

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	17107 New Hampshire Ave., Silver Spring	Meeting Date:	8/15/2018
Resource:	Master Plan Site #15/41 (Clifton)	Report Date:	8/8/2018
Applicant:	James and Courtney Benson (Miche Booz, Architect)	Public Notice:	8/1/2018
Review:	HAWP	Tax Credit:	Yes
Case Number:	15/41-18A	Staff:	Michael Kyne
PROPOSAL:	Building rehabilitation		

STAFF RECOMMENDATION:

- Approve
 Approve with conditions

1. The applicants will adhere to the conditions of approval stipulated by MHT on Page 17, with final review and approval delegated to staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Listed Master Plan Site #15/41 (Clifton)
STYLE: Georgian
DATE: c. 1742

PROPOSAL:

The applicants propose rehabilitation work at the historic house. The proposed work includes gutter and downspout replacement, painting, porch replacement, non-historic window and door replacement, mortar repointing, and landscaping (see full details of the proposed work on Pages 12 - 15). The applicants have applied for state historic preservation tax credits, and Maryland Historic Trust (MHT) has reviewed and approved the application, with the conditions stipulated on Page 17. The HPC's policy is to defer to MHT for projects that have been reviewed and approved by the MHT Easement Committee, or which have been certified to meet the *Secretary of the Interior's Standards for Rehabilitation* via Part 2 of the state tax credit application.

APPLICABLE GUIDELINES:

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

IV. The Expedited Staff Report format may be used on the following type of cases:

1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement

Committee.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: mbooz@michebooz.com cstrattontreadway@michebooz.com Contact Person: Miche Booz or Catherine Stratton Treadway
Daytime Phone No.: 301-774-6911

Tax Account No.: #703372

Name of Property Owner: James & Courtney Benson Daytime Phone No.: _____

Address: 17107 New Hampshire Ave, Silver Spring 20905
Street Number City State Zip Code

Contractor: Hyre Expectations Inc. Phone No.: 240-778-3897

Contractor Registration No.: MHIC#128935

Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PERMISE

House Number: 17107 Street: New Hampshire Ave

Town/City: Silver Spring Nearest Cross Street: Cliftonbrook Ln.

Lot: _____ Block: _____ Subdivision: 0501

Liber: _____ Folio: _____ Parcel: P337

8029ms

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 75000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

7-25-18
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached National Registry form for information about house and site. Barn is from unknown date. Probably early 20th century. Walls are of rubble stone and vertical wood siding.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached MHT Part II application and approval. The entrance gate (Item #14) will be amended to conform with MHT requirements -- or it will be deleted from the project.

2. **SITE PLAN** See attached.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** See attached.

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** NA

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

James & Courtney Benson
 17107 New Hampshire Ave
 Silver Spring MD 20905

Owner's Agent's mailing address

Miche Booz Architect
 208 Market St
 Brookeville MD 20833

Adjacent and confronting Property Owners mailing addresses

Shri Mangal Mandir
 18701 Rolling Acres Way
 Olney MD 20832

Resurrection Baptist Church
 900 Ednor Rd
 Silver Spring MD 20905

Charles Harry Johnson
 Charles W. Johnson
 17117 New Hampshire Ave
 Silver Spring MD 20905

Timothy A. Bonds
 1003 Cliftonbrook Ln
 Silver Spring MD 20905

David & Tracy Deik
 1005 Cliftonbrook Ln
 Silver Spring MD 20905

George & H Svejda
 1007 Cliftonbrook Ln
 Silver Spring MD 20905

Adjacent & Confronting Property Owners (pg 2)

Rev. Christine J. Drabick
1009 Cliftonbrook Ln
Silver Spring MD 20905

Malcolm F. Anthony Et Al.
1011 Cliftonbrook Ln
Silver Spring MD 20905

Robert & Dorinda Tucker
1013 Cliftonbrook Ln
Silver Spring MD 20905

1015 Cliftonbrook Lane LLC
8350 Boulevard East Apt 5H
North Bergen NJ 07047

WM & E M Lone
1004 Gadsden Ave
Silver Spring MD 20905

Conrad P. Bailer
1009 Gadsden Ave
Silver Spring MD 20905

Matthew & Karen Airola
1007 Gadsden Ave
Silver Spring MD 20905

PH0026034

MHT M-15

Form 10-300
(Rev. 6-72)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY - NOMINATION FORM

(Type all entries - complete applicable sections)

STATE: <i>Maryland</i>
COUNTY: <i>Montgomery</i>
FOR NPS USE ONLY
ENTRY DATE JUN 25 1974

1. NAME

COMMON: <i>Clifton</i>
AND/OR HISTORIC: <i>Clifton</i>

2. LOCATION

STREET AND NUMBER: <i>17107 New Hampshire Avenue, and Colesville Road</i>			
CITY OR TOWN: <i>Ednor</i>		CONGRESSIONAL DISTRICT: <i>Eighth</i>	
STATE <i>Maryland</i>	CODE <i>24</i>	COUNTY: <i>Montgomery</i>	CODE <i>031</i>

3. CLASSIFICATION

CATEGORY (Check One)	OWNERSHIP	STATUS	ACCESSIBLE TO THE PUBLIC
<input type="checkbox"/> District <input type="checkbox"/> Site <input type="checkbox"/> Object <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Both	<input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Preservation work in progress	Yes: <input type="checkbox"/> Restricted <input type="checkbox"/> Unrestricted <input checked="" type="checkbox"/> No

PRESENT USE (Check One or More as Appropriate)

<input type="checkbox"/> Agricultural	<input type="checkbox"/> Government	<input type="checkbox"/> Park	<input type="checkbox"/> Transportation	<input type="checkbox"/> Comments
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Private Residence	<input type="checkbox"/> Other (Specify)	
<input type="checkbox"/> Educational	<input type="checkbox"/> Military	<input type="checkbox"/> Religious		
<input type="checkbox"/> Entertainment	<input type="checkbox"/> Museum	<input type="checkbox"/> Scientific		

4. OWNER OF PROPERTY

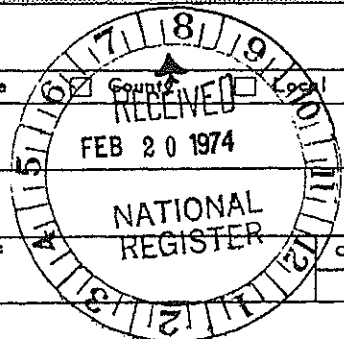
OWNER'S NAME: <i>Dr. and Mrs. James W. Bullard</i>		
STREET AND NUMBER: <i>17107 New Hampshire Avenue, and Colesville Road</i>		
CITY OR TOWN: <i>Ednor</i>	STATE: <i>Maryland</i>	CODE: <i>24</i>

5. LOCATION OF LEGAL DESCRIPTION

COURTHOUSE, REGISTRY OF DEEDS, ETC.: <i>Hall of Records</i>		
STREET AND NUMBER: <i>St. John's College Campus, College Avenue</i>		
CITY OR TOWN: <i>Annapolis</i>	STATE: <i>Maryland</i>	CODE: <i>24</i>

6. REPRESENTATION IN EXISTING SURVEYS

TITLE OF SURVEY:		
DATE OF SURVEY: <input type="checkbox"/> Federal <input type="checkbox"/> State		
DEPOSITORY FOR SURVEY RECORDS:		
STREET AND NUMBER:		
CITY OR TOWN:	STATE:	CODE:



STATE: <i>Maryland</i>
COUNTY: <i>Montgomery</i>
ENTRY NUMBER JUN 25 1974
DATE

SEE INSTRUCTIONS

FOR NPS USE ONLY

SIGNIFICANCE

PERIOD (Check One or More as Appropriate)

- Pre-Columbian | 16th Century | 18th Century | 20th Century
 15th Century | 17th Century | 19th Century

SPECIFIC DATE(S) (If Applicable and Known) *after 1742*

AREAS OF SIGNIFICANCE (Check One or More as Appropriate)

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> Aboriginal | <input type="checkbox"/> Education | <input type="checkbox"/> Political | <input type="checkbox"/> Urban Planning |
| <input type="checkbox"/> Prehistoric | <input type="checkbox"/> Engineering | <input type="checkbox"/> Religion/Philosophy | <input checked="" type="checkbox"/> Other (Specify) <u>local history</u> |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Industry | <input type="checkbox"/> Science | _____ |
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Invention | <input type="checkbox"/> Sculpture | _____ |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Social/Humanitarian | _____ |
| <input type="checkbox"/> Art | <input type="checkbox"/> Literature | <input type="checkbox"/> Theater | _____ |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Military | <input type="checkbox"/> Transportation | _____ |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Music | | |
| <input type="checkbox"/> Conservation | | | |

STATEMENT OF SIGNIFICANCE

Clifton is one of the few extant mid-eighteenth century buildings in Montgomery County. The date is important because at the time the county was part of the frontier as was the surrounding piedmont. The structure has survived in an excellent state of preservation retaining the majority of the original fabric.

From the viewpoint of architectural history the brick gambrel roof structure arouses great interest. The form, especially the roof construction, is not typical of this region, but rather of southern Maryland or the Eastern Shore. The explanation lies in the fact that the builder's family was from southern Anne Arundel County where brick gambrel roof houses were commonly constructed in the first half of the century, e.g., Larkin's Hill Farm.

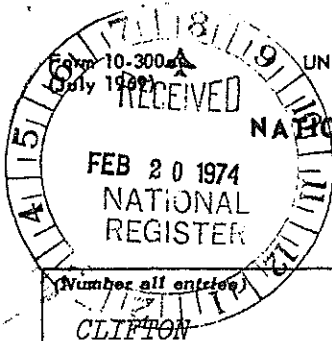
Clifton also has significance in relation to local history for it is associated with the first settlement of the area. The first settler, James Brooke, arrived in the first quarter of the century. His wife's sister and husband, James Thomas, arrived shortly thereafter. The Brooke and Thomas families formed the nucleus of a Quaker community which by 1753 had been organized into the Sandy Spring Meeting of Friends. Clifton is contemporary with the origins of the meeting; its association has significance because the meeting house was not constructed until 1819.

The history of Clifton begins with another prominent Quaker, Richard Snowden (d. 1763). Snowden owned vast tracts of land in Anne Arundel, Prince George's and Montgomery counties and operated the Patuxent Iron Works, a major eighteenth century Maryland industry. One of the first tracts Snowden acquired was Snowden's Manor -- one thousand acres for which he received a patent in 1715. In the 1740's he sold part of it to Philip Thomas, the founder of the Quaker family. Thomas was Snowden's daughter's father-in-law. Two decades later Philip Thomas sold the tract to John Thomas as his ". . . indefeazable [sic] estate of inheritance. . . Together with all Houses, Edifices, Buildings, Pastures Gardens Commons Rents Services Emoluments Cultivations and Improvements. . ." This last phrase coupled with the architectural assessment indicates that the building dates from circa 1760.

Since John Thomas had no children he willed the house and farm to his great nephew William John Thomas whose presence at Clifton is indicated in

(SEE CONTINUATION SHEET)

SEE INSTRUCTIONS



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY - NOMINATION FORM

(Continuation Sheet)

STATE <i>Maryland</i>	
COUNTY <i>Montgomery</i>	
FOR NPS USE ONLY	
ENTRY NUMBER	DATE
<i>JUN 25 1974</i>	

(Number all entries)

CLIFTON

#8. SIGNIFICANCE continued:

a 1865 map of Montgomery County and on a plat (1849) delineating the edges of his father's estate.¹ After the death of William John Thomas (d. 1884) the farm became the property of his son John Thomas who was the first to call the property Clifton. The last Thomas to occupy the house was his son, William John Thomas, who remained in the building through the mid-twentieth century.

