

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23 Primrose St., Chevy Chase	Meeting Date:	7/11/18
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	7/5/18
Applicant:	Elizabeth McGrann	Public Notice:	6/27/18
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-18R	Staff:	Dan Bruechert
Proposal:	Window well and bay window construction, fence alteration.		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: c.1916-1927

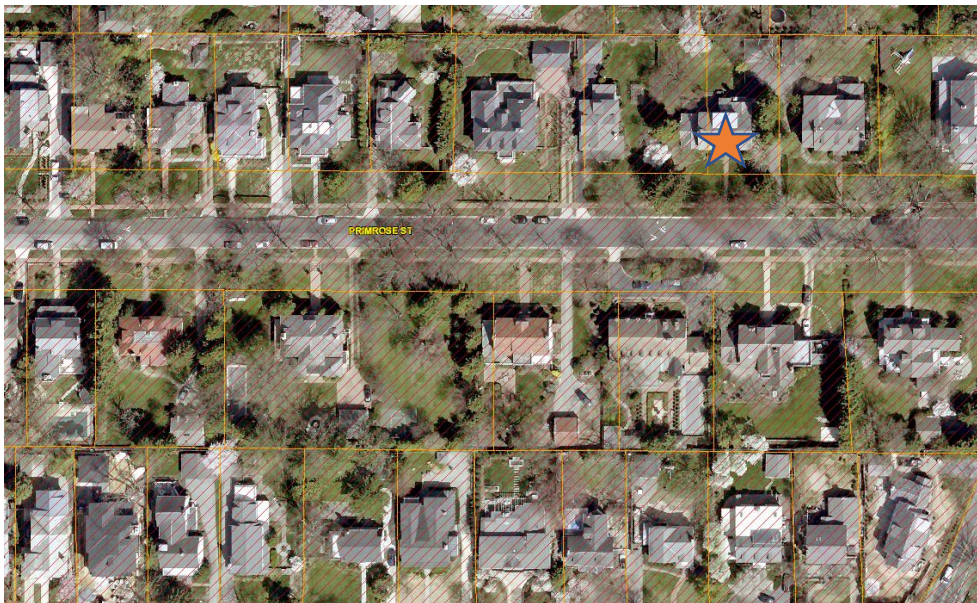


Figure 1: 23 Primrose St., located mid-block in the Chevy Chase Village Historic District



Figure 2: Front elevation of 23 Primrose St.

PROPOSAL:

The applicant proposes to construct a new window well, construct a bay window.

APPLICABLE GUIDELINES

When reviewing alterations and additions or new construction within the Chevy Chase Village Historic District, decisions are guided by the Chevy Chase Village Historic District Design Guidelines (Design Guidelines), Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior’s Standards for Rehabilitation.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides

issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

HAWP applications for exterior alterations, changes, and/or additions to non-contributing/out-of-period resources should receive the most lenient level of review. Most alterations and additions should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
 - Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Exterior trim on Outstanding resources should be subject to strict scrutiny if it is visible from the public right-of-way.
 - Fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
 - Gutters are not currently subject to review and should not be reviewed.
 - Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
 - Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated
 - Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.
- The *Guidelines* state five basic policies that should be adhered to, including:
 - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
 - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.

- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8(b)

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes work in several areas of the house, but the work under consideration for this HAWP consists of the construction of a window well on the east elevation, porch repairs, and the construction of a bay window on the north (rear) elevation, and the relocation of a gate to the right of the house. Work to be undertaken, but not subject to HPC review and approval consists of excavating and lowering the basement level and removing the gutters from the front porch. All of the work appears to comply with the required guidance and Staff supports approval of this HAWP.

Window Well

Currently, on the east elevation, under the bay window there are three narrow, fixed windows. The applicant proposes replacing these windows, covering the existing opening with a piece of flat trim board, and constructing a 4' × 7' (four feet by seven feet) window well in its place. The only portion of the proposed window well that will be visible is the bluestone cap surrounding it. There will be a metal grate covering the window well that will be flush with the cap. The

window well wall will be concrete. The applicant proposes installing a pair of double-hung six-over-one wood sash windows to provide egress from the basement. Window wells do not fit neatly into any of the categories identified in the *Design Guidelines*, however, the installation of this feature will have a minimal impact on the house when viewed from public right-of-way and to the surrounding district. Additionally, the materials of the cap and windows are appropriate for the character of the house and surrounding district. This is not a substantial alteration of the features of the house and meets the requirement of 24A-8(b)(1). Staff supports approval of the proposed window well.



Figure 3: The proposed window well will be installed below the existing bay window.

Porch Repairs

The applicant proposes to remove the brick cladding on the porch, remove the non-historic gutter and drain, and to replace the existing columns. The existing brickwork on the front porch is not historic and does not fully cover the masonry of the porch. Its removal will not detract from the historic character or features of the historic house. The porch gutters and downspout do not appear to be historic features. Even if the gutters on the porch are historic, the *Design Guidelines* state that gutters are not subject to review, so they may be removed or retained as desired by the applicant. The applicant also proposes to replace the existing wood Doric columns in-kind. As this is an in-kind repair, it is not subject to HPC review.



Figure 4: the front porch brick cladding and steps are non-historic alterations.

The applicant proposes to re-clad the front porch and step in bluestone and construct a new bluestone block landing. While this is not a masonry material that would have been used at the building's construction date, it is a solid masonry material which is appropriate for the front porch and is compatible with the surrounding district and Staff supports its approval. The porch is an altered feature that has lost some of its historic integrity. The change in material is appropriate under Standard 9 while maintaining the historic character per Standard 2.

Bay Window Installation

To the rear of the house is a large Chicago-type window on the first floor. The applicant proposes to remove this window and install a much larger bay window with central wooden French doors flanked by wood double-hung windows. The new bay assembly will be topped by standing seam roof painted white to match the non-historic single-story addition.

Staff supports the removal of the Chicago-type window, as it is not a historic feature of the house and is on the rear of the building, and window and door alterations are subject to lenient scrutiny on the rear within the Chevy Chase Village Historic District. The proposed bay will not be visible from the public right-of-way, as it is in the rear of the house. Additionally, is not visible through the rear yard from Quincy St. The size and scale of the bay are compatible with the house and are in appropriate materials for the house and surrounding district. Staff supports

approval of the proposed bay window.



Figure 5: The bay window will be installed in the location of the window circled above.

The three elements of this HAWP will have a minimal visual impact on the house and surrounding district and Staff supports approval.

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Mikce@overmyerarchitects.com Contact Person: Mike Egnor
Daytime Phone No.: 202-333-5596 x103

Tax Account No.: _____
Name of Property Owner: ELIZABETH McGRANN Daytime Phone No.: 847-363-1310
Address: 23 PRIMROSE CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor: PETERSON + COLLINS INC Phone No.: 202-234-4500
Contractor Registration No.: _____
Agent for Owner: TED PETERSON Daytime Phone No.: 202-234-4500

LOCATION OF BUILDING/PREMISE

House Number: 23 Street: PRIMROSE ST.
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD
Lot: P16 Block: 5B Subdivision: 009
Liber: _____ Folio: _____ Parcel: _____

628178

PART ONE: TYPE OF PERMIT/ACTION/ARTICLE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: UNDER PINNING
1B. Construction cost estimate: \$ 20,000 BAY WINDOW + WINDOW WELL
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 06/11/18
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING 3 STORY + BASEMENT TRADITIONAL SINGLE
FAMILY HOME BUILT IN 1911. EXISTING PORTICO ON WEST
FACADE W/ BRICK CLAD NOT ORIGINAL.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THIS HOME IS LOCATED IN THE HISTORIC DISTRICT OF
CHEW CHASE VILLAGE. INTERIOR WORK INCLUDES UNDERPINNING
HOME TO LOWER BASEMENT SLAB 18". EXTERIOR WORK INCLUDES
NEW WINDOW WELL AT SOUTH OF PORCH, NEW BAY WINDOW ON
EAST FACADE, AND REPAIR + ALTERATIONS TO PORTICO ON WEST FACADE.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address 23 Primrose St. Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address 3213 P St. NW Washington, DC 20007</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Josepha Faley 25 Primrose St. Chevy Chase, MD 20815</p>	<p>Robert Toth 21 Primrose St. Chevy Chase, MD 20815</p>
<p>Robert Stillman 22 Primrose St. Chevy Chase, MD 20815</p>	<p>Shamrock Property Trust Agreement 28 Primrose St. Chevy Chase, MD 20815</p>
<p>Bruce Baschuk 36 Primrose St. Chevy Chase, MD 20815</p>	

