

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	37 W. Lenox., Chevy Chase	<b>Meeting Date:</b>	07/11/2018
<b>Resource:</b>	Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	07/05/2018
<b>Applicant:</b>	Jerome Powell and Elissa Leonard (Tanya Hill, Architect)	<b>Public Notice:</b>	06/27/2018
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	35/13-18T	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Retaining wall alterations		

**STAFF RECOMMENDATION:**

- Approve  
 Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village District  
**STYLE:** Craftsman  
**DATE:** c. 1892-1916

**PROPOSAL**

The applicants propose to alter an existing non-historic retaining wall, which was constructed c. 2009-2010. The existing retaining wall was constructed with two curved sections to accommodate two mature trees. The two mature trees have since died and been removed, and the applicants propose to straighten the wall, removing the two curves. The proposed alterations will be accomplished by tothing in a fieldstone veneer and fieldstone cap to match the existing. The overall height of the retaining wall will not change, as its highest point will still be 6'. The existing brick paver driveway will be infilled/repared as necessary to accommodate the removal of the two curved wall sections.

**APPLICABLE GUIDELINES:****Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

Sub. 6-17-18



DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Email: parter@arentzdc.com Contact Person: Tanya Hill  
Tax Account No.: 00458433 Daytime Phone No.: 301.775.4995  
Name of Property Owner: JEROME POWELL; ELISSA LEONARD Daytime Phone No.: 301.656.3760  
Address: 37 W. LENOX ST. CHEVY CHASE 20815  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

permits@pmc.com

LOCATION OF BUILDING/PREMISE

House Number: 37 Street: WEST LENOX  
Town/City: CHEVY CHASE Nearest Cross Street: MAGNOLIA PARKWAY  
Lot: UNAD Block: 42 Subdivision: 009 CHEVY CHASE VILLAGE  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: P591

10218

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  AC  Stab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Reze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 18,000  
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 8 feet 6 inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: \_\_\_\_\_ Date: 5.22.18

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

REMOVE & ALTER/EXTENT TWO (62V4)  
RETAINING WALLS BUILT IN 2009/2010  
ORIGINALLY BUILT TO AVOID TWO  
TREES WHICH HAVE SINCE DIED & BEEN  
REMOVED.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NO EFFECT. WALLS WERE BUILT 110  
YEARS AGO.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date; ✓
- b. dimensions of all existing and proposed structures; and ✓
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred. ✓

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work. ✓
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings. CONTINUE EXISTING "ELK RIVER" STONE.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

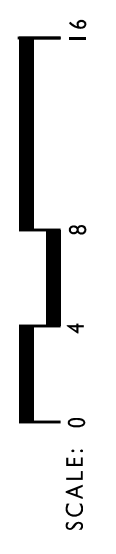
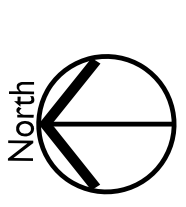
N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



STAGING NOTE: STAGING OF MATERIALS INCLUDING BUT NOT LIMITED TO BRICK, AND NECESSARY CONTRACTOR STORAGE MINIMIZED ON SITE. ALL MATERIAL STORED ON SITE SHALL BE COORDINATED WITH THE GARAGE AND USE OF THE GARAGE.

EXISTING MALL TO REMAIN UNLESS OTHERWISE INDICATED

DISTURBANCE OF EXISTING BRICK MAY OCCUR AND NECESSARY CONTRACTOR STORAGE DAMAGED BRICK REPAIR AND RESTORE ALL DISTURBED OR DAMAGED BRICK

CLEAR EXISTING BED IN PREPARATION FOR MALL EXCAVATION. CONTRACTOR SHALL COORDINATE WITH MATERIALS FOR REUSE.

FORMER LOCATION OF NORWAY MAPLE

REMOVE AND DISPOSE OF EXISTING STONE WALL. PRESERVE EXISTING FOOTER FOR REUSE ON WALL INFILL

PROTECT EXISTING BRICK DRIVE FOR FUTURE REUSE. COVER WITH DRIVEWAY CONSTRUCTION. COVER WITH DRIVEWAY STAGING AND CIRCULATION MATING OR APPROVED EQUAL

REMOVE AND DISPOSE OF EXISTING STONE WALL.

CLEAR EXISTING BED IN PREPARATION FOR GRADING. CONTRACTOR SHALL COORDINATE SALVAGE/TRANSPLANT OF EXISTING PLANT MATERIALS FOR REUSE.