#9. MAJOR BIBLIOGRAPHICAL REFERENCES continued:

Montgomery County Land and Probate Records.

Patent Records.

Plat of William Thomas' Land. 1849. Montgomery County Records. Liber HH #3 facing folio 241.

Provincial Court Deeds.

SECONDARY SOURCES

Farquhar, Roger Brooke. Old Homes and Historic Montgomery County. Washington. Judd and Detweiler, 1952.

Scharf, J. Thomas. History of Western Maryland... 2 volumes. Reprint. Baltimore: Regional Publishing, 1968.

Spencer, Richard Henry. Genealogical and Memorial Encyclopedia of the State of Maryland... 2 vols. New York: American Historical Society, 1919.

Stables, Ester B. "Sandy Spring and the Friends Meeting From Its Early History to 1853." The Montgomery County Story. Vol. II. (May 1959), 1-12.

#11. FORM PREPARED BY continued

*Nancy A. Miller, Historian
Maryland Historical Trust
2525 Riva Road
Annapolis, Maryland 21401*

September 1973

¹*S. J. Martenet, Martenet and Bond's Map of Montgomery County, Maryland, Baltimore: Simon J. Martenet, 1865 and Montgomery County Wills, Liber HH #3 facing folio 2412, Hall of Records, Annapolis, Maryland.*

Property Address <u>17107 New Hampshire Avenue, Ashton vicinity, Montgomery County</u>
Owner Name/Address <u>Elizabeth B. Bullard / 17107 New Hampshire Avenue, Ashton, MD 20861</u>
Year Built <u>1742</u>

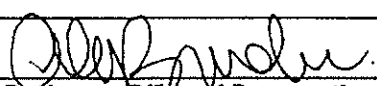
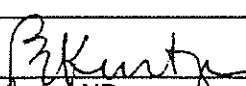
Description:

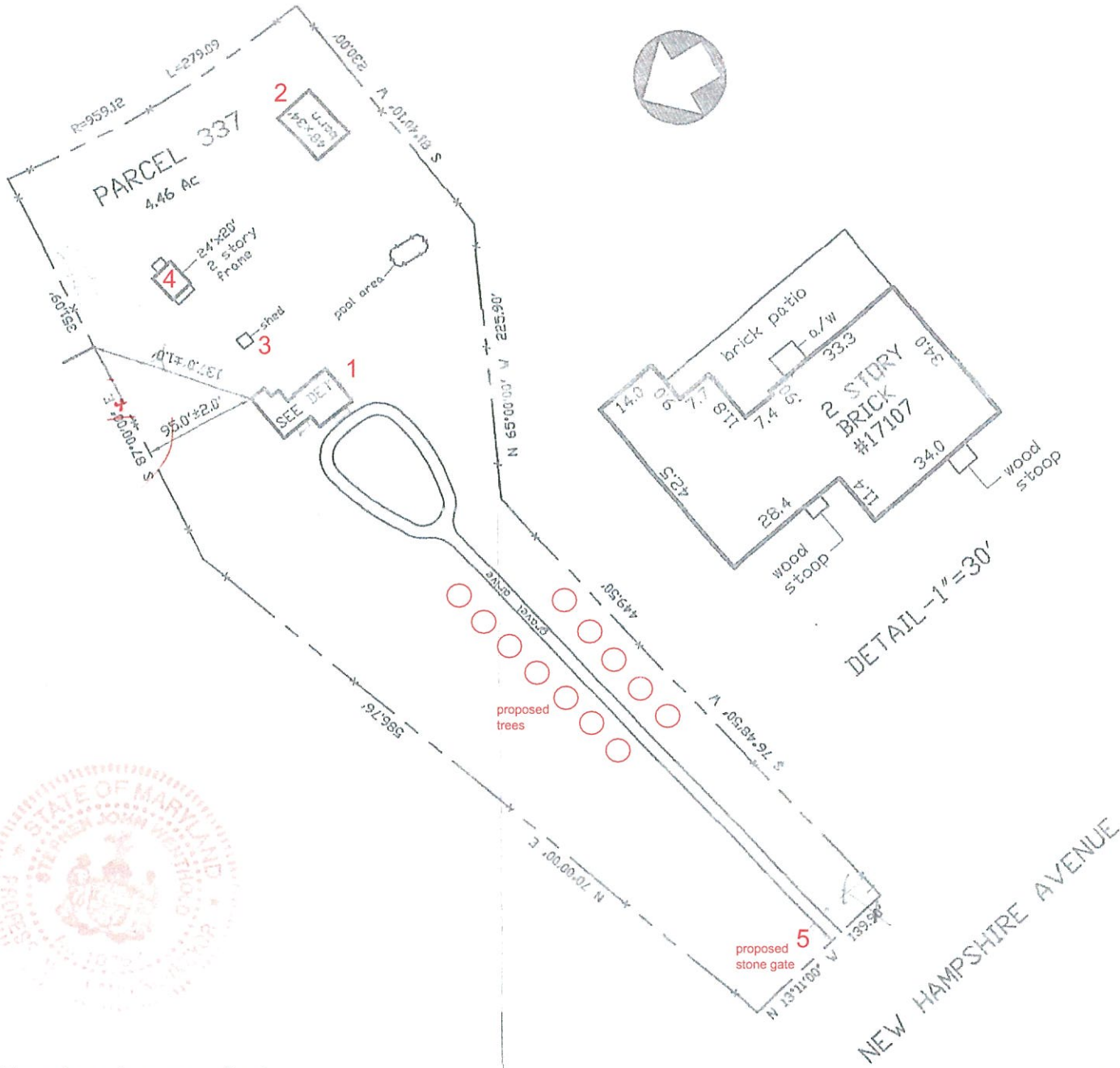
Clifton was previously surveyed by the Maryland-National Capital Park and Planning Commission (M-NCPPC) in January 1973 and by the Maryland Historical Trust in September 1973. The property was listed on the National Register of Historic Places in July 1974. Since the prior survey, two sympathetic additions have been made to the rear elevation of the north section. A wood-frame shed roof addition which extends the original roof slope, extends along the entire length of the rear elevation. The addition has a brick veneer foundation, wood clapboard siding and a wood shingle roof. A cut-away porch is located at the southeast corner supported by a wood post. Within the porch is a vinyl sliding glass door and wood panel door. The east elevation of the wood-frame addition has a vinyl sliding glass door, while the north elevation has a wood 6/6 double-hung window. Attached to the east elevation of the wood-frame addition is a second addition. The 1-story addition has a gable roof, covered with wood shingles, and has a stuccoed exterior. Wood panel doors are located on the north and south elevations of the addition, while the east elevation has two 4-light casement windows.

Outbuildings on the property include a wood-frame shed and a guest house/cottage. The shed, located east of the house, has a stone foundation and wood board and batten siding. The roof is wood shingle on the west elevation and standing-seam metal on the east elevation. A wood board and batten door is located on the north elevation, while the south elevation has a 9-light wood casement window. The guest house/cottage is located east of the house and shed. Constructed circa 1930, the 1½-story wood-frame building is supported by brick piers, has wood board and batten siding and a standing seam metal front-gable roof. The front, or west elevation has a 1-story hipped roof porch with exposed rafter ends and is supported by four wood posts. Within the porch are double wood doors. Both the north and south elevations have four 9-light wood casement windows.

Verbal Boundary Description and Justification:

The National Register boundary established for Clifton in 1974 included a large tract of land of unknown size, partially bounded by the intersection of New Hampshire Avenue and Ednor Road. The corner points of the boundary were set by latitude and longitude. Much of the land comprising this boundary includes property which had been subdivided and developed for residential use between 1960 and 1962. It is recommended that the current tax parcel, which includes the house, shed, guest house, pool, and the historic access lane from New Hampshire Avenue, be established as the National Register boundary of Clifton. The current tax parcel (Tax Map HT561/Parcel P337) is 1.87 hectares (4.64 acres) in size.

MHT CONCURRENCE:													
Eligibility	_____ recommended _____ not recommended			(NR listed 1974)									
Criteria	A	B	C	D	Considerations	A	B	C	D	E	F	G	None
Comments:	CLIFTON'S BOUNDARY HAS BEEN REDUCED TO THE CURRENT (1999) TAX PARCEL BOUNDARY, OF WHICH CRSE AGREED WITH SHN'S ASSESSMENT												
 Reviewer, Office of Preservation Services				4/28/99 Date		 Reviewer, NR program				5/3/99 Date			



No evidence of property corners was found.
 Apparent occupation is shown.

Date: 11-06-06 Scale: 1"=125' Drn: *[Signature]*
 Plat Book:
 Plat No.: NO TITLE REPORT FURNISHED
 Work Order: 06-4910
 Address: 17107 NEW HAMPSHIRE AVENUE
 District: 8
 Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen V. Winchold

LOCATION DRAWING
 PARCEL 337
 LIBER 11053, FOLIO 281

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400

Maryland Historical Trust
Heritage Structure Rehabilitation Tax Credit
HOMEOWNER CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

MHT Project Number (MHT office use only)

Instructions: Fill out this form in accordance with the application instructions. This page must bear the applicant's original signature and must be dated. The Maryland Historical Trust's certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence.

1. Property Name Clifton

Street 17107 New Hampshire Ave

City Ashton Zip 20861 County Montgomery

State Legislative District 14 MHT Easement property? Yes No Unknown

Listed individually in the National Register of Historic Places or as an individual local designation; date of listing June 25 1974

Located in a National Register or locally designated historic district; name of district _____

Part 1 – Evaluation of Significance submitted? Date submitted _____ Date of certification (if applicable) _____

2. Project Data

Primary/secondary residence Mixed-use residential/commercial Owner-occupied residential co-op unit

Date of building construction 1742 Floor area before / after rehabilitation 3,640 / 3,640 sq ft

Start date (estimated) 07/31/2018 Completion date (estimated) 09/30/2018

CHECK IF YOU ANTICIPATE RECEIVING ANY OF THE FOLLOWING ADDITIONAL FUNDING FOR THE PROPOSED PROJECT

Insurance claim reimbursement funds Other local and/or state funding (i.e. grants or loans) Specify funding source _____

*Estimated qualified rehabilitation expenditures are capped at \$250,000 and should not include additional state/local funding, insurance reimbursements or ineligible expenses including new construction, site work, appliances, etc. *Estimated Qualified Rehabilitation Expenditures \$75,000

3. Project Contact (if different from applicant)

Name Miche Booz Company Miche Booz Architect

Street 208 Market St City Brookeville State MD

Zip 20860 Telephone (301) 774-6911 Email Address _____

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) I am the fee-simple owner of the above-described property or (2) if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name _____ Signature _____ Date _____

Street _____ City _____ State _____

Zip _____ Telephone _____ Email Address _____

MHT Official Use Only

The Maryland Historical Trust has reviewed the *Heritage Structure Rehabilitation Tax Credit Application – Part 2* for the above-named property and has determined that the proposed rehabilitation described herein:

- is consistent with the Secretary of the Interior's Standards for Rehabilitation. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.
- is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.
- is not consistent with the Secretary of the Interior's Standards for Rehabilitation and therefore certification is denied.
- Is not adequately documented in the application and therefore cannot be reviewed.

Date _____ Maryland Historical Trust Authorized Signature _____

MHT conditions or comments attached

HOMEOWNER CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Number 4	Feature Non historic gutters, downspouts, rake boards	Date of Feature various
-----------------	--	--------------------------------

Describe existing feature and its condition

Existing gutters are a mix of copper half-round gutters with round downspouts and modern-style ogee aluminum gutters and downspouts. The half-round gutters are warped in places. Existing wooden rake boards are sound but have flaking paint.