CHEVY CHASE VILLAGE

ESTABLISHED 1890

Municipality Letter for Proposed Construction Project

Subject Property: 23 Primrose Street, Chevy Chase, MD 20815
Property Owner: Elizabeth McGrann
Project Manager/Contractor: Dale Overmyer, Architect
Proposed Work: Exterior work to include: - window well addition on the south facade of house - repair existing portico - remove brick clad on stairs and return to stone finish, with blue stone pavers, construct new bay window. Interior work to include: - underpinning of house - lower basement slab 19" - new electrical layout in basement - lower window sill at new window well location

6/6/2018

Diane R. Schwartz Jones, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

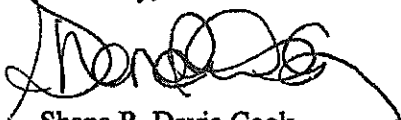
Dear Ms. Jones,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,



Shana R. Davis-Cook
Chevy Chase Village Manager

CHEVY CHASE VILLAGE
5906 Connecticut Avenue
Chevy Chase, Maryland 20815
Phone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov
www.chevychasevillagemd.gov

BOARD OF MANAGERS

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Chair
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Secretary
MINH LE
Assistant Secretary

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Assistant Treasurer
RICHARD M. RUDA
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VILLAGE MANAGER
SHANA R. DAVIS-COOK
LEGAL COUNSEL
SUELLEN M. FERGUSON

MCGRANN RESIDENCE

23 PRIMROSE STREET
CHEVY CHASE, MD 20815

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DRAWING REVISIONS

Empty space for drawing revisions

RENOVATION TO THE
McGRANN
RESIDENCE
23 PRIMROSE STREET
CHEVY CHASE, MD 20815
LOT: P16 BLOCK: 58

COVER SHEET
C001
DATE: 06-11-2018

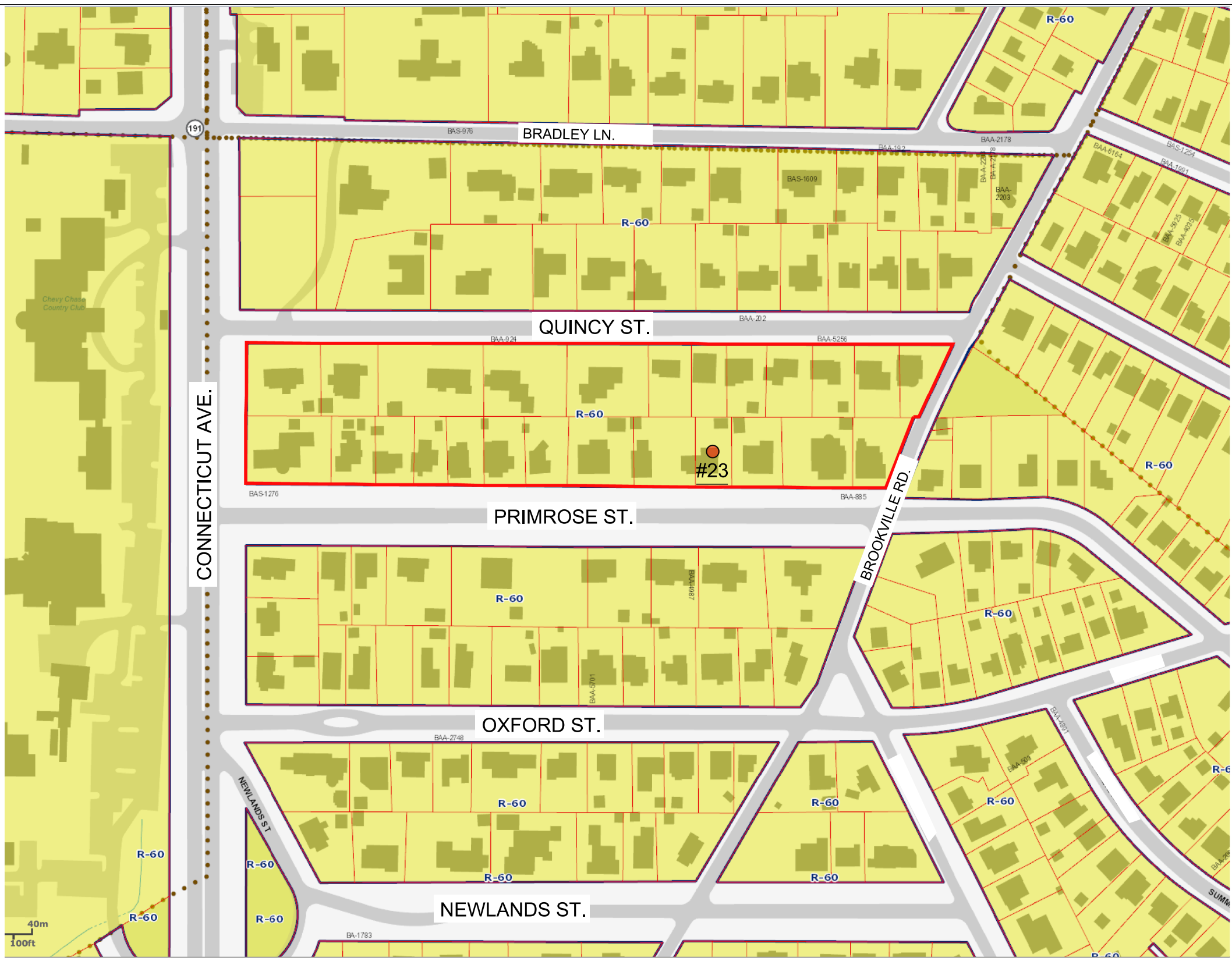
APPLICABLE CODES

- 2014 NFPA 70 NATIONAL ELECTRICAL CODE
- 2015 ICC ENERGY CONSERVATION CODE
- WSSC PLUMBING CODE
- 2015 ICC INTERNATIONAL RESIDENTIAL CODE
- 2013 MBRC MARYLAND BUILDING REHABILITATION CODE

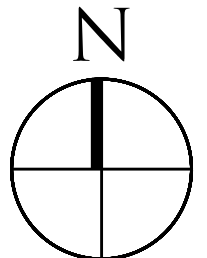
PROJECT SCOPE

- EXTERIOR WORK TO INCLUDE:
- WINDOW WELL ADDITION ON THE SOUTH FACADE OF HOUSE
 - REPAIR EXISTING PROTICO
 - REMOVE BRICK CLAD ON STAIRS AND RETURN TO STONE FINISH, WITH BLUE STONE PAVERS
 - ADD BAY WINDOW TO REAR OF BUILDING
- INTERIOR WORK TO INCLUDE:
- UNDERPINNING OF HOUSE
 - LOWER BASEMENT SLAB 19"
 - NEW ELECTRICAL LAYOUT IN BASEMENT
 - LOWER WINDOW SILL AT NEW WINDOW WELL LOCATION

VICINITY PLAN



SCALE: NOT TO SCALE



DRAWING INDEX

- COVER SHEETS
- C001 COVER SHEET
- ARCHITECTURAL
- A000 SITE PLANS
 - A001 BASEMENT PLAN & SECT
 - A002 WEST ELEV & DETAILS
 - A003 SOUTH ELEV & DETAILS
 - A004 EAST ELEV & DETAILS
- STRUCTURAL
- S001 BASEMENT STRUCTURE
 - S002 BAY WINDOW STRUCTURE
- ELECTRICAL
- E001 BASEMENT ELECTRICAL

EXISTING PHOTOGRAPHS



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DRAWING REVISIONS

GENERAL NOTES

1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED
2. ALL WALLS TO BE 2X4 STUDS UNLESS NOTED
3. REMOVE ALL RADIATORS AND PIPES THROUGHOUT HOUSE
4. SEAL ALL HOLES AROUND PERIMETER OF HOUSE FOR RODENT/PEST PROTECTION.