FORMER LOCATION OF OAK TREE

EXISTING JAPANESE MAPLE TO BE REMOVED. CONTRACTOR SHALL COORDINATE FENCE OR APPROVED EQUAL FENCE

323.5

323.30

323.5

323.30

323.5

323.30

323.5

323.30

323.5

323.30

323.5

323.30

323.5

WEST LENOX STREET

322.19 @ INTERSECTION

TOP=321.92 CL INV 313.3

321.07

321.07

321.07

321.07

321.07

321.07

321.07

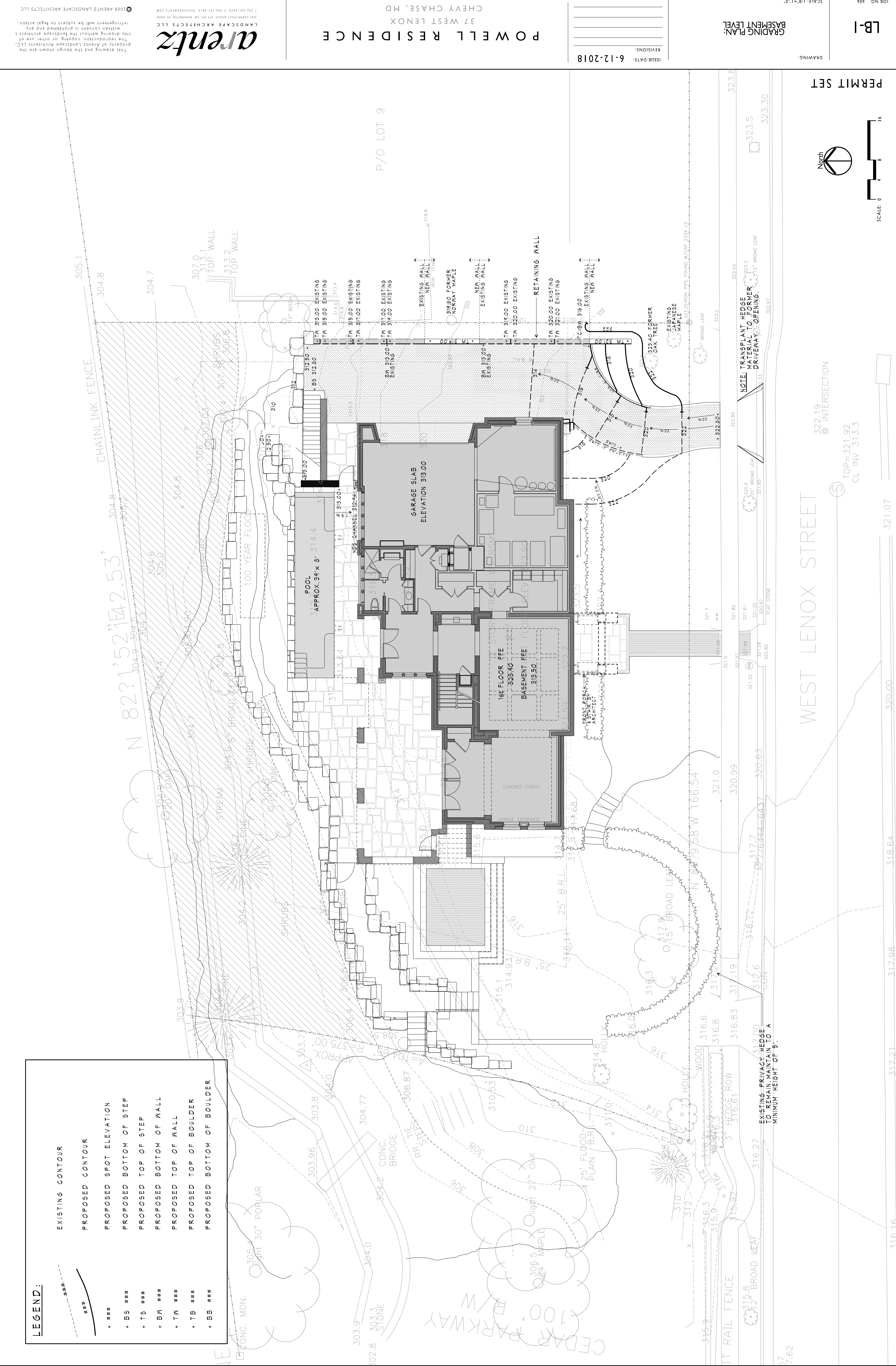
321.07

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**LEGEND:**

- ###--- EXISTING CONTOUR
- ###--- PROPOSED CONTOUR
- + ### PROPOSED SPOT ELEVATION
- + B5 ### PROPOSED BOTTOM OF STEP
- + T5 ### PROPOSED TOP OF STEP
- + BW ### PROPOSED BOTTOM OF WALL
- + TW ### PROPOSED TOP OF WALL
- + TB ### PROPOSED TOP OF BOULDER
- + BB ### PROPOSED BOTTOM OF BOULDER



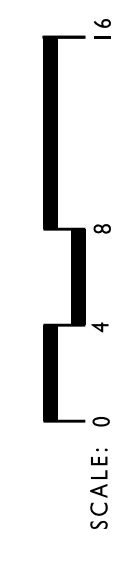
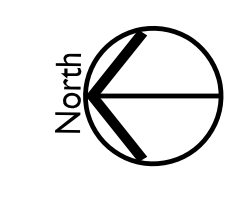
**arentz**  
 LANDSCAPE ARCHITECTS LLC  
 1401 CONSTRUCTION AVENUE, SUITE 101, WASHINGTON, DC 20004  
 (202) 371-1000 / (202) 371-1010 / www.arentz.com

**POWELL RESIDENCE**  
 37 WEST LENOX  
 CHEVY CHASE, MD

ISSUE DATE: 6-12-2018  
 REVISIONS:

GRADING PLAN:  
 BASEMENT LEVEL

SCALE: 1/8"=1'-0"  
 LB-1  
 JOB NO. 606



PERMIT SET

322.19  
 @ INTERSECTION  
 TOP=321.92  
 CL INV 313.3

WEST LENOX STREET

NOTE: TRANSPLANT HEDGE MATERIAL TO FORMER DRIVEWAY OPENING.