Photo numbers 1-16 Drawing numbers NA

Describe work and impact on feature

All existing gutters and downspouts will be replaced with copper half-round gutters and round downspouts. Rake boards will be scraped and painted.

Number 5	Feature Historic exterior doors to remain	Date of Feature unknown
-----------------	--	--------------------------------

Describe existing feature and its condition

The historic raised panel wood doors (main front door (A), funeral door (B) and back door (C)) are structural sound and operational. However, the paint is flaking on the doors, frames and louvers (exterior only). Existing non-historic screen material on the louvered doors (Door A) is damaged.

Photo numbers 1-31, 1-33, 1-34, 1-43, 1-44, 1-45 Drawing numbers EX1, EX20, EX22, EX23

Describe work and impact on feature

The enumerated historic doors will be scraped and painted. Part of the wood frame on the Door C will be repaired. The screen door will be repaired. The louvered shutters for Door A will be scraped and painted; existing torn screen material will be removed. Glass will be put in place of the screen. The screen door for the funeral door (Door B) will be removed.

Number 6	Feature Non-historic doors to be replaced	Date of Feature various
-----------------	--	--------------------------------

Describe existing feature and its condition

Door I, an existing non-original wood and glass door is in operable condition but damaged -- wood is deeply scratched on the interior. A non-historic Andersen storm door has a broken closer.

Two large 1970's-era slider windows in current dining room (E and F) are in fair condition; Door E has some deep scratches on the bottom.

Photo numbers 1-17, 1-18, 1-19, 1-20, 1-21, 1-37, 1-40, 1-41 Drawing numbers EX20, EX22, EX23, A20, A22, A23

Describe work and impact on feature

Door I will be replaced with full-lite storm door (such as Pella Select) and a Simpson15-lite wood door (cut sheet attached).

Door E will be replaced with a new French door Marvin slider.
Door F will be replaced with a Marvin picture window.

HOMEOWNER CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Number 10	Feature <u>Front porch (minor)</u>	Date of Feature <u>unknown</u>
------------------	---	---------------------------------------

Describe existing feature and its condition

Door I is fronted with a wood porch of 50x36 inches with a wood handrail. The porch landing and stairs are worn and broken in places. The paint is deteriorated.

Photo numbers 1-36, 1-38, 1-39 Drawing numbers A11, A20, A21, A41

Describe work and impact on feature

The porch will be replaced in wood. The porch will have six inches added to each side making it 48-inches wide. A new wrought iron handrail will extend down the steps. The handrail will not attach directly to the house, but will be supported by the porch. The new porch will be structurally independent of the house.

Number 11	Feature <u>New porch at post-1974 addition</u>	Date of Feature <u>proposed</u>
------------------	---	--

Describe existing feature and its condition

A brick patio (set in sand) at Door H, is heaved by roots of adjacent bushes.

Photo numbers 1-4, 1-6, 1-42 Drawing numbers A11, A21, A22, A42

Describe work and impact on feature

A small roof overhang (about 8-inches) will be removed. This will allow new porch rafters of approx. 5-ft long to be attached to the rafters tails of the existing roof. A porch roof of 5x12 feet, will be added. Two 6x6 wood columns on the sides of the roof will support it. The brick patio will be reset in sand using the existing bricks. Landscaping, which is overgrown and close to the door, will be removed.

Number 12	Feature <u>Barn: Repoint stone foundation walls</u>	Date of Feature <u>unknown</u>
------------------	--	---------------------------------------

Describe existing feature and its condition

The foundation walls are rubble stone. There are some significant cracks and places where stones are loose.

Photo numbers 2-4, 2-11, 2-12 Drawing numbers NA

Describe work and impact on feature

The foundation walls will be power-washed to dislodge failing mortar. Cracks will be filled and loose stones will be reset with a mortar to match character of existing.

Number 13	Feature <u>Barn: Replace damaged heavy timbers</u>	Date of Feature <u>unknown</u>
------------------	---	---------------------------------------

HOMEOWNER CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Describe existing feature and its condition

Existing small evergreen shrubs are planted along the foundation of the house at the front. The interior of the driveway loop in front of the house is grassy and otherwise unlandscaped.

Photo numbers 1-1, 1-2

Drawing numbers Landscape plan, Sheets 2-3

Describe work and impact on feature

A landscape plan proposes low evergreen shrubs and roses to define the foundation of the house without obscuring windows. Somewhat larger perennials are proposed for beside the house. Ornamental trees, boulders, and low-lying perennials and grasses are proposed for the area within the driveway.

Add Item

Maryland Historical Trust
Heritage Structure Rehabilitation Tax Credit
**HOMEOWNER CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**



MHT Project Number (MHT office use only) 2018-115

Instructions: Fill out this form in accordance with the application instructions. This page must bear the applicant's original signature and must be dated. The Maryland Historical Trust's certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence.

1. Property Name Clifton

Street 17107 New Hampshire Ave

City Ashton Zip 20861 County Montgomery

State Legislative District 14 MHT Easement property? Yes No Unknown

Listed individually in the National Register of Historic Places or as an individual local designation; date of listing June 25 1974

Located in a National Register or locally designated historic district, name of district _____

Part 1 – Evaluation of Significance submitted? Date submitted _____ Date of certification (if applicable) _____

2. Project Data

Primary/secondary residence Mixed-use residential/commercial Owner-occupied residential co-op unit

Date of building construction 1742 Floor area before / after rehabilitation 3,640 / 3,640 sq ft

Start date (estimated) 07/31/2018 Completion date (estimated) 09/30/2018

CHECK IF YOU ANTICIPATE RECEIVING ANY OF THE FOLLOWING ADDITIONAL FUNDING FOR THE PROPOSED PROJECT

Insurance claim reimbursement funds Other local and/or state funding (i.e. grants or loans) Specify funding source _____

*Estimated qualified rehabilitation expenditures are capped at \$250,000 and should not include additional state/federal funding, insurance reimbursements or ineligible expenses including new construction, site work, appliances, etc. *Estimated Qualified Rehabilitation Expenditures \$75,000

3. Project Contact (if different from applicant)

Name Miche Booz Company Miche Booz Architect

Street 208 Market St City Brookeville State MD

Zip 20833 Telephone (301) 774-6911 Email Address _____

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) I am the fee-simple owner of the above-described property or (2) if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name Courtney + James Benson Signature [Signature] Date June 7, 2018

Street 17107 New Hampshire Ave City Silver Spring State MD

Zip 20905 Telephone 240.855.4233 Email Address courben@gmail.com

MHT Official Use Only

The Maryland Historical Trust has reviewed the *Heritage Structure Rehabilitation Tax Credit Application* – Part 2 for the above-named property and has determined that the proposed rehabilitation described herein:

is consistent with the Secretary of the Interior's Standards for Rehabilitation. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

is not consistent with the Secretary of the Interior's Standards for Rehabilitation and therefore certification is denied.

Is not adequately documented in the application and therefore cannot be reviewed.

Date 7/20/18 Maryland Historical Trust Authorized Signature [Signature]

MHT conditions or comments attached

Maryland Department of Planning
MARYLAND HISTORICAL TRUST
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

CONDITIONS SHEET

Heritage Preservation Certification Application

MHT Project Number: 2018-115

Property Name and Address 17107 New Hampshire Avenue, Ashton, MD 20861 (Clifton)

The rehabilitation of this property as described in the Heritage Preservation Certification Application will meet the Secretary of the Interior's *Standards for Rehabilitation* and the requirements of §5A-303(h) of the State Finance and Procurement Article of the Annotated Code of Maryland provided that the following condition(s) is/are met:

1. The re-pointing mortar for both the main house and barn foundation must match the respective existing historic mortar in color, texture, composition, joint width, joint profile and other visual qualities, per Standard #6. Existing mortar must not be removed by power washing as this causes damage to the historic masonry. Rather, existing deteriorated mortar should be removed by hand without causing damage to the masonry. Re-pointing work must be done in accordance with the guidance provided in Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. Good-quality before and after photographs of the mortar joints must be submitted with the Part 3: Request for Certification of Completed Work.
2. In preparing the exterior of the house for painting, wood features must be cleaned using the gentlest means possible, per Standard #7. Gentle methods using hand-sanding and hand-scraping for paint removal, and a water-based solution with mild detergent and a soft-bristled brush are recommended for historic wood repairs. High-pressure power washing to clean and/or remove paint is not permitted due to the potential for water to become trapped causing damage to the historic material. An oil-based primer must be applied on prepped surface of materials prior to applying exterior latex paint.
3. The proposed stone driveway entrance walls are not compatible with the properties historic character and are too formal for the ca. 1742 property. As proposed, the stone entrance does not comply with Standard #3 or #9. MHT recommends the installation of a single stone or brick column on either side of the driveway, such as the proposed, without the construction of the wall and second column or the installation of a simple wood fence. Although this feature is considered landscaping, all work to the property, whether eligible or not, must comply with the Secretary's Standards for Rehabilitation. A revised driveway entrance plan must be submitted on an Amendment form for review and approval prior to commencing with this work.

NOTE: The work proposed is items #11 (new porch at post-1974 addition), #14 (entrance gate), #15 (tree planting), and #16 (landscaping) are all considered either new construction or landscaping, which are not eligible for the tax credit. Costs associated with these work items must not be included in the eligible expenses on the Part 3: Request for Certification of Completed Work.

Please note that failure to comply with any of the above conditions may result in a denial of final certification.

Date

Maryland Historical Trust Authorized Signature

17



1 Main entrance from New Hampshire Ave.



2 Main Facade (west)



3 Main facade showing two non-historic porches to be replaced.



4 Brick repointing and dormer repainting work needed.



5 North facade



6 North facade, non historic portion. Shows location of new porch roof, non-historic siding to be replaced and stucco to be covered with siding.



7 Rear (East) facade showing stucco addition and slider to be replaced with picture window.



8 Rear facade, historic portion. Door C to be repaired and siding to be replaced. Windows and dormers to be repainted.



9 Slider (Door E) to be replaced.



10 Slider (Door F) to be replaced with picture window. Siding to be replaced with HardiePlank. Stucco to be covered with Hardieplank.