RENOVATION TO THE
McGRANN RESIDENCE

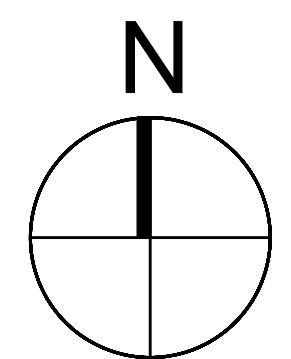
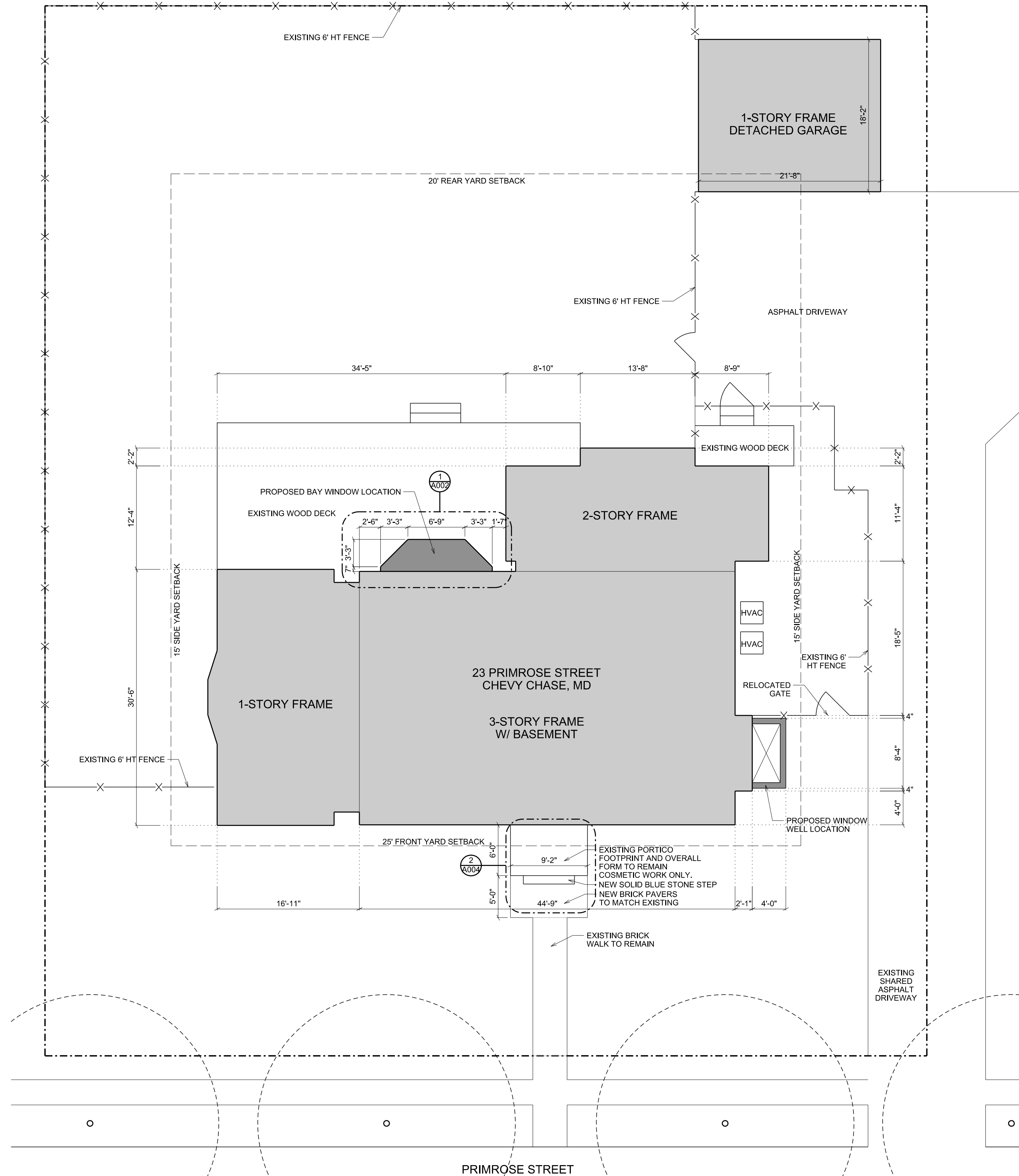
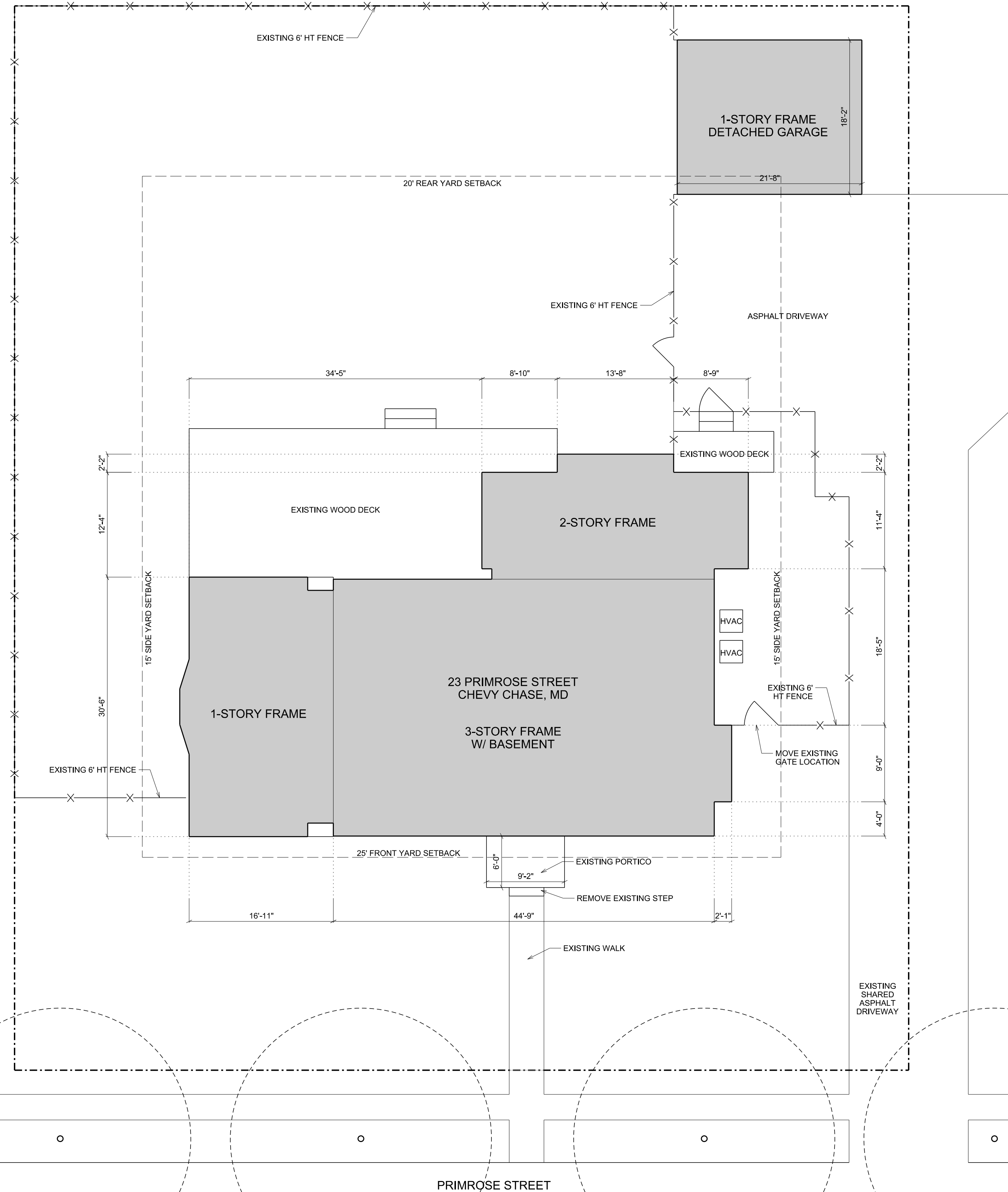
23 PRIMROSE STREET
CHEVY CHASE, MD 20815