EXISTING PRIVACY HEDGE TO REMAIN MAINTAIN TO A MINIMUM HEIGHT OF 5'

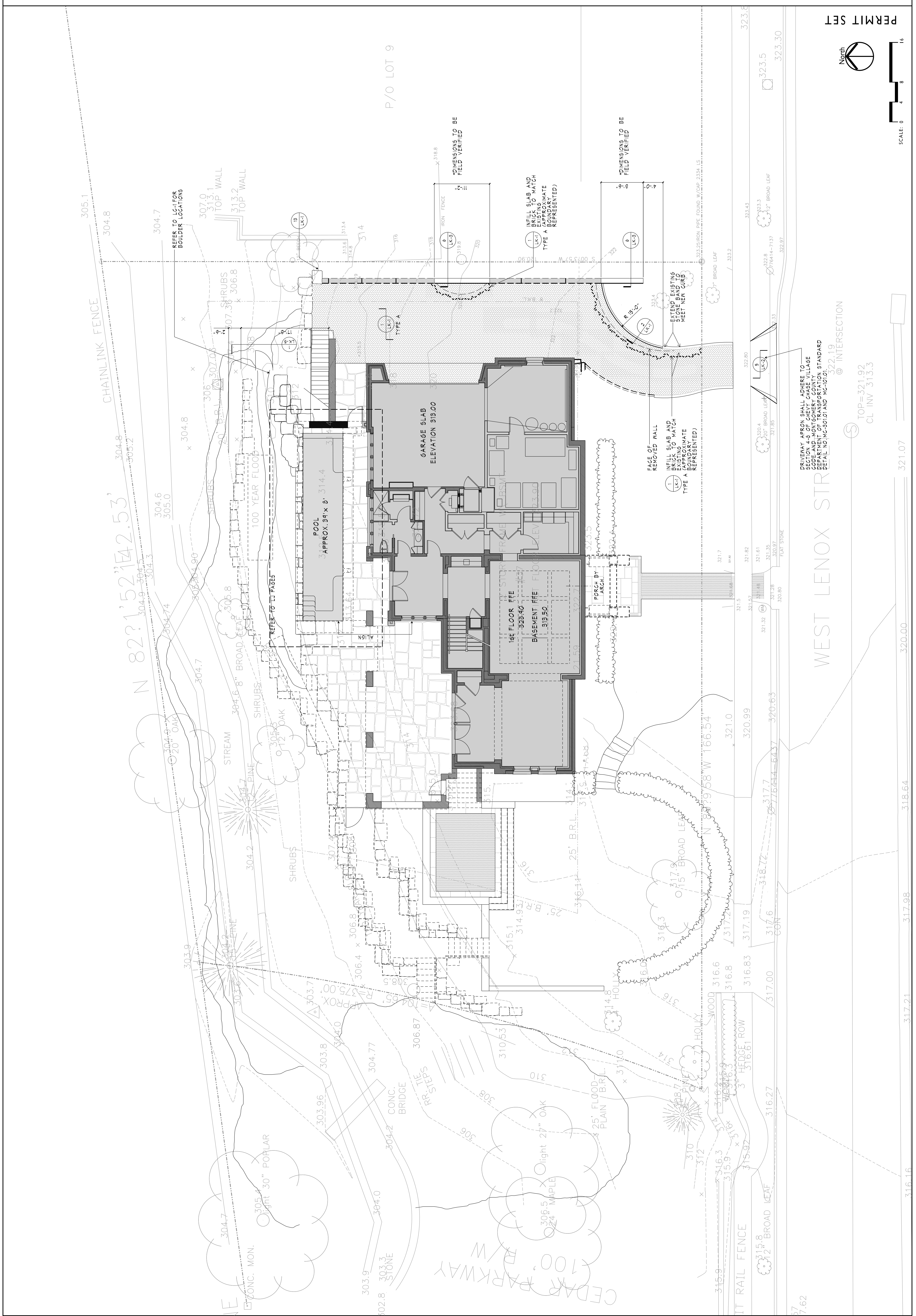
LAYOUT AND MATERIALS

ISSUE DATE: 6-12-2018  
REVISIONS:

POWELL RESIDENCE  
37 WEST LENOX  
CHEVY CHASE, MD



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EVERY PERSON SHALL ADHERE TO SECTION 4.01 OF THE ZONING CODE AND MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION STANDARD DETAIL NO. MC-S0101 AND MC-0101.  
322.19 @ INTERSECTION