11 South facade showing funeral door



12 Non historic siding to replace with HardiePlank. Stucco to be sided to match.



13 Main porch, non-historic.



14 Main porch, side view



15 Secondary front porch, non-historic.



16 Secondary front porch, existing door to be replaced.

Barn:



17 Barn. South facade



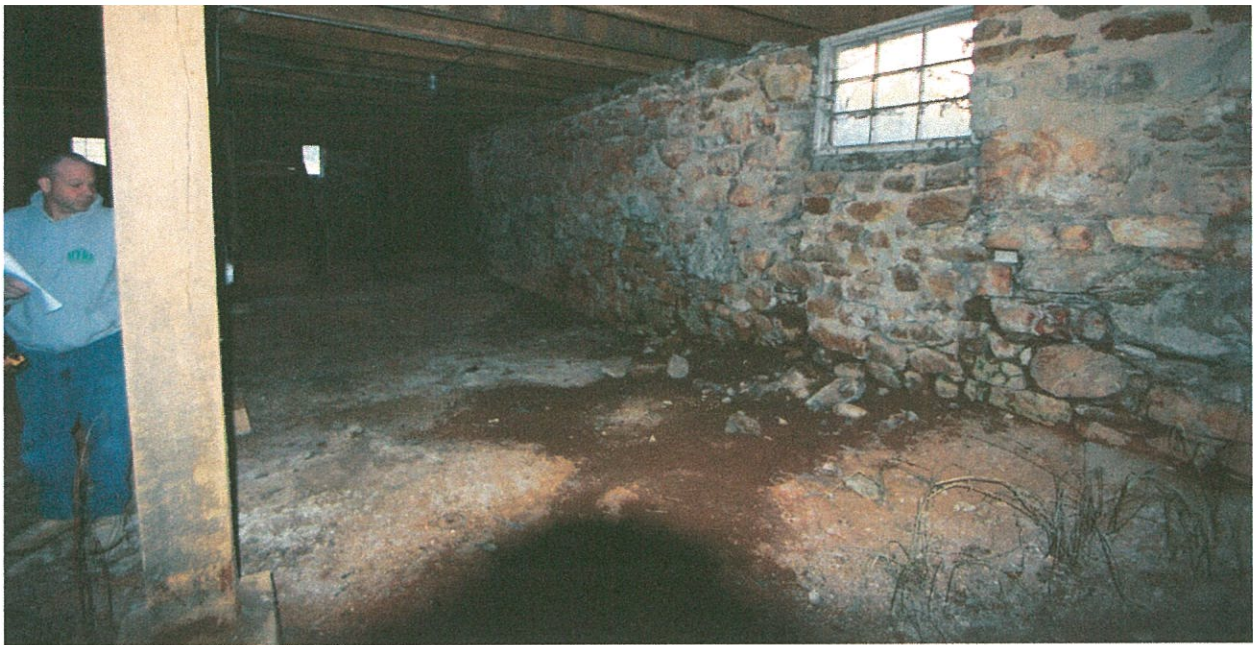
18 West facade



19 East facade with patched crack under window



20 North facade



21 Interior of north foundation wall



22 Interior of foundation wall crack

MICHE BOOZ

ARCHITECT
208 Market St.
Brookville,
Maryland 20833
(301) 774-8800
Fax: 774 1908

Project:
**CLIFTON
RESIDENCE**
1707 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:
**FIRST
FLOOR PLAN**

Dates:
03/20/2018

Scale: **1/8" = 1'**

Sheet:
EX11



MICHE BOOZ

A R C H I T E C T
208 Market St.
Montgomery, MD 20833
(301)774-6911
fax: 774-1908

Project:

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:

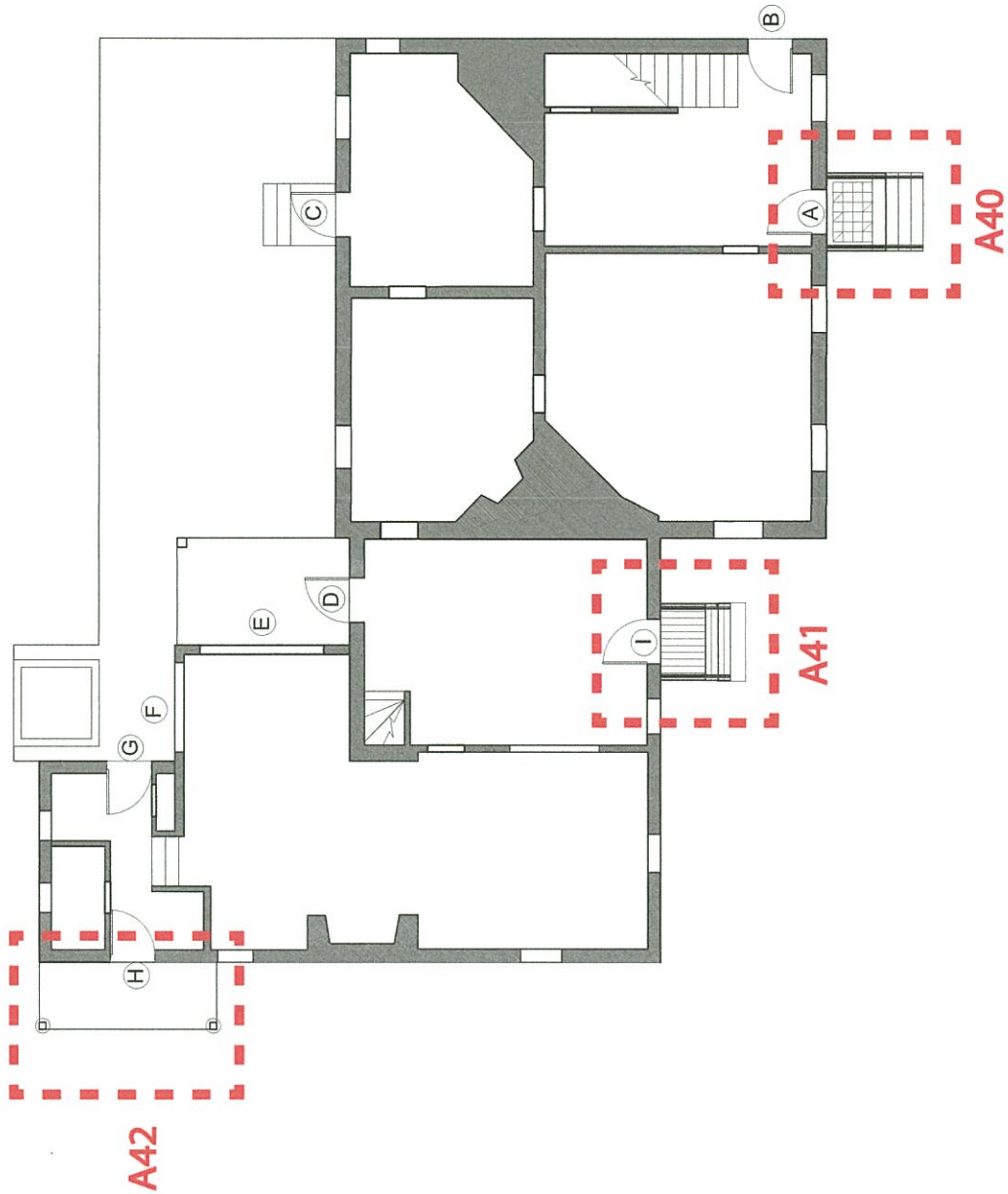
FIRST
FLOOR PLAN

Dates:

04/23/2018

Scale: 1/8" = 1'

Sheet:
A11



MICHE BOOZ

ARCHITECT
208 Market St
Baltimore, MD 21201
Tel: 410.524.0911
Fax: 410.524.1993

Project

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings

WEST
ELEVATION

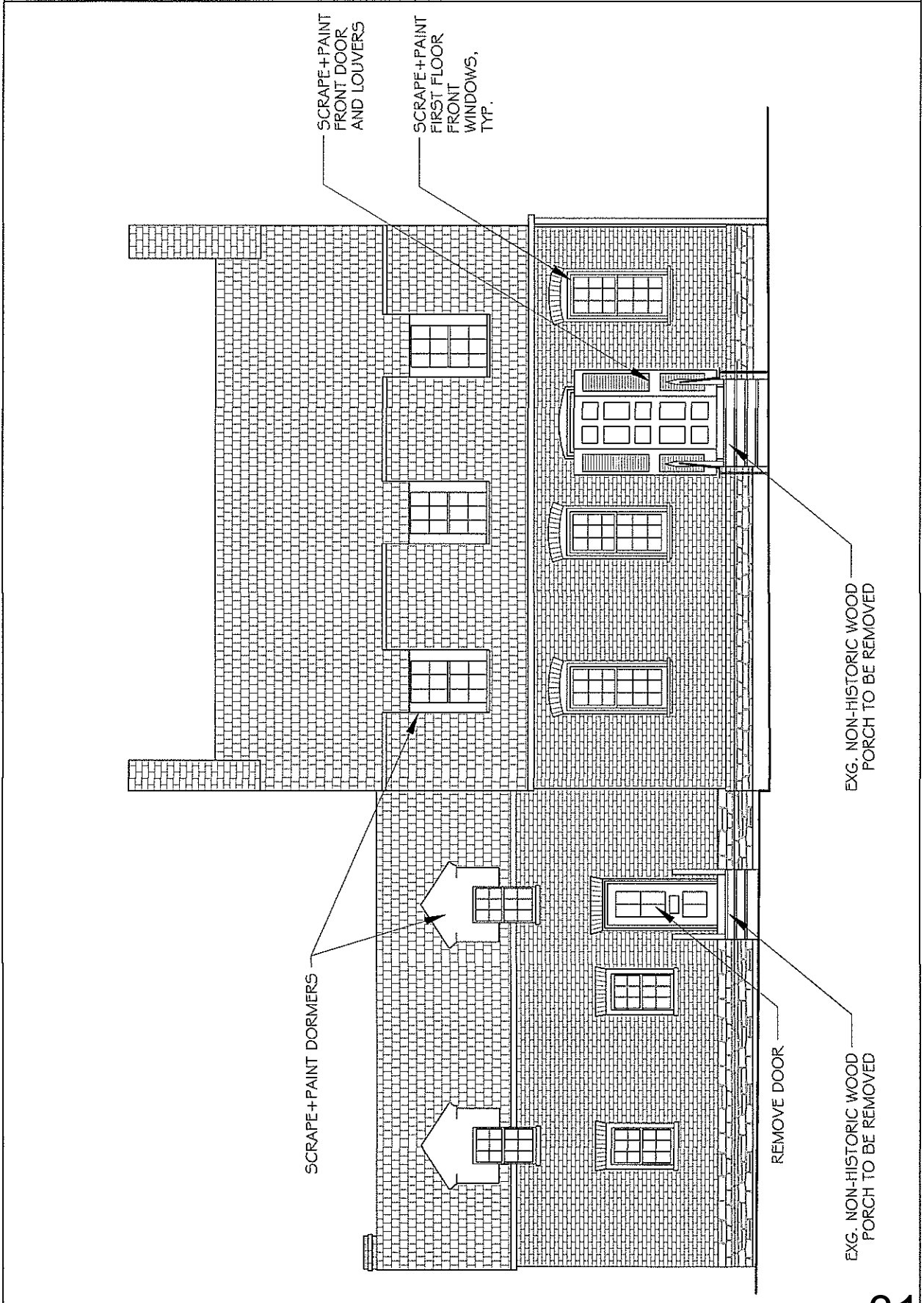
Dates:

04/23/2018

Scale: 3/16" = 1'

Sheet:

EX20



MICHE BOOZ

ARCHITECT
239 Maple St
Frederick, MD 20735
(301)774-6311
fax: 774-1503

Project:

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:

**NORTH
ELEVATION**

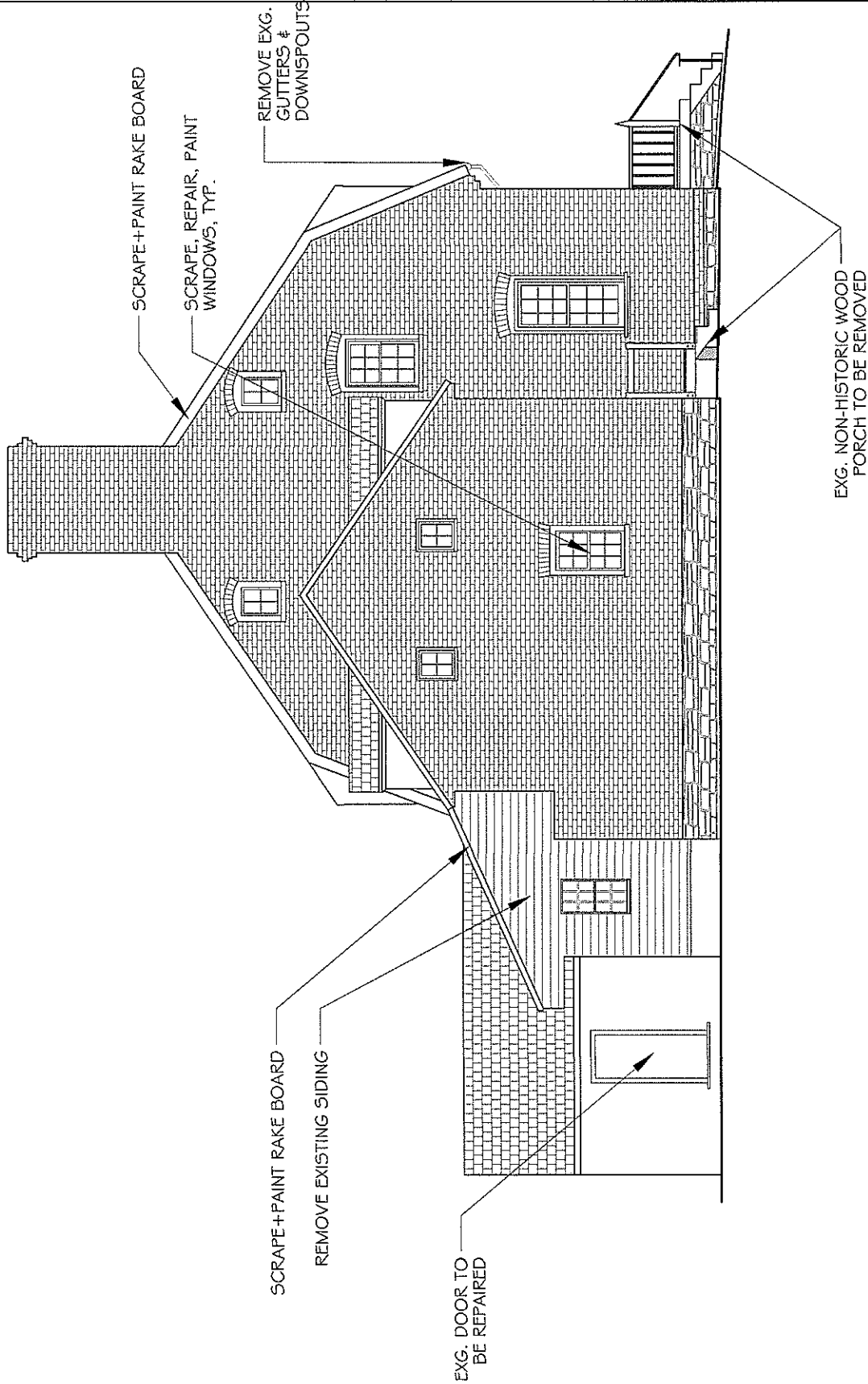
Dates:

04/23/2018

Scale: 3/16" = 1'

Sheet:

EX21



MICHELLE BOOZ

ARCHITECT
208 Meade St
Brockville,
Maryland 20853
(301) 774-1811
Cell: 774-1926

Project:

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20851

Drawings:

EAST
ELEVATION

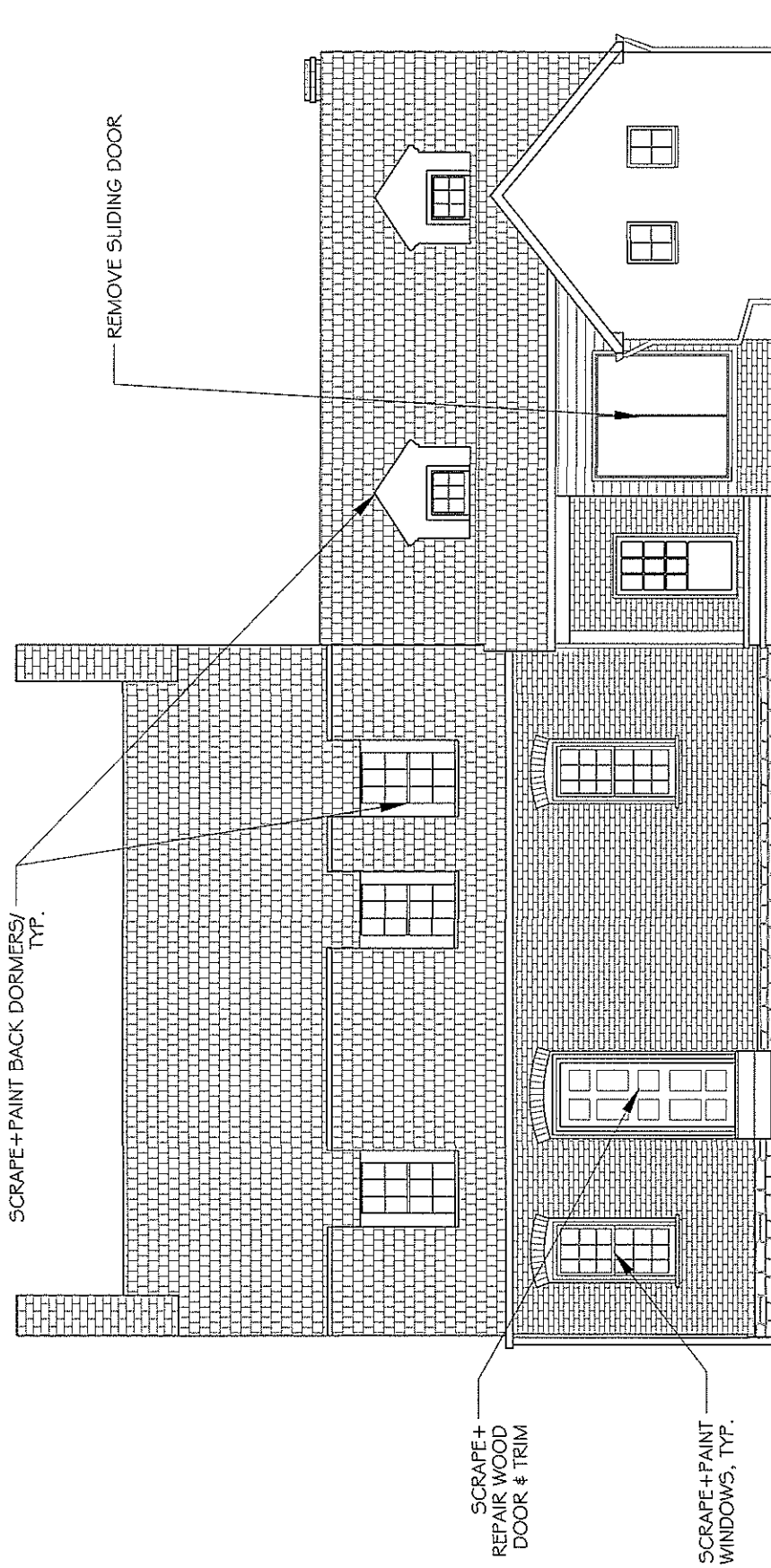
Dates:

04/23/2018

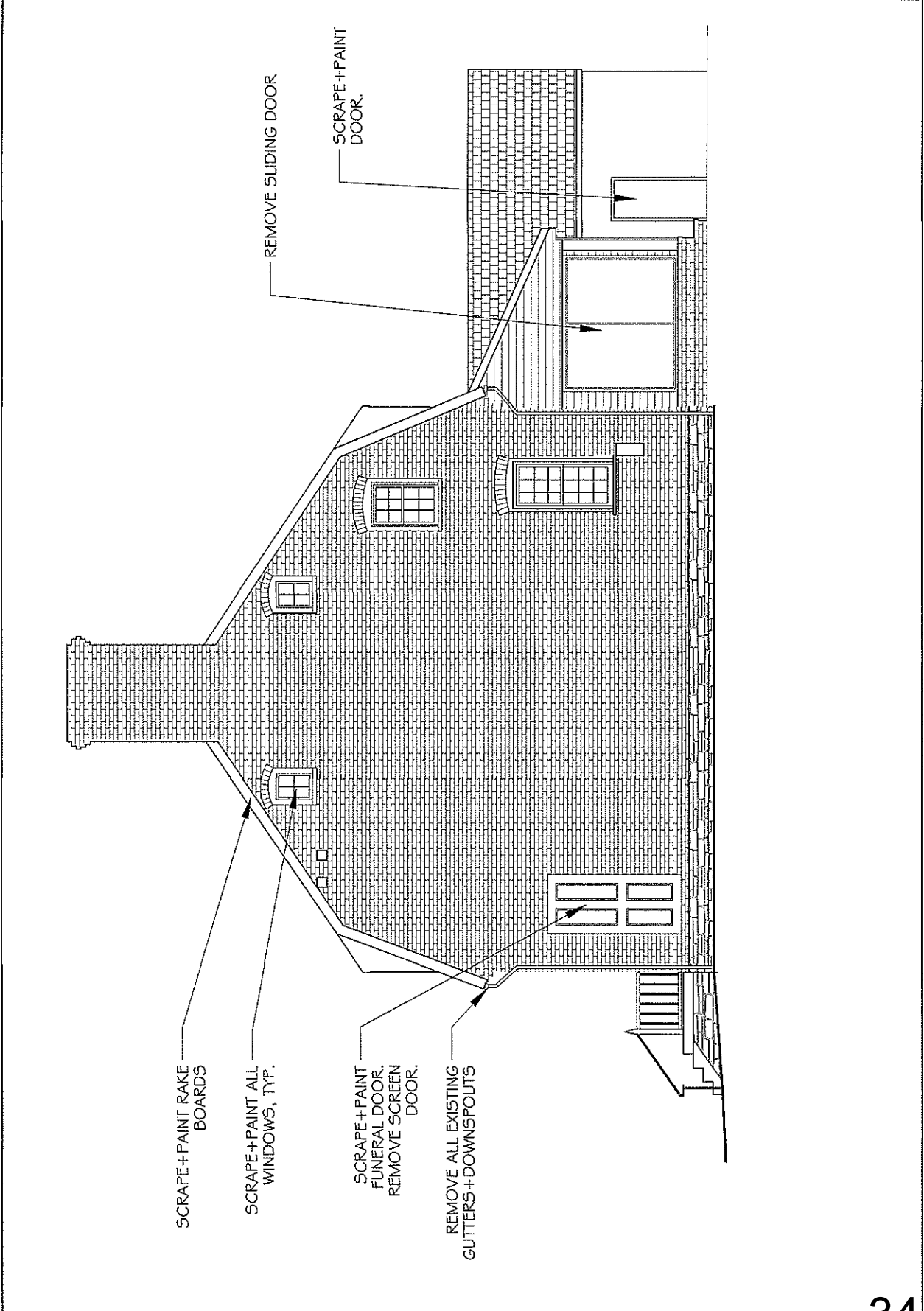
Scale: 3/16" = 1'

Sheet:

EX22



MICHE BOOZ ARCHITECT 208 Market St Brooklyn Maryland 20333 301.774.0211 410.774.1939	Project CLIFTON RESIDENCE 17107 NEW HAMPSHIRE AVENUE MONTGOMERY COUNTY, MD 20851
	Drawings: SOUTH ELEVATION
Dates: 04/23/2018	Scale: 3/16" = 1' Sheet: EX23



MICHE BOOZ

A R C H I T E C T
208 Market St
Providence, RI 02903
Phone: (401) 774-6311
Fax: (401) 774-6311
for 774, 1908

Project:

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings

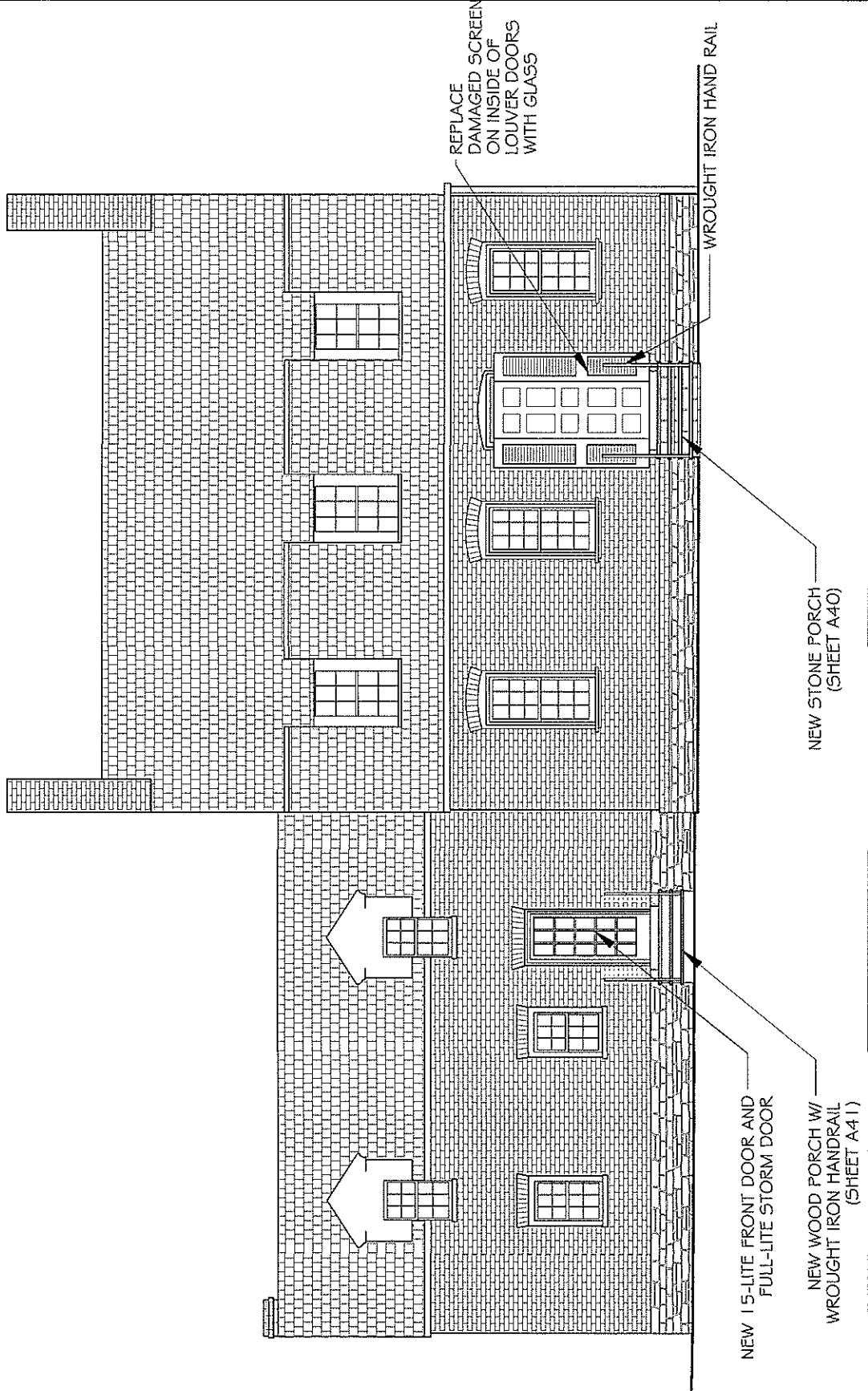
WEST
ELEVATION

Dates:

04/23/2018

Scale: 3/16"=1'

Sheet:
A20



NEW STONE PORCH
(SHEET A40)

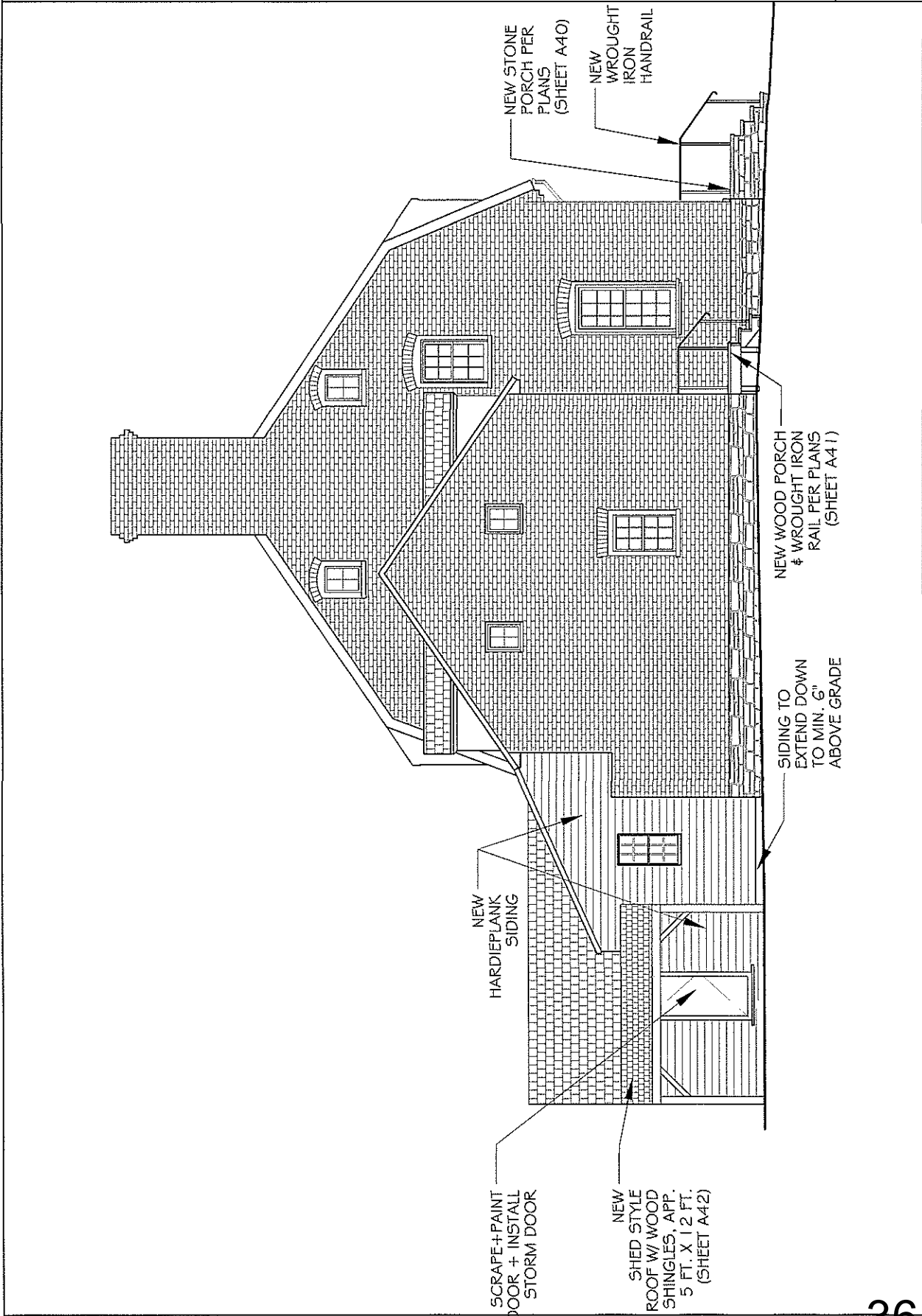
NEW 15-LITE FRONT DOOR AND
FULL-LITE STORM DOOR

NEW WOOD PORCH W/
WROUGHT IRON HANDRAIL
(SHEET A41)

REPLACE
DAMAGED SCREEN
ON INSIDE OF
LOUVER DOORS
WITH GLASS

WROUGHT IRON HAND RAIL

MICHE BOOZ ARCHITECT 203 Market St Brooklyn Maryland 20833 (301)774-6911 fax: 774-1983	Project CLIFTON RESIDENCE 17107 NEW HAMPSHIRE AVENUE MONTGOMERY COUNTY, MD 20861
	Drawings: NORTH ELEVATION
Dates: 04/23/2018	Scale: 3/16"=1' Sheet: A21



MICHE BOOZ

ARCHITECT
209 Market St
Baltimore, MD 21201
Tel: 410.524.6911
Fax: 410.524.6903

Project:

CLIFTON
RESIDENCE

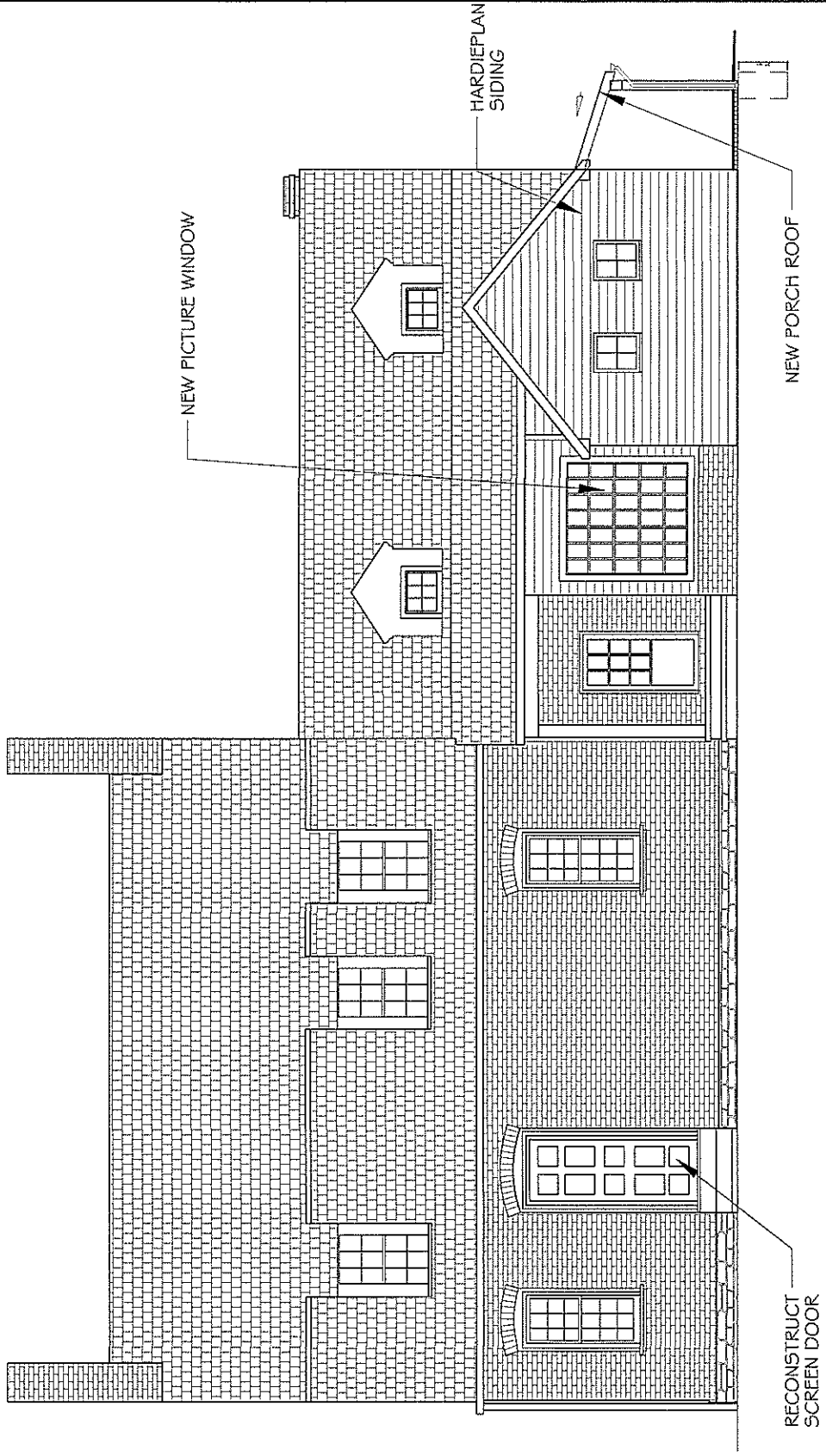
17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawing:
EAST
ELEVATION-
OPTION A