LOT: P16 BLOCK: 58

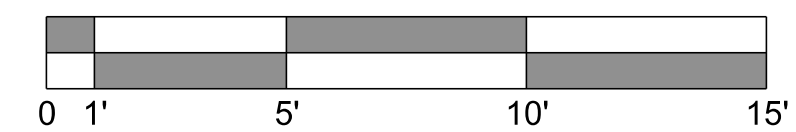
SITE PLANS

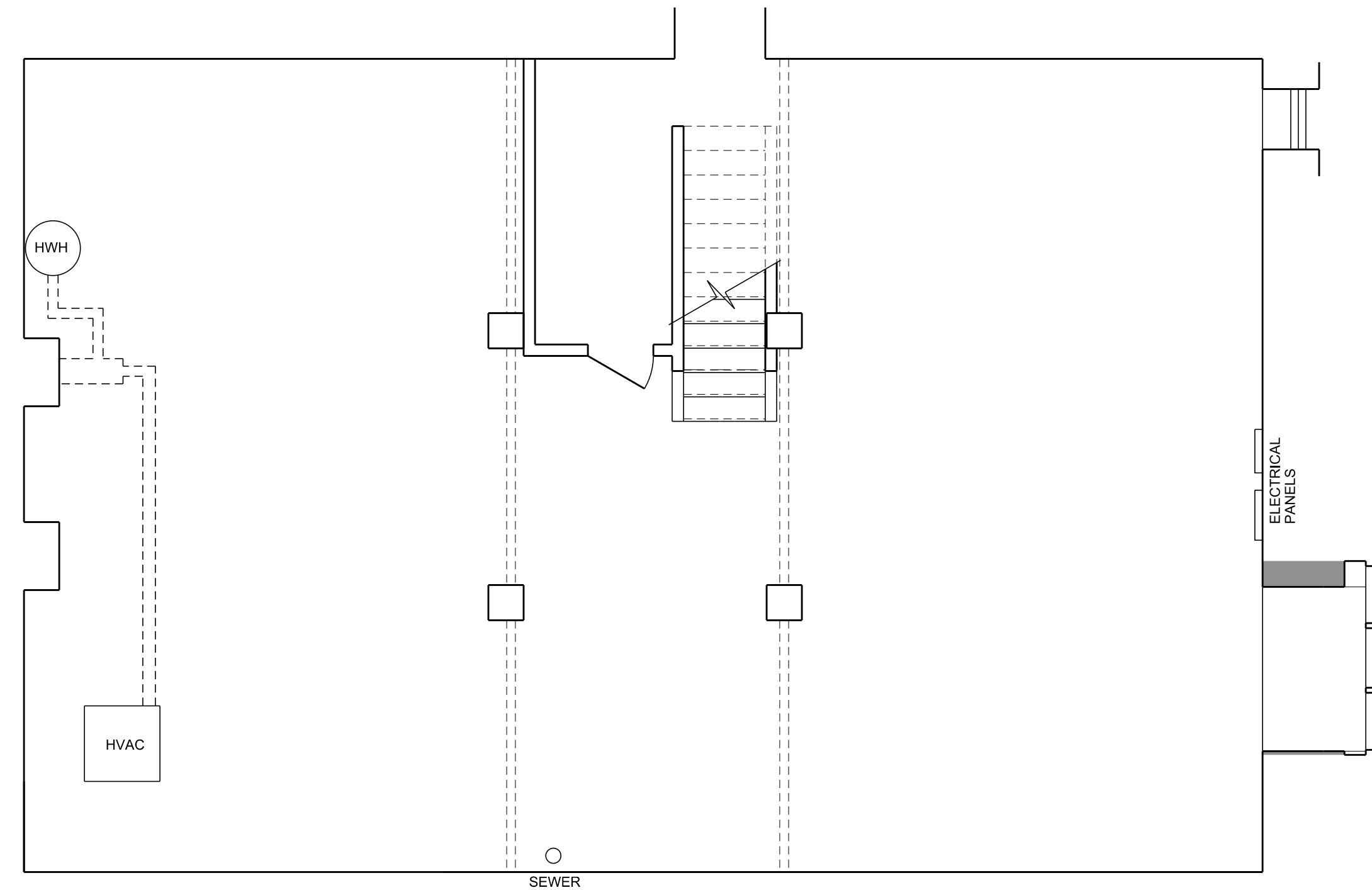
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DATE: 06-11-2018

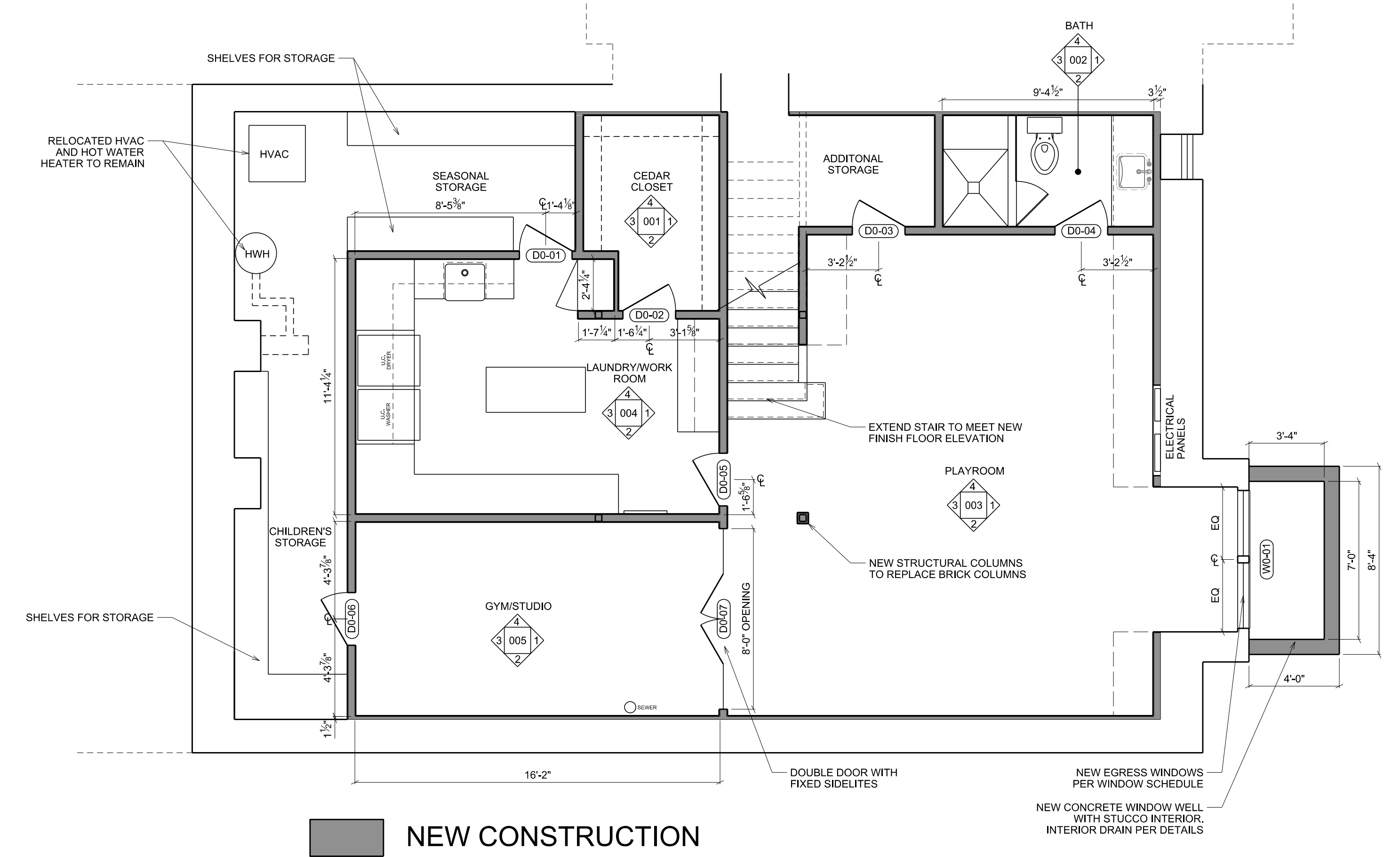


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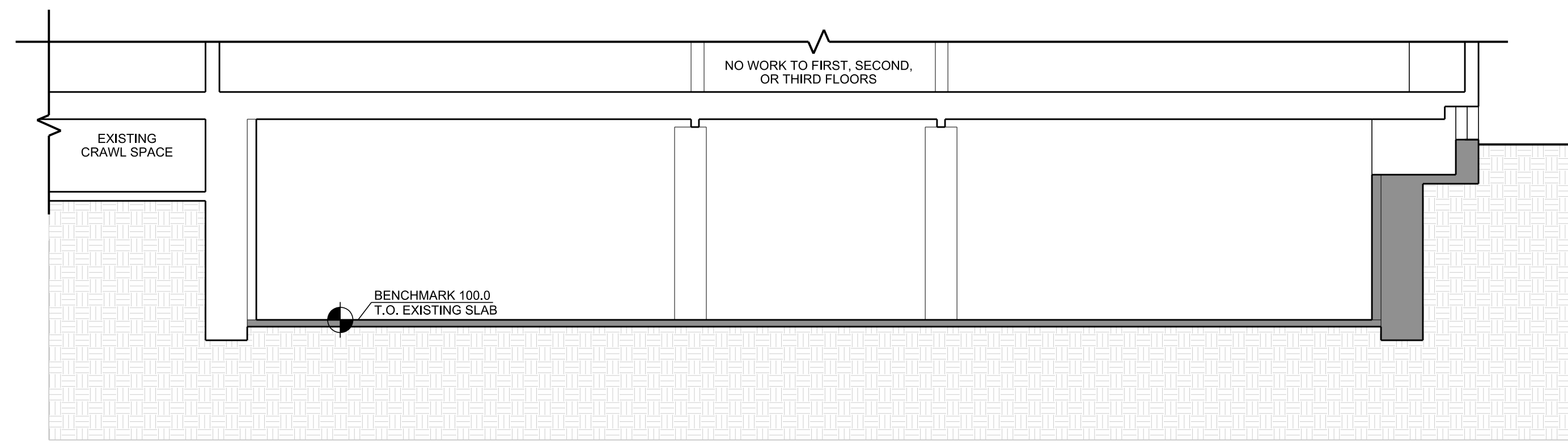