TOP=321.92  
CL INV 313.3

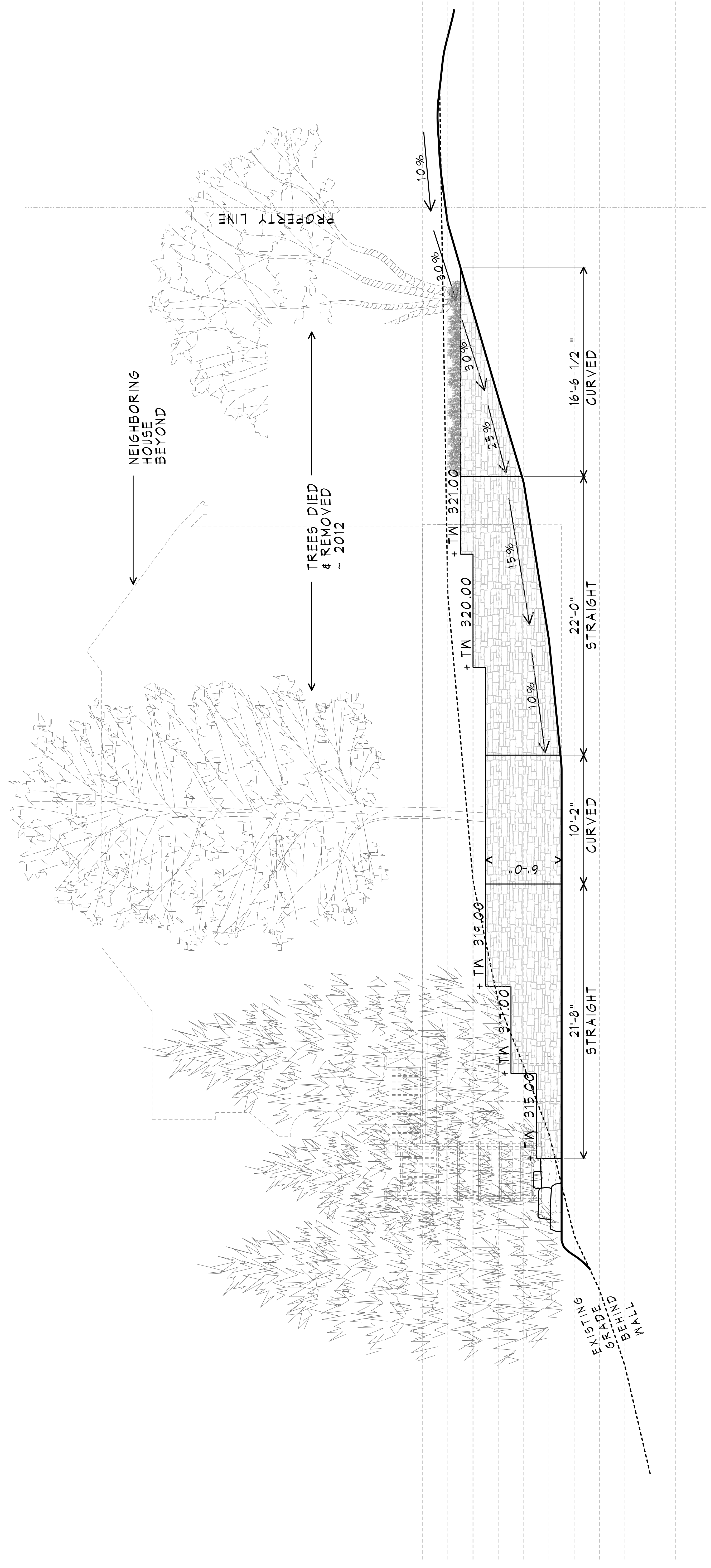
WEST LENOX STR

P/O LOT 9

CHAINLINK FENCE

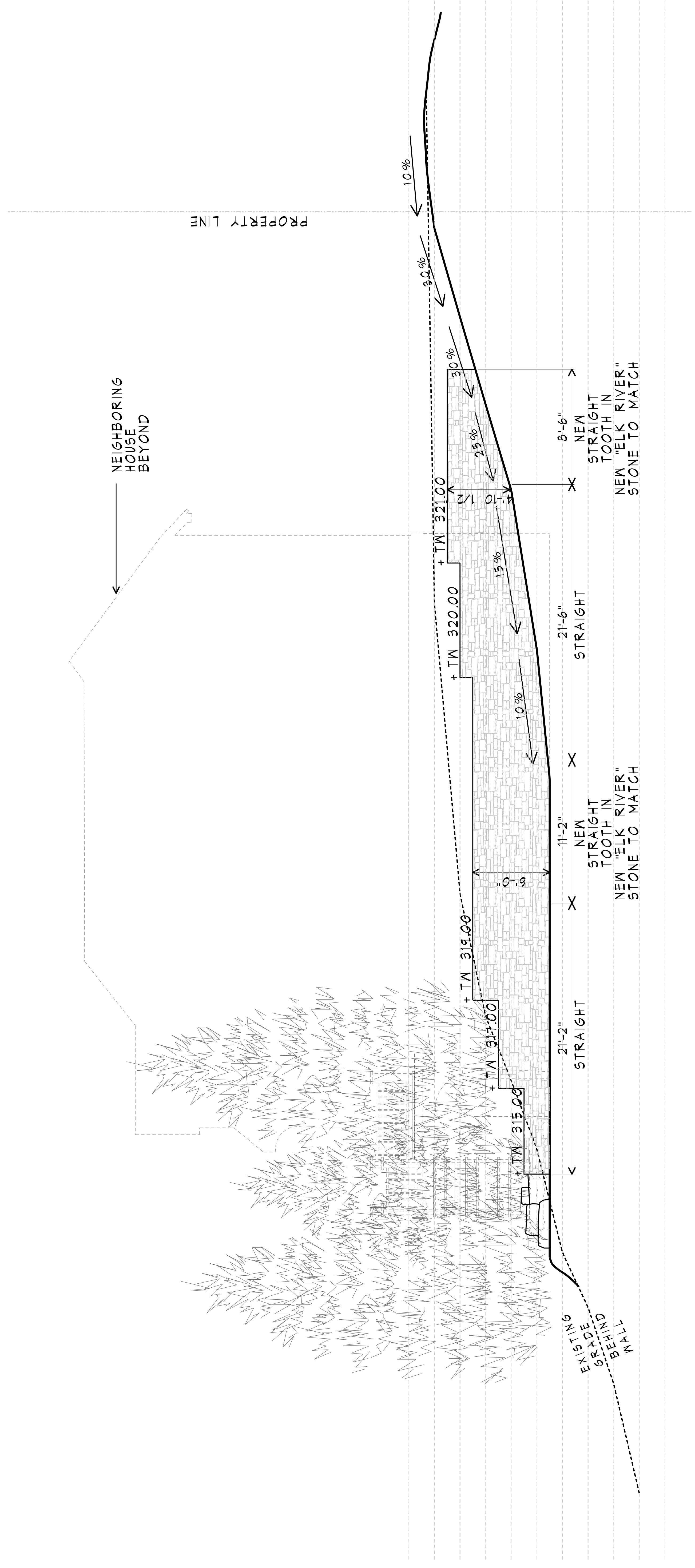
