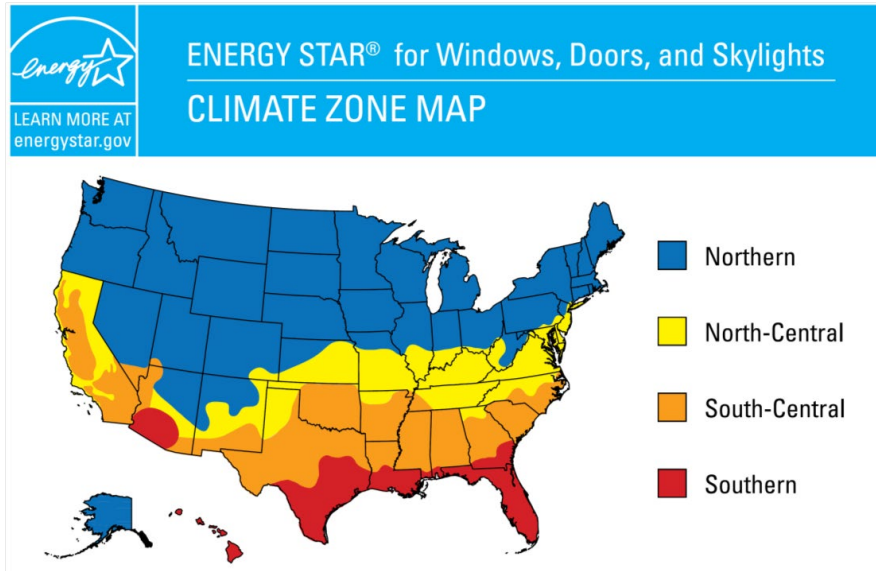
Buyer: \_\_\_\_\_

## Product and Performance Information

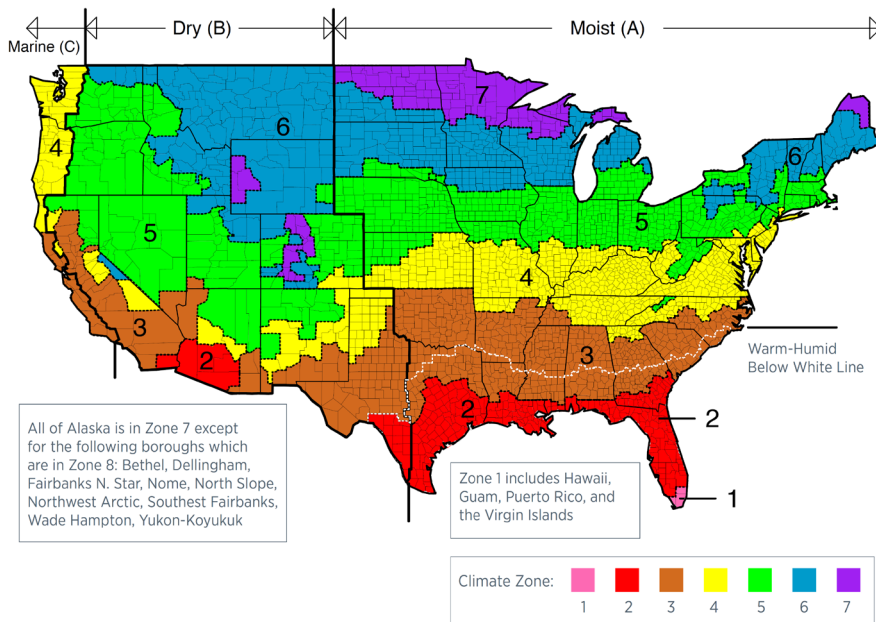
NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see [www.nfrc.org](http://www.nfrc.org).

Review the map below to determine if your units meet ENERGY STAR for your location.



### International Energy Conservation Code (IECC) Climate Regions





## **PURCHASE APPROVAL/SIGN OFF**

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

Seller: \_\_\_\_\_

Buyer: \_\_\_\_\_