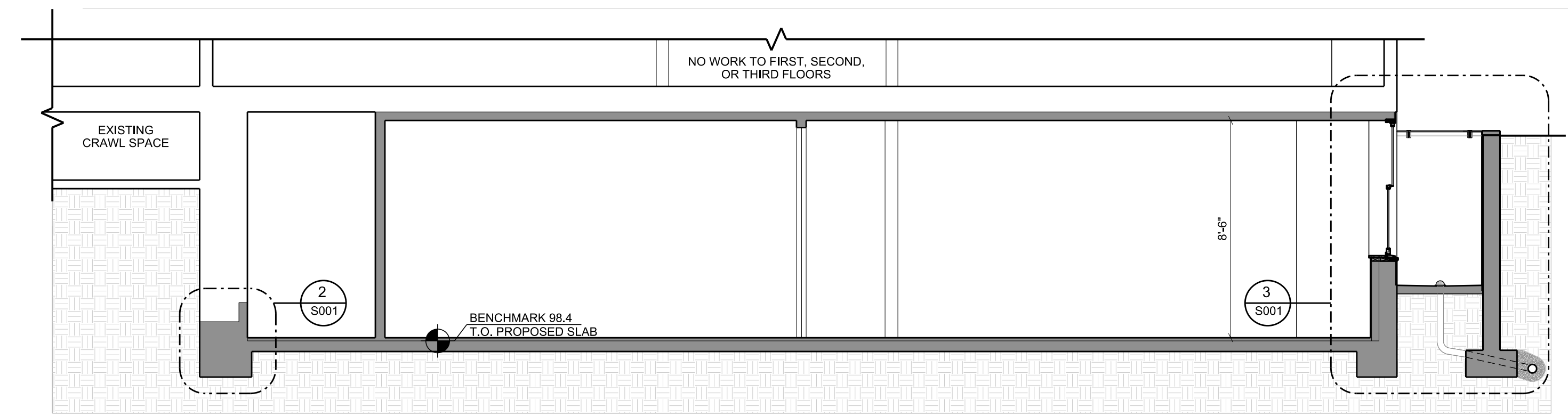
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 A001 SCALE: 1/4" = 1'-0"



2 PROPOSED BASEMENT PLAN
 A001 SCALE: 1/4" = 1'-0"



3 EXISTING BASEMENT SECTION
 A001 SCALE: 1/4" = 1'-0"



4 PROPOSED BASEMENT SECTION
 A001 SCALE: 1/4" = 1'-0"

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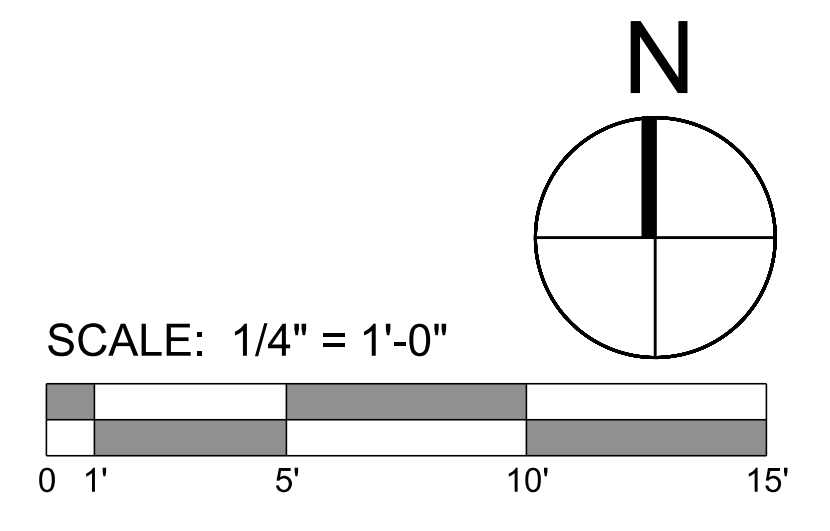
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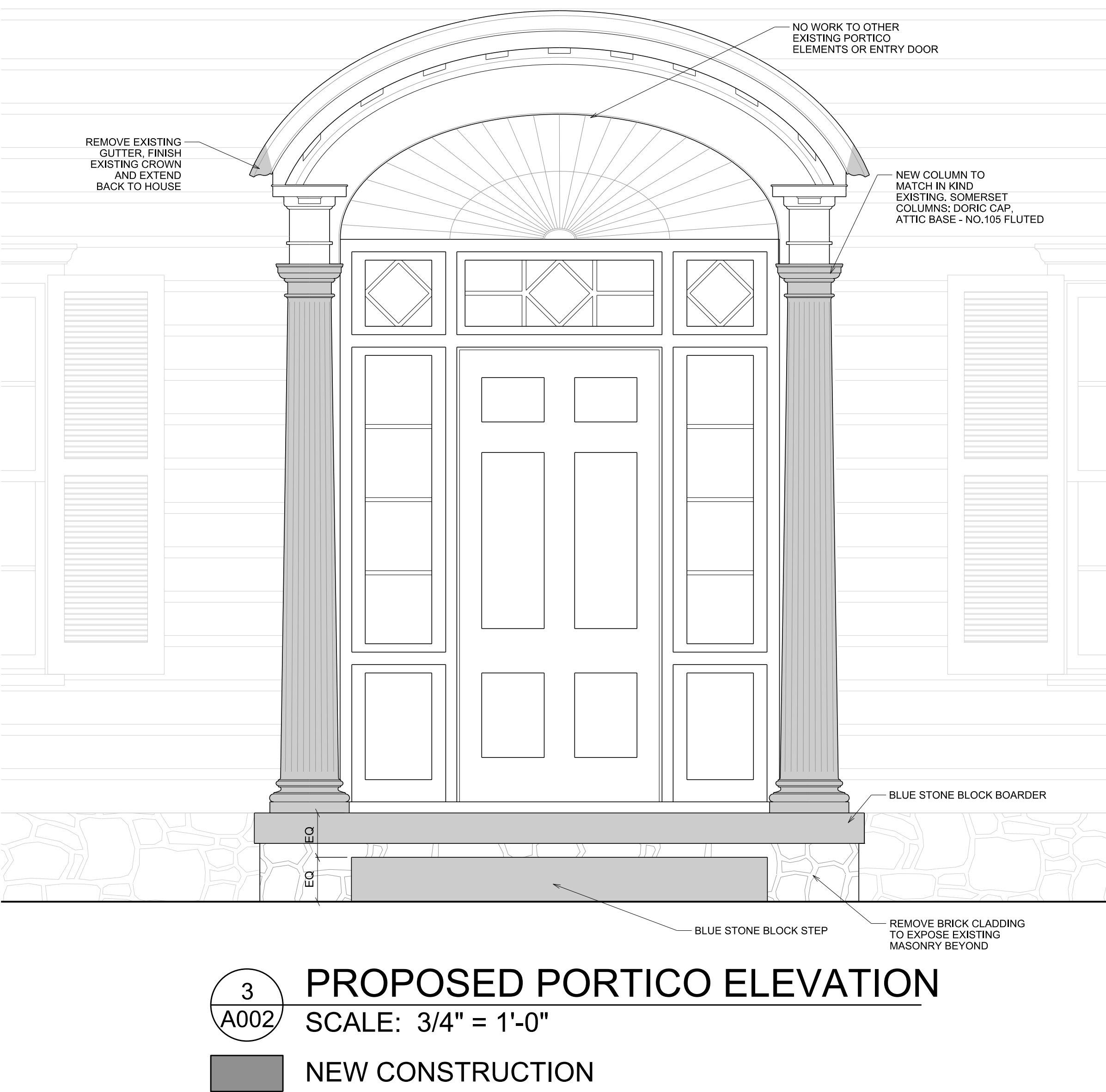
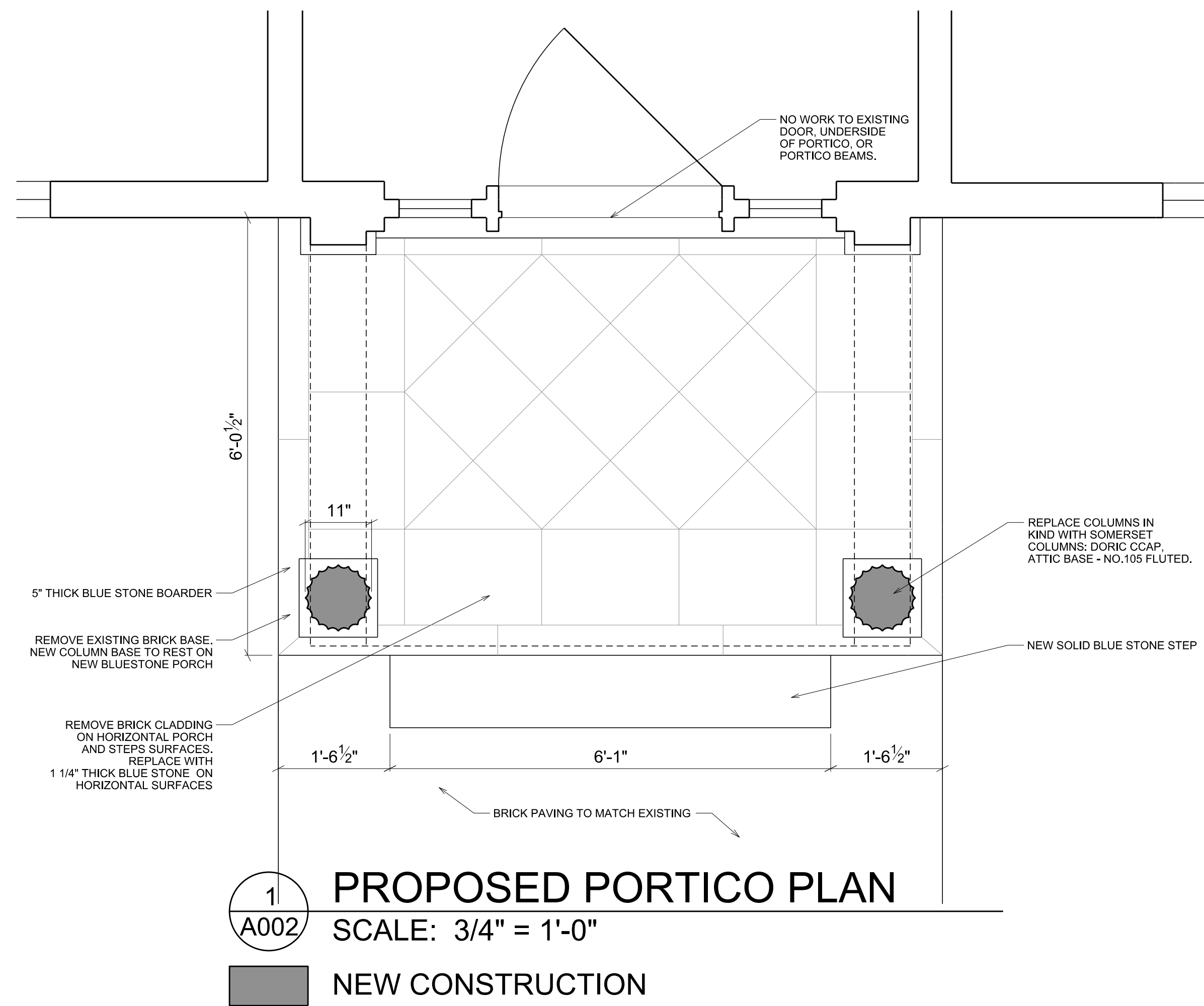
RENOVATION TO THE
McGRANN
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 LOT: P16 BLOCK: 58