N 82° 1' 52" 142.53'

CEDRAR PARKWAY



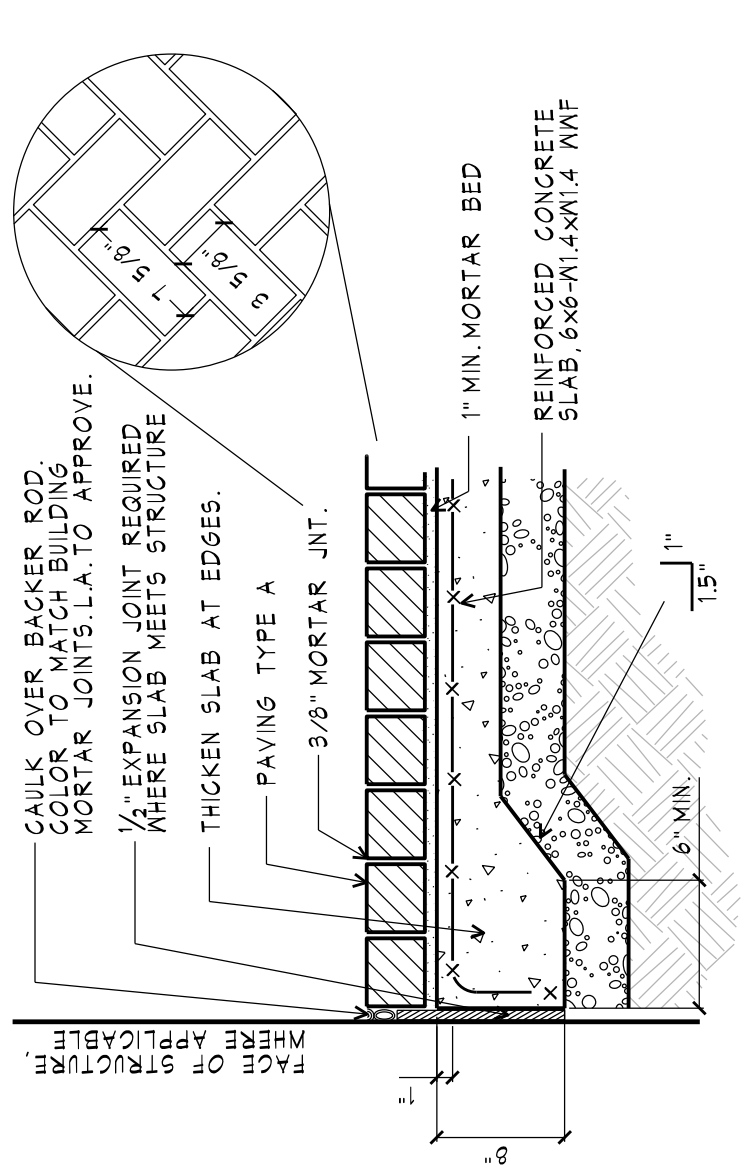
1 EXISTING DRIVEWAY RETAINING WALL ELEVATION  
SCALE: 1/4" = 1'-0"