Date:
06/01/2018

Scale: 3/16"=1'

Sheet:
A22



MICHE BOOZ

ARCHITECT
289 Maple Ct
Frederick, MD 21733
Phone: (301) 774-8911
Fax: (301) 774-1903

Project:

**CLIFTON
RESIDENCE**

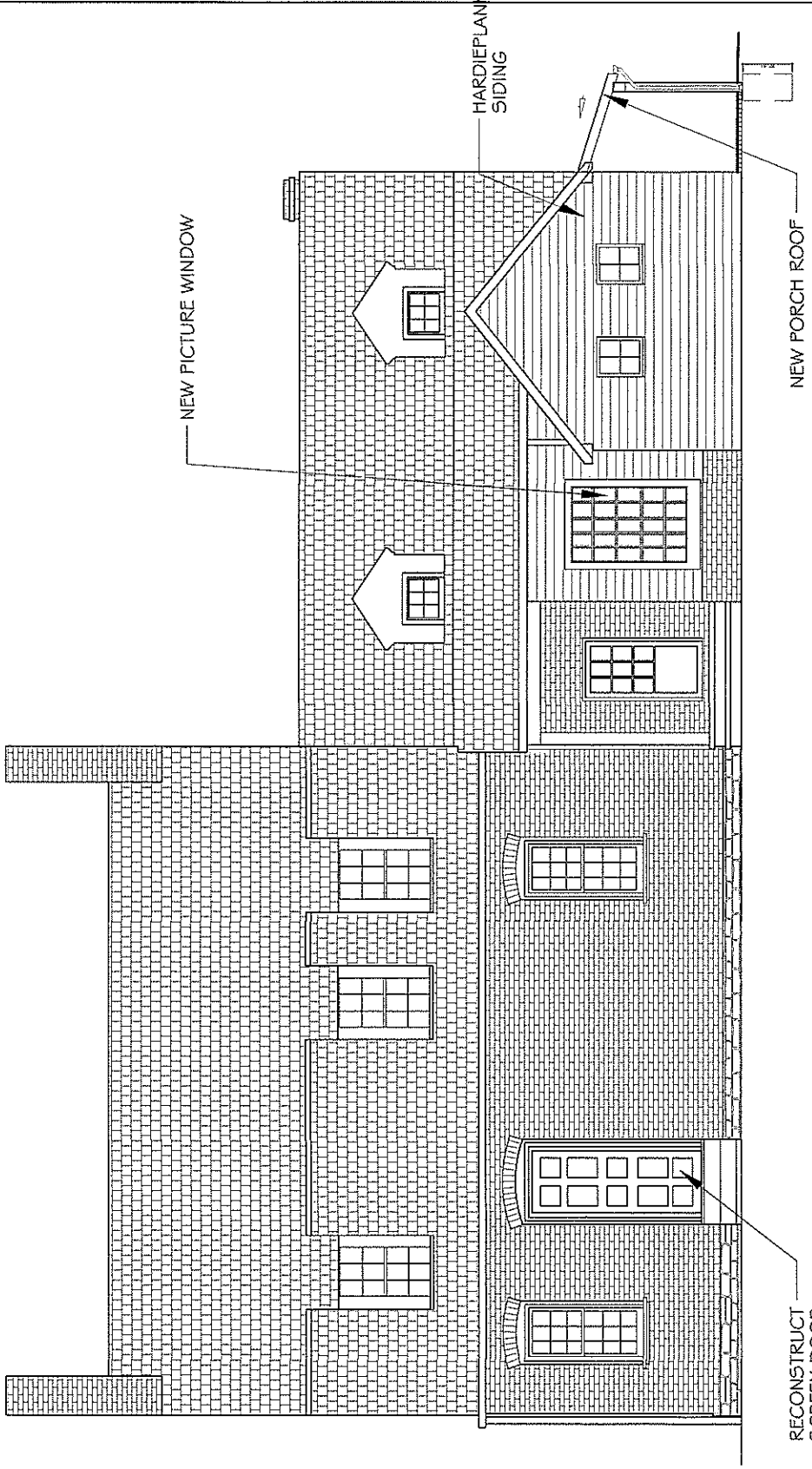
17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:
**EAST
ELEVATION-
OPTION B**

Dates:
06/01/2018

Scale: **3/16"=1'**

Sheet:
A22



NEW PICTURE WINDOW

HARDIE PLANK
SIDING

NEW PORCH ROOF

RECONSTRUCT
SCREEN DOOR

MICHE BOOZ

ARCHITECT
205 Market St
Baltimore
Maryland 21203
Tel: 410.528.1000
Fax: 410.528.1003

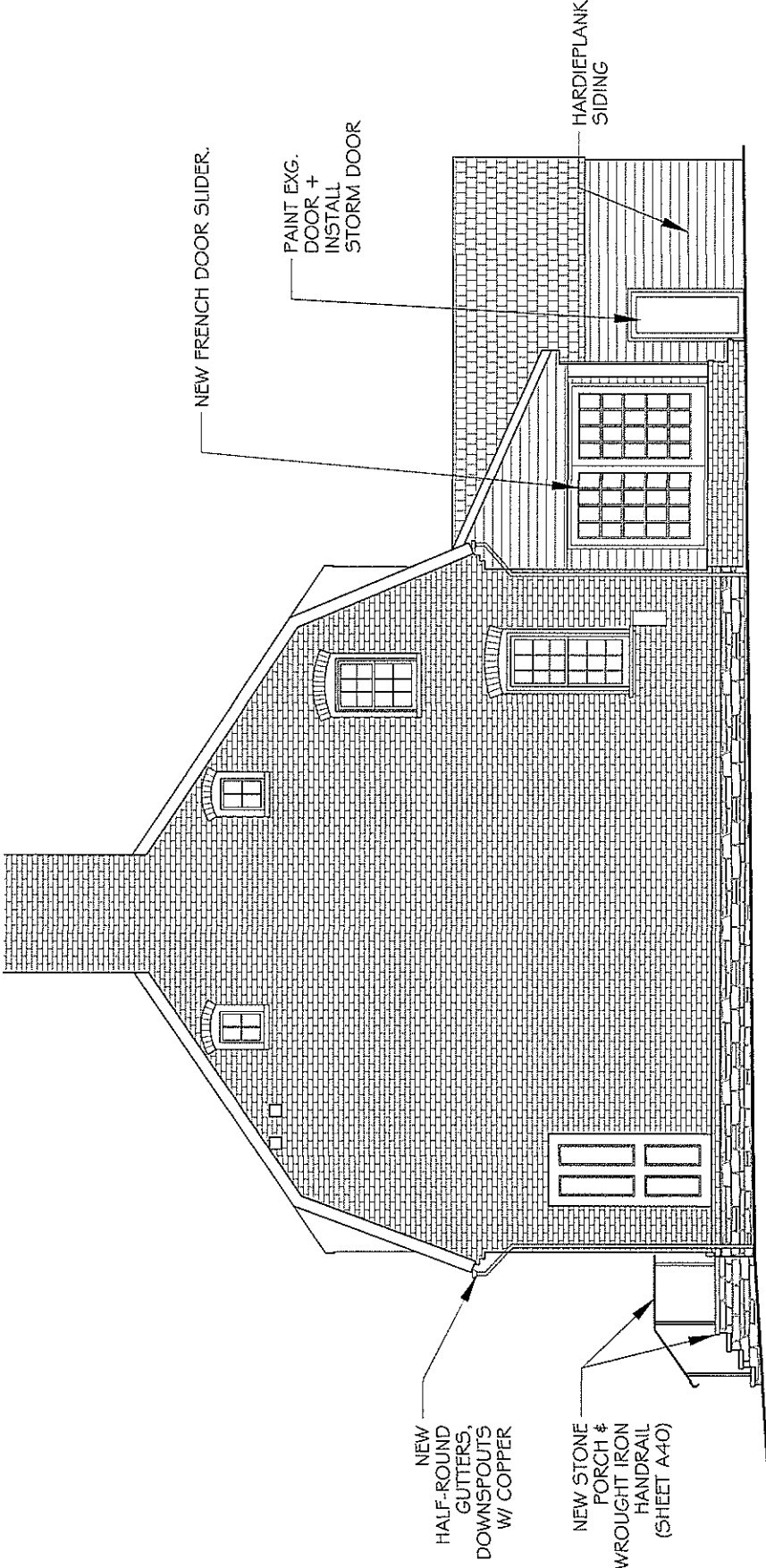
Project
**CLIFTON
RESIDENCE**
17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20851

Drawings:
**SOUTH
ELEVATION**

Dates:
04/23/2018

Scale: **3/16"=1'**

Sheet:
A23



MICHE BOOZ

ARCHITECT
300 Market St
Baltimore, MD 21201
(301)774-0311
Fax: 774-1900

Project:

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:

MAIN PORCH
PLANS

Dates:

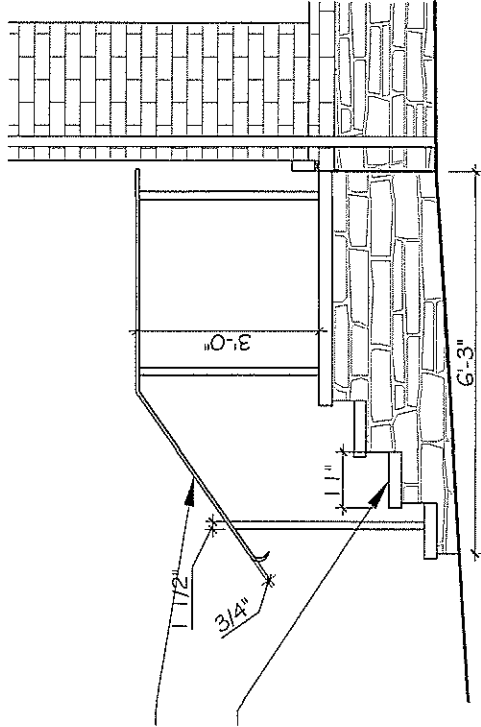
04/23/2018

Scale:

1/2" = 1'

Sheet:

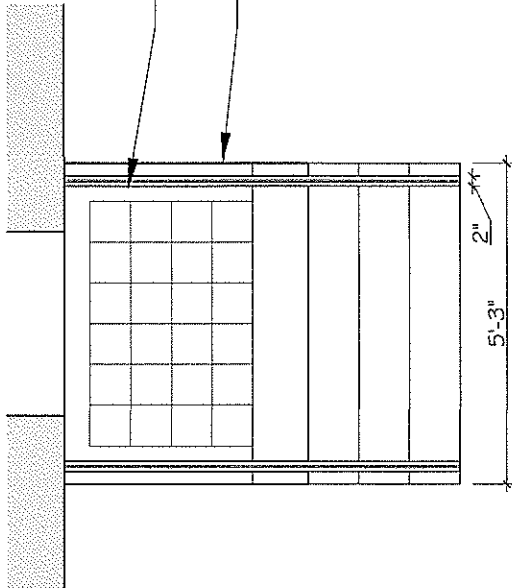
A40



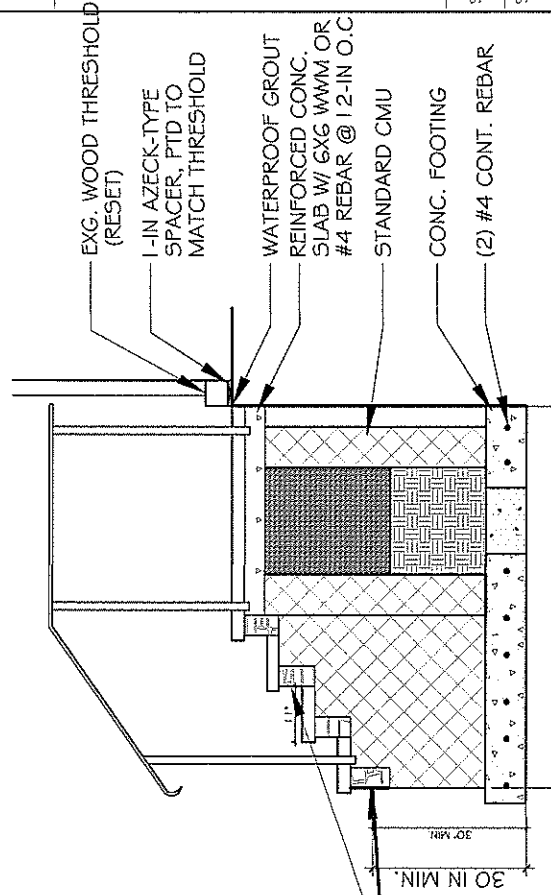
WROUGHT IRON RAILING,
CORE DRILLED.