BASEMENT PLAN & SECT

A001

DATE: 06-11-2018





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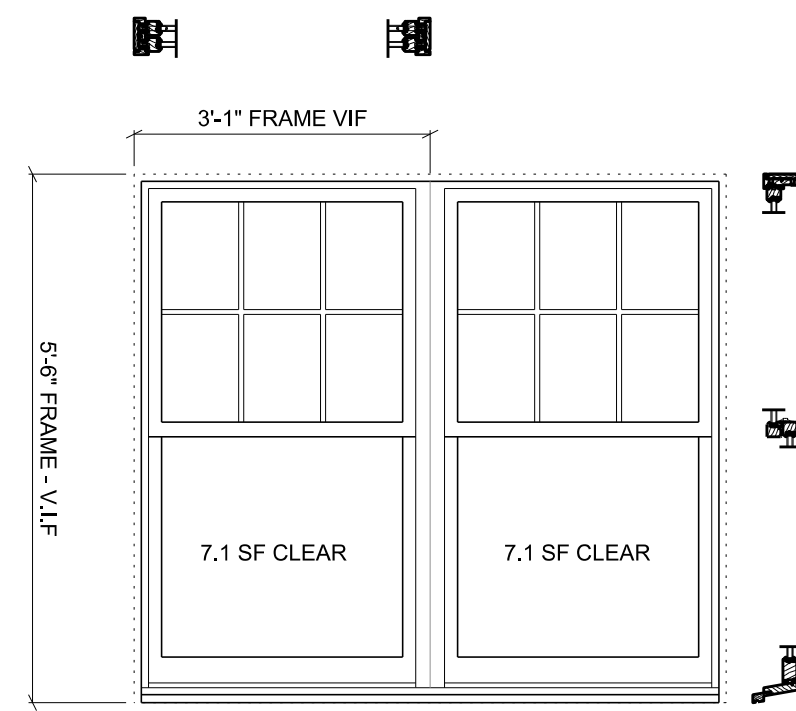
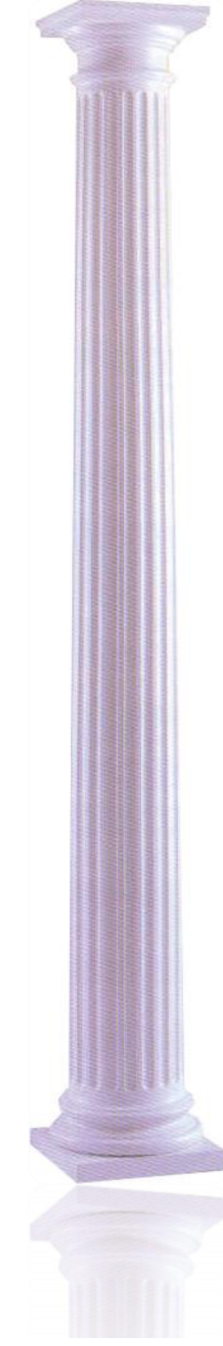
WEST ELEV & DETAILS

A002

DATE: 06-11-2018

No. 105 Dimension Chart

Doric Cap, Attic Base - No. 105 Fluted																		
Figure B	Figure C																	
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P			
6	8	1	3/4	3/4	102	78	78	3/4	5/8	3/8	5	102	7	102	7	102		
8	11	1/2	1/8	1/8	88	102	78	1/4	1/8	1/8	7/8	3/4	3/4	5	102	8	104	
10	12	1/2	1/8	1/8	138	34	34	1/8	1/8	1/8	7/8	7/8	5	78	12			
12	16	2/4	1/8	1/8	138	78	78	1/8	1/8	1/8	1/4	1	10	34	15			
14	18	1/2	1/4	1/4	134	78	78	1/8	1/8	1/8	1/8	1/8	1/2	12	34	17	102	
16	21	2/2	1/8	1/8	114	118	134	238	134	158	134	13	102	1	20			
18	24	3	2/4	2/4	138	114	134	314	134	178	178	18	118	22	102			
20	28	1/2	3/4	3/4	238	338	338	112	134	338	338	178	178	48	102	118	22	102
22	30	1/8	2/8	2/8	234	178	214	212	214	214	214	214	91	134	27			
24	32	4/12	2/8	2/8	134	134	238	418	238	238	238	238	30	134	30			
26	34	1/2	4/4	3/4	314	218	2	212	412	212	212	212	21	102	32			
28	37	4/12	3/12	3/12	214	214	234	438	234	234	234	234	234	178	34	34		
30	40	5	3/4	3/4	212	238	314	434	314	278	278	25	178	37	102			



A0-W1

MANUFACTURER: LEPAGE MILLWORK
 LINE: WOOD COLLECTION DOUBLE HUNG

OPERATION: DOUBLE HUNG
 GLAZING: TEMPERED DOUBLE GLAZE W/ 5/8" MUNTINS 6-OVER-1
 MUNTIN PROFILE: TO MATCH EXISTING MUNTINS