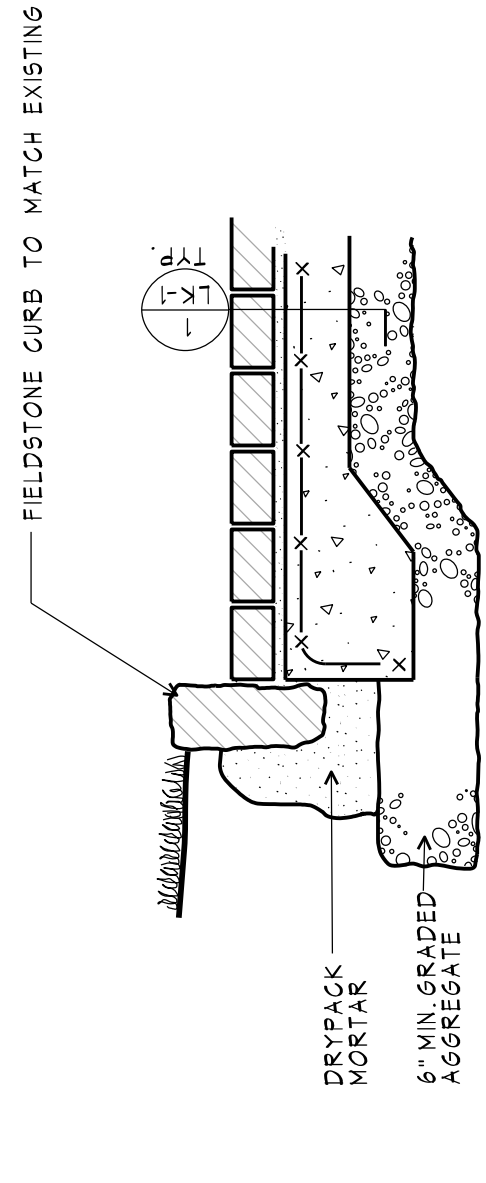


1 NEW DRIVEWAY RETAINING WALL ELEVATION  
SCALE: 1/4" = 1'-0"

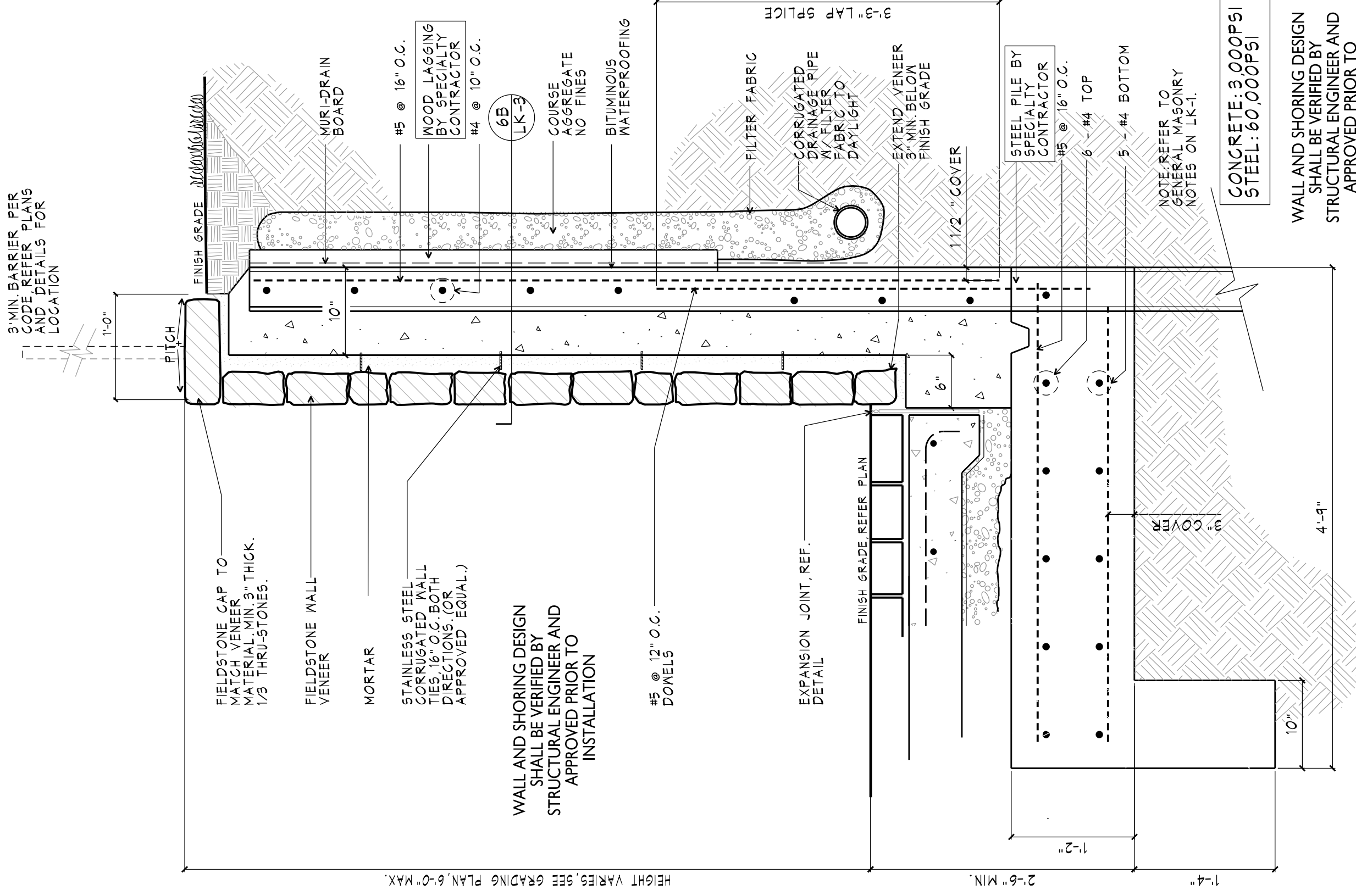
Paving Schedule	General Locations	Material	Size	Finish	Installation Description
Type A	Driveway Brick	Endicott Dark Brown Ironspot	2 1/4" x 3 5/8" x T 5/8"	Wire Cut	Refer to LK-1, Detail 1, on concrete slab.
Type B	Pedestrian Brick	Cushman Shenandoah 115	2 1/4" x 3 5/8" x T 5/8"	Sand Molded	Refer to LK-1, Detail 3, on concrete slab.
Type C	Pavement & Trends	Brick Hill Orchard Buff	2 1/4" thick, general dimensions vary, see plan	Diamond Saw	Refer to plan.
Type D	Lower Terrace	Preliminary Option: Elk River Flagstone final to be approved by LA	Varies	Natural	Refer to LK-1, Detail 2, on concrete slab.