2-IN THICK STONE
TREADS, SMOOTH TOP,
RUSTICATED SIDES.

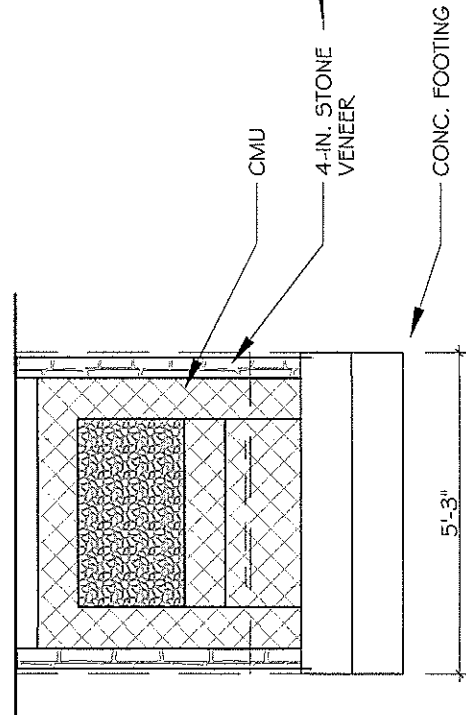
2 PORCH ELEVATION



1 PORCH PLAN



4 STRUCTURAL SECTION



3 FOUNDATION PLAN

MICHE BOOZ
ARCHITECT
208 MARKET ST
BOSTON, MA 02103
(617) 774 6811
Fax: 774 6968

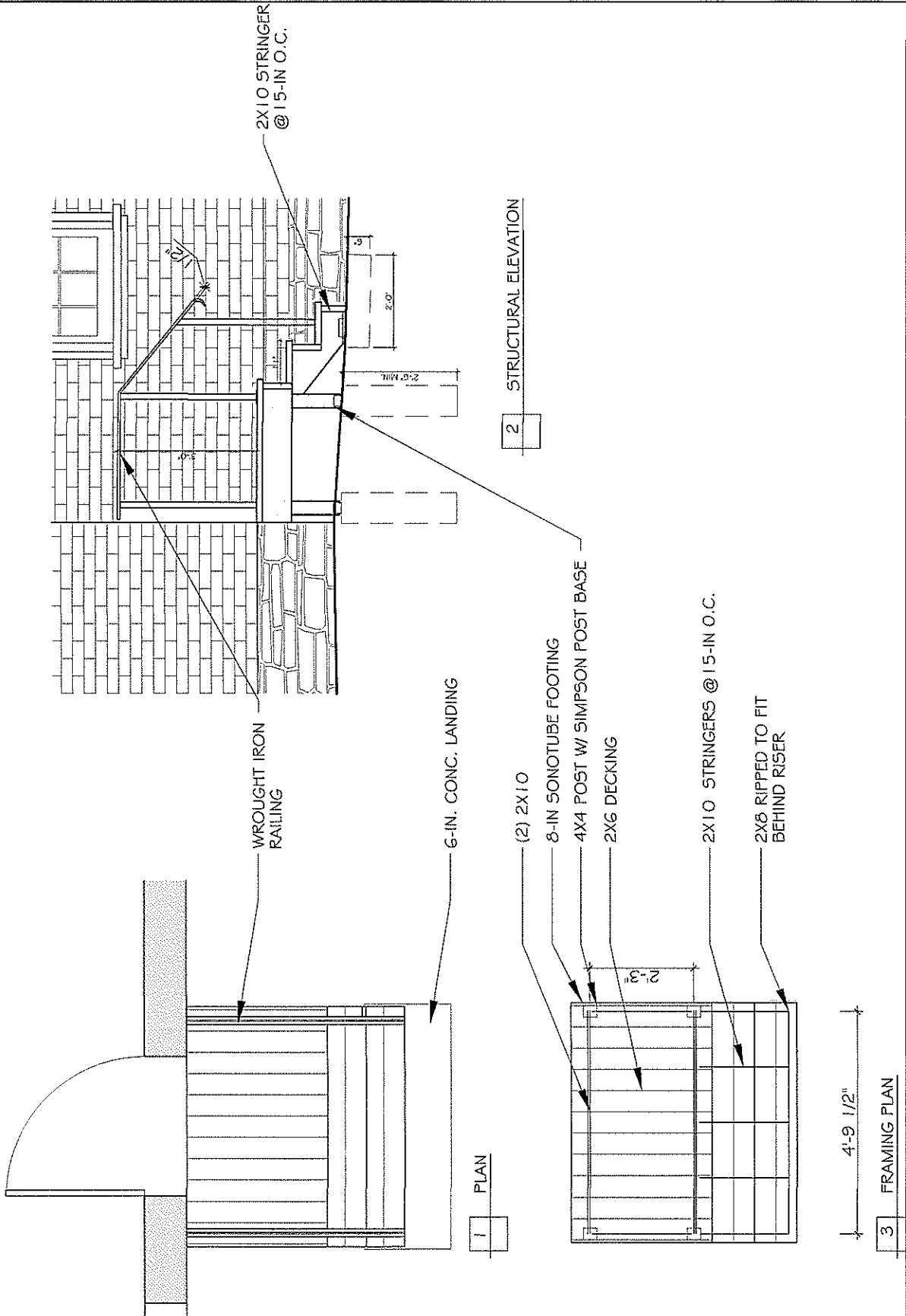
Project:
**CLIFTON
RESIDENCE**
17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:
**WOOD PORCH
PLAN**

Date:
04/23/2018

Scale:
1/2" = 1'

Sheet:
A41



MICHEL BOOZ

A R C H I T E C T
300 Mark St
Bethesda, MD 20833
(301)774-6911
fx: 774-1968

Project:

CLIFTON
RESIDENCE

17107 NEW HAMPSHIRE AVENUE
MONTGOMERY COUNTY, MD 20861

Drawings:

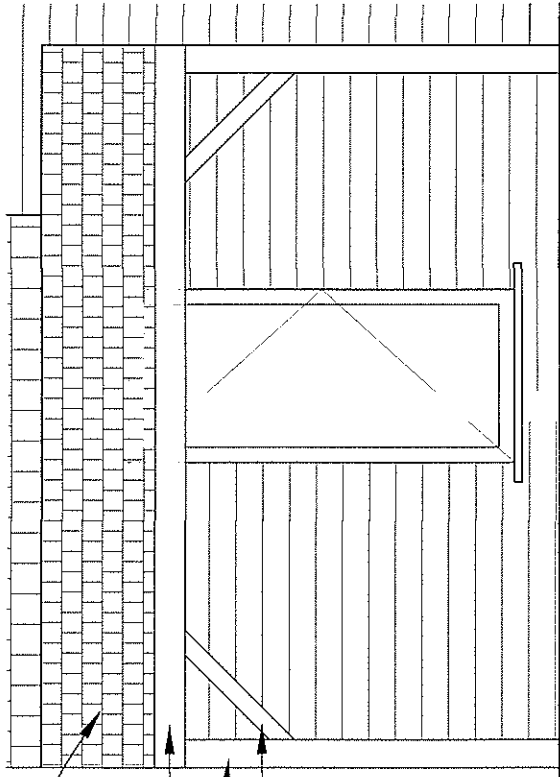
SIDE PORCH
PLANS

Notes:

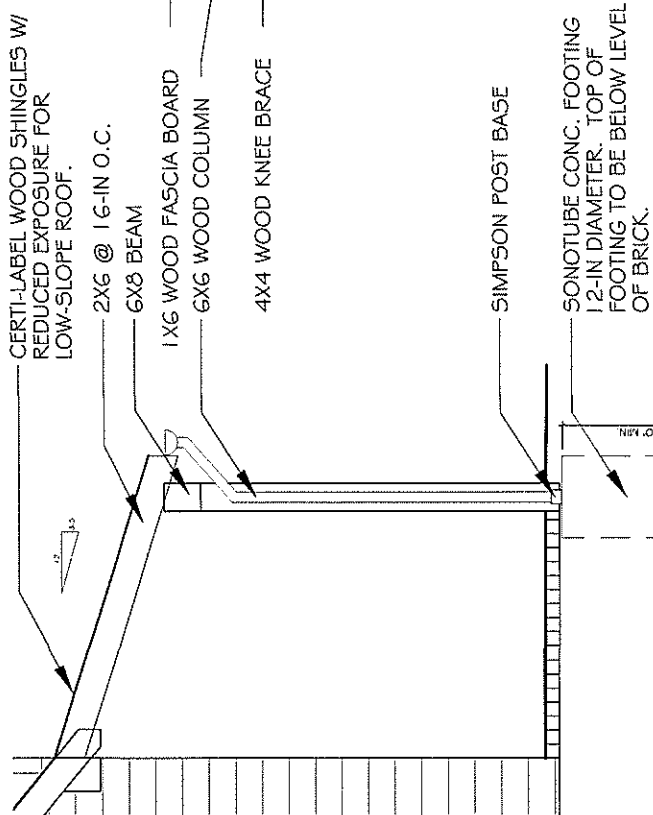
04/23/2018

Scale: 1/2" = 1"

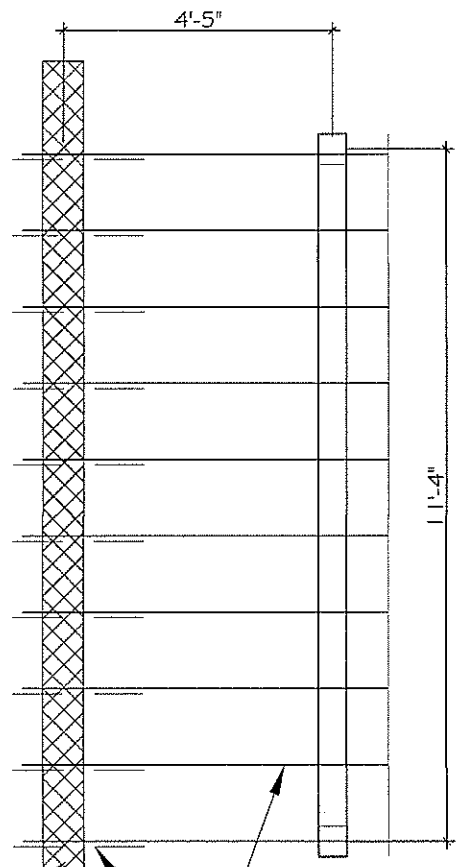
Sheet: A42



2 ELEVATION



3 STRUCTURAL SECTION



1 FRAMING PLAN