SCREEN: N/A
 EXTR TRIM: APPLIED IN FIELD

NOTES:
 * TRIM PER FINISH SCHEDULE
 ** CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD BEFORE ORDERING
 *** FACTORY MULLED

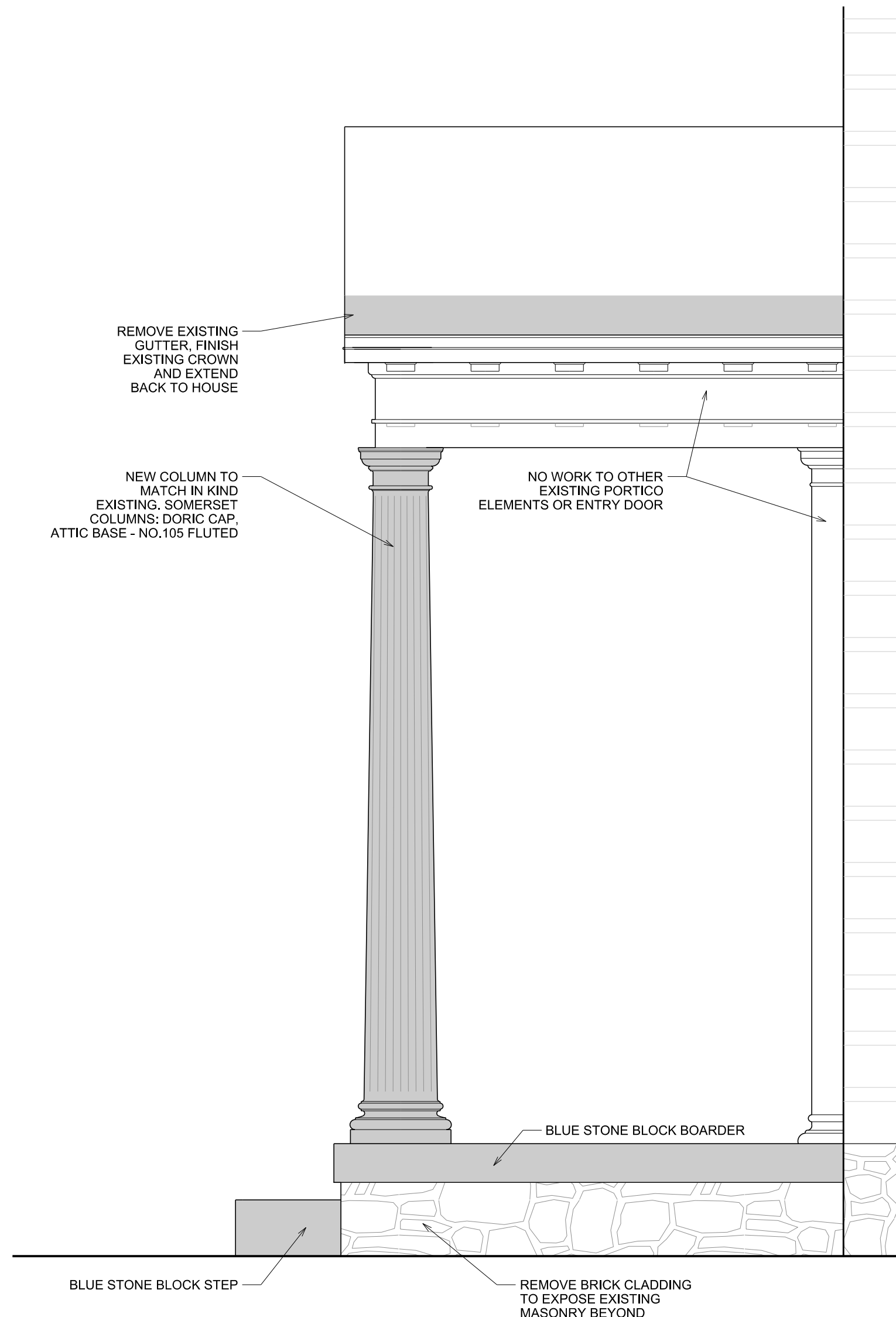
UNIT AREA: 34 FT²
 U-FACTOR: 0.29
 SHGC: 0.27

PRODUCT VALUES FROM LEPAGE MILLWORK ENERGY DATA SHEET, & DETERMINED USING THE NATIONAL FENESTRATION RATINGS COUNCIL (NFRC) PROCEDURES FOR DETERMINING FENESTRATION PRODUCT VALUES. ENERGY DATA SHEETS INCLUDED IN SUPPLEMENTAL DOCUMENTS.

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1
A003
COLUMN DETAIL
 SCALE: NTS

2
A003
WINDOW SCHEDULE
 SCALE: 3/4" = 1'-0"



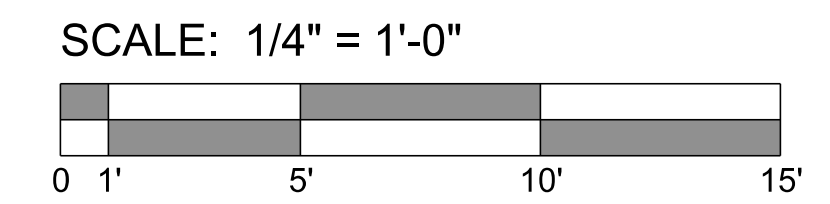
2
A003
PROPOSED PORTICO ELEVATION
 SCALE: 3/4" = 1'-0"
 ■ NEW CONSTRUCTION



3
A003
EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 ■ DEMOLITION



3
A003
PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 ■ NEW CONSTRUCTION



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DRAWING REVISIONS

GENERAL NOTES

1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED
2. ALL WALLS TO BE 2X4 STUDS UNLESS NOTED
3. REMOVE ALL RADIATORS AND PIPES THROUGHOUT HOUSE
4. SEAL ALL HOLES AROUND PERIMETER OF HOUSE FOR RODENT/PEST PROTECTION.

RENOVATION TO THE
McGRANN
 RESIDENCE

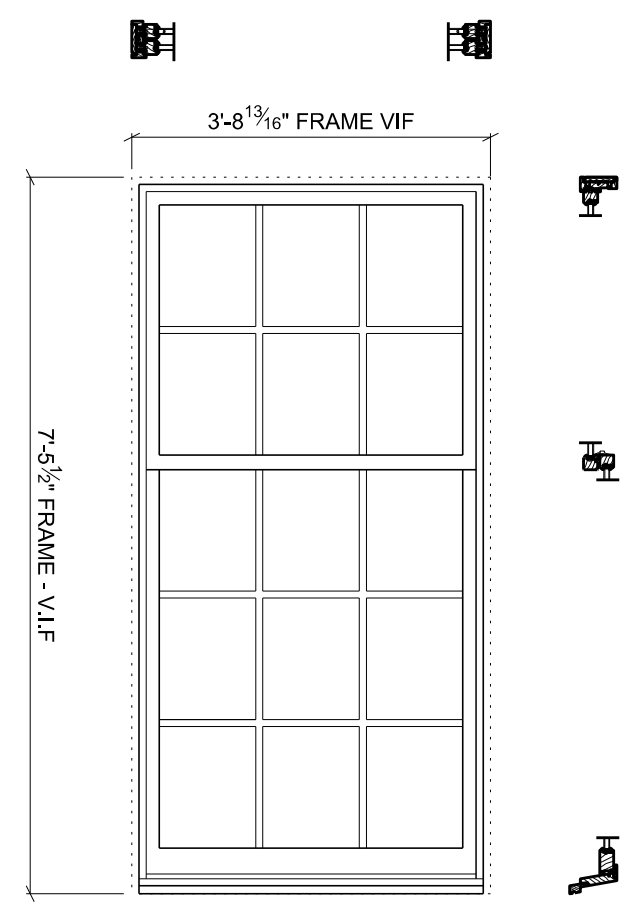
23 PRIMROSE STREET
 CHEVY CHASE, MD 20815