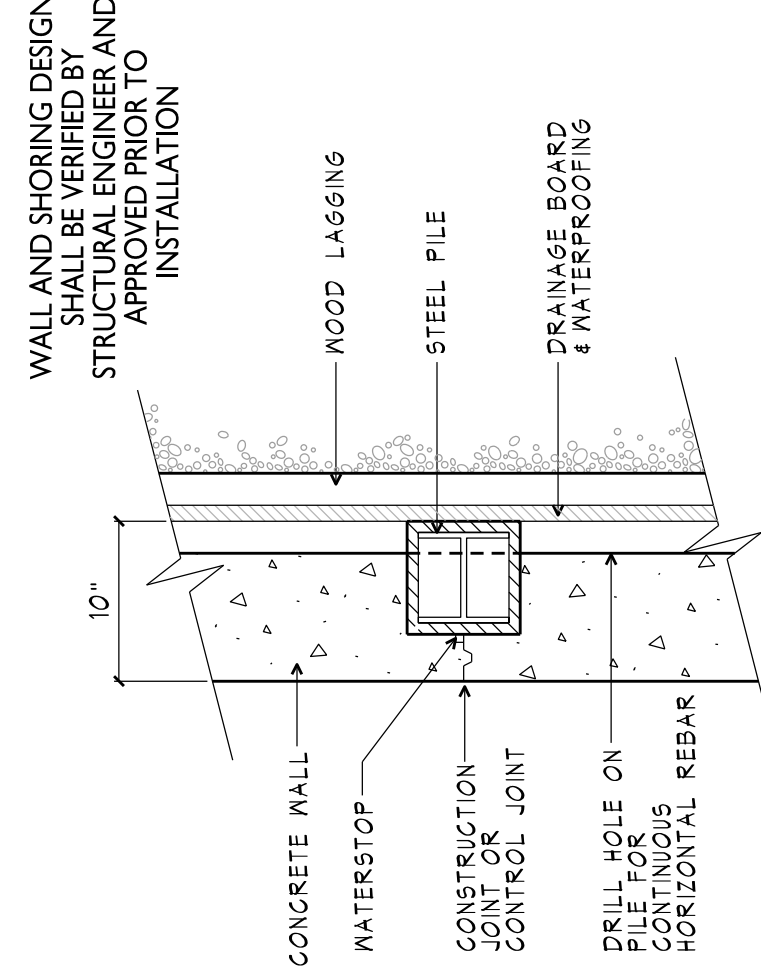
**1** VEHICULAR BRICK PAVING  
SCALE: 1/4"=1'-0"



**2** STONE CURB  
SCALE: 1/4"=1'-0"



**6** DRIVEWAY RETAINING WALL  
SCALE: 1/4"=1'-0"



**6B** DRIVEWAY RETAINING WALL: PLAN  
SCALE: 1/4"=1'-0"

**STRUCTURAL NOTES**

- GENERAL**  
THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE.
- EARTHWORK**  
A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED PROFESSIONAL ENGINEER EXERCISING IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.  
B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 12" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.  
C. ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS SHALL BE FREE FROM DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR LAYERS NOT TO EXCEED 6" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.  
D. STEP NEW FOOTINGS UP OR DOWN TO MATCH EXISTING AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS. DRILL AND PROVIDE MINIMUM 6" EMBEDMENT.  
E. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 15 PSF ASSUMING FREE DRAINING MATERIAL OR DRAINAGE BOARD BEHIND WALL WITH A PERMEATER DRAIN/TILE SYSTEM. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.
- SHEETING AND SHORING**  
A. SHEETING AND SHORING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR'S JURISDICTION SHALL BEGIN WITH THE SHEETING AND SHORING. DRAWINGS SHALL BE SUBMITTED FOR RECORD ONLY WITH THE SPECIALTY ENGINEER'S SEAL AND SIGNATURE.
- CONCRETE**  
A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH AC308. ENTIREMENTS: CONCRETE EXPOSED TO WEATHER TO BE AIR ENCASED.  
B. ALL REINFORCING STEEL TO MEET ASTM A618 GRADE 60 PLAIN FLAT AND SHOT FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR SUPPORT BARS AND CAGED REINFORCING. ALL REINFORCING SHALL BE SPLICED WITH C.R.S. 1 STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.  
C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING FOOTINGS (BOTTOM) 3" 11/2"  
D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE DOVELLS OF VERTICAL REINFORCING.  
E. MASONRY  
A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM C90. ALL CONCRETE MASONRY TO BE CONFORM TO ASTM C210 TYPE S.  
B. ALL VERTICAL REINFORCING SHALL BE GROUDED IN PLACE WITH TYPE S MORTAR OR PEA GRAVEL CONCRETE.  
C. PROVIDE DOVELLS FROM ALL FOOTINGS TO MASONRY WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