LOT: P16 BLOCK: 58

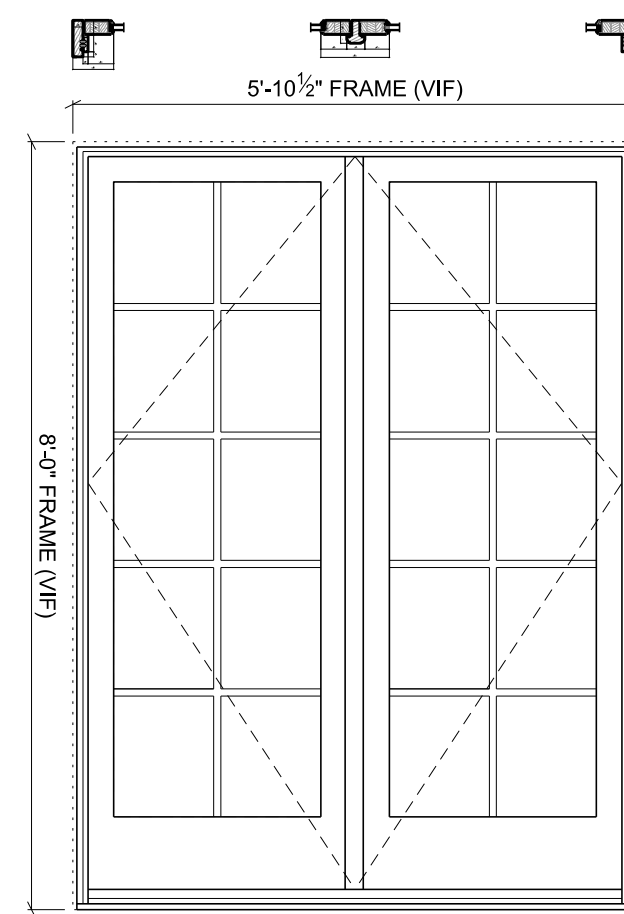
SOUTH ELEV & DETAILS

A003

DATE: 06-11-2018



A1-W1 A1-W2



A1-D1

MANUFACTURER: LEPAGE MILLWORK
 LINE: WOOD COLLECTION DOUBLE HUNG
 OPERATION: DOUBLE HUNG
 GLAZING: TEMPERED DOUBLE GLAZE W/ 7/8" MUNTINS 6-OVER-8
 MUNTION PROFILE: TO MATCH EXISTING MUNTINS

SCREEN: N/A
 EXTR TRIM: APPLIED IN FIELD

NOTES:
 * TRIM PER FINISH SCHEDULE
 ** CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD BEFORE ORDERING

UNIT AREA: 38 FT²
 U-FACTOR: 0.29
 SHGC: 0.27

PRODUCT VALUES FROM LEPAGE MILLWORK ENERGY DATA SHEET, & DETERMINED USING THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) PROCEDURES FOR DETERMINING FENESTRATION PRODUCT VALUES. ENERGY DATA SHEETS INCLUDED IN SUPPLEMENTAL DOCUMENTS.

MANUFACTURER: LEPAGE MILLWORK
 PRODUCT: WOOD COLLECTION FRENCH DOOR
 SIZE: CUSTOM AS NOTED.
 MATERIAL: MAHOGANY
 GLAZING: 3/4" DBL INSULATED, LOW-E ARGON WHITE SPACER
 7/8" SGL PUTTY EXTR / COLONIAL INTR

GRILLE: EXTERIOR TRIM: FACTORY PRIMED, FIELD PAINTED.
 FINISH: NONE
 SCREEN: 7 7/8"
 SILL: 3 11/16"
 STYLE: 9 11/16"
 BOTTOM RAIL: 4 9/16"

NOTES:
 *CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

UNIT AREA: 46 FT²
 U-FACTOR: 0.30
 SHGC: 0.27

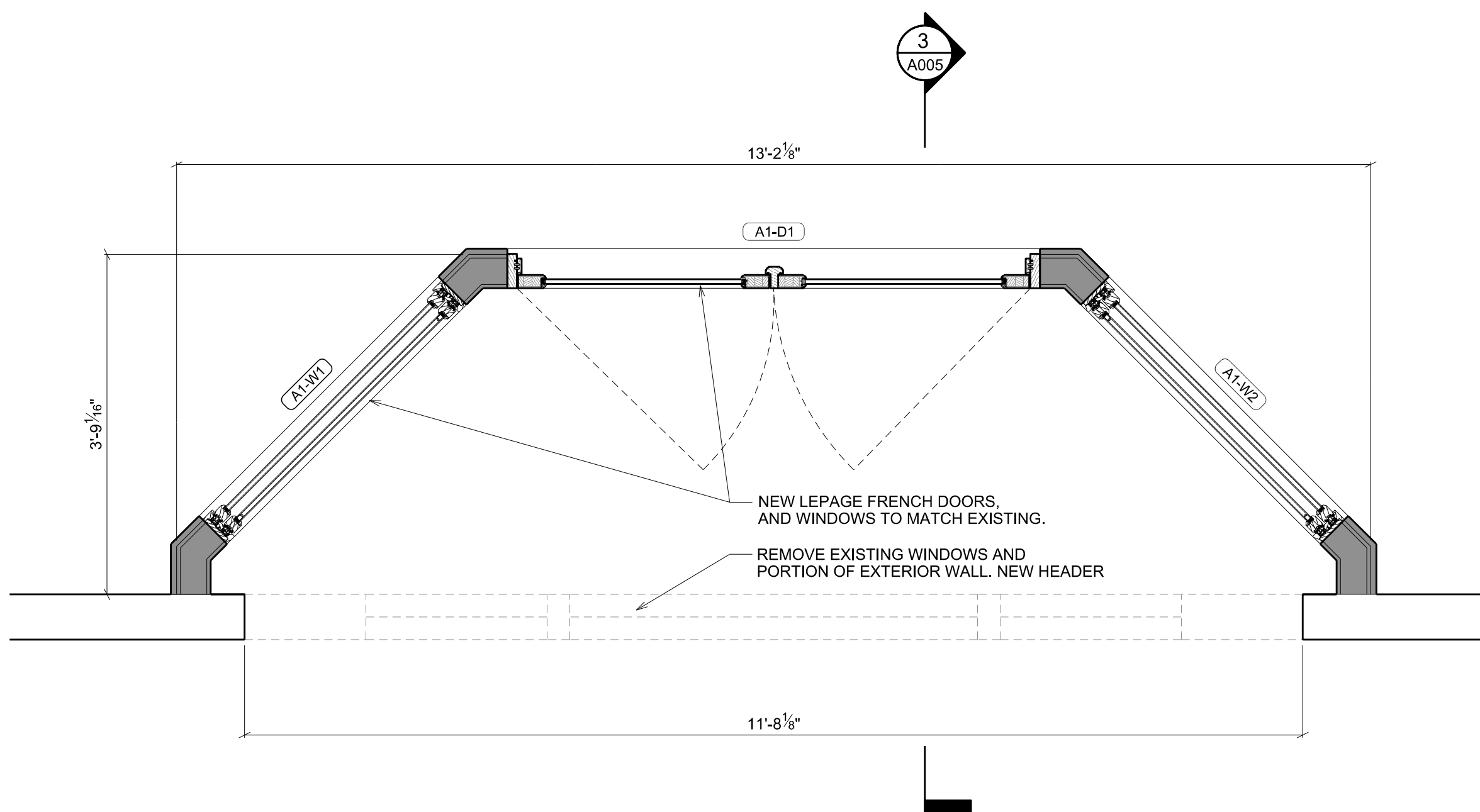
PRODUCT VALUES FROM LEPAGE MILLWORK ENERGY DATA SHEET, & DETERMINED USING THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) PROCEDURES FOR DETERMINING FENESTRATION PRODUCT VALUES. ENERGY DATA SHEETS INCLUDED IN SUPPLEMENTAL DOCUMENTS.

2 WINDOW SCHEDULE
 A003 SCALE: 3/4" = 1'-0"



3 EXISTING EAST ELEVATION
 A004 SCALE: 1/4" = 1'-0"

DEMOLITION



2 PROPOSED BAY WINDOW PLAN
 A004 SCALE: 3/4" = 1'-0"

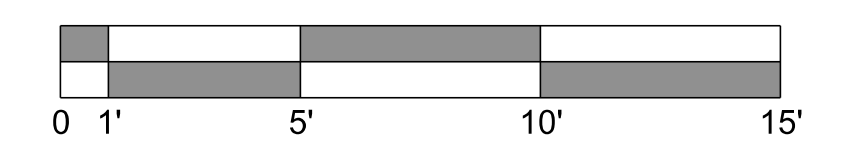
NEW CONSTRUCTION



4 PROPOSED EAST ELEVATION
 A004 SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION

SCALE: 1/4" = 1'-0"



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DRAWING REVISIONS

GENERAL NOTES

1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED
2. ALL WALLS TO BE 2X4 STUDS UNLESS NOTED
3. REMOVE ALL RADIATORS AND PIPES THROUGHOUT HOUSE
4. SEAL ALL HOLES AROUND PERIMETER OF HOUSE FOR RODENT/PEST PROTECTION.

RENOVATION TO THE
McGRANN
 RESIDENCE