1018 ARENTZ LANDSCAPE ARCHITECTS LLC  
1702 371 1030 / 702 371 1030 / 1030 371 1030  
LANDSCAPE ARCHITECTS LLC  
PROPERTY OF ARENTZ LANDSCAPE ARCHITECTS LLC  
THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF ARENTZ LANDSCAPE ARCHITECTS LLC. WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

POWELL RESIDENCE  
37 WEST LENOX  
CHEVY CHASE, MD

ISSUE DATE: 6-12-2018  
REVISIONS:

DETAILS  
DRAWING:  
SCALE: AS SHOWN

LK-3  
JOB NO. 606

PERMIT SET

Existing Property Condition Photographs (duplicate as needed)



Detail: View of 37 West Lenox Street residence from Manolia Parkway.



Detail: View of residence and driveway. Wall outlined in red to be removed. Landscape will be graded to match driveway slope.

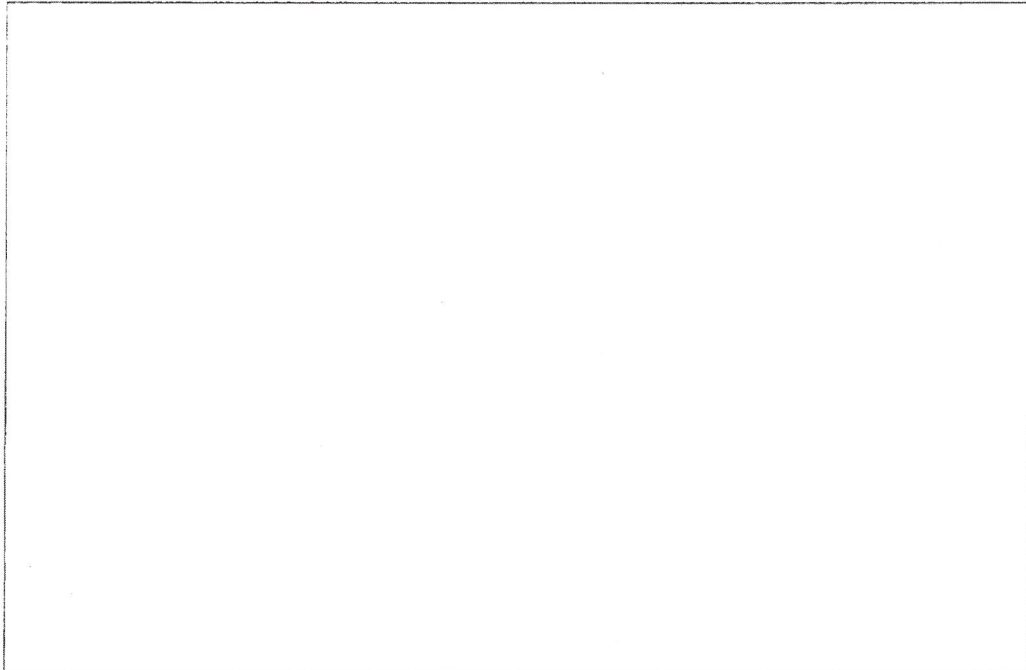
Applicant: \_\_\_\_\_

Page: \_\_\_\_\_

Existing Property Condition Photographs (duplicate as needed)



Detail: View of driveway and retaining wall. Wall highlighted in red at top of driveway to be removed. Wall highlighted in red at bottom of driveway to be straightened.



Detail: \_\_\_\_\_

Applicant: \_\_\_\_\_

Page: \_\_\_\_\_

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  JEROME &amp; ELISSA POWELL                  37 W LENOX ST.                  CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b>                  ARONITZ LANDSCAPE ARCHITECTS                  c/o PATRICK C. CARTER, AIA                  1612 20TH ST., NW #400                  WASHINGTON, DC 20009</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>BRIAN W. SMITH                  35 W. LENOX ST.                  CHEVY CHASE, MD. 20815                  (EAST NEIGHBOR)</p>	<p>VILLAGE OF CHEVY CHASE /                  MONTGOMERY COUNTY                  PUBLIC RIGHT-OF-WAY                  (WEST NEIGHBOR)</p>
<p>NO CONFRONTING HOMES...                  ONLY SIDES OF RESIDENCES                  ARE ACROSS THE STREET</p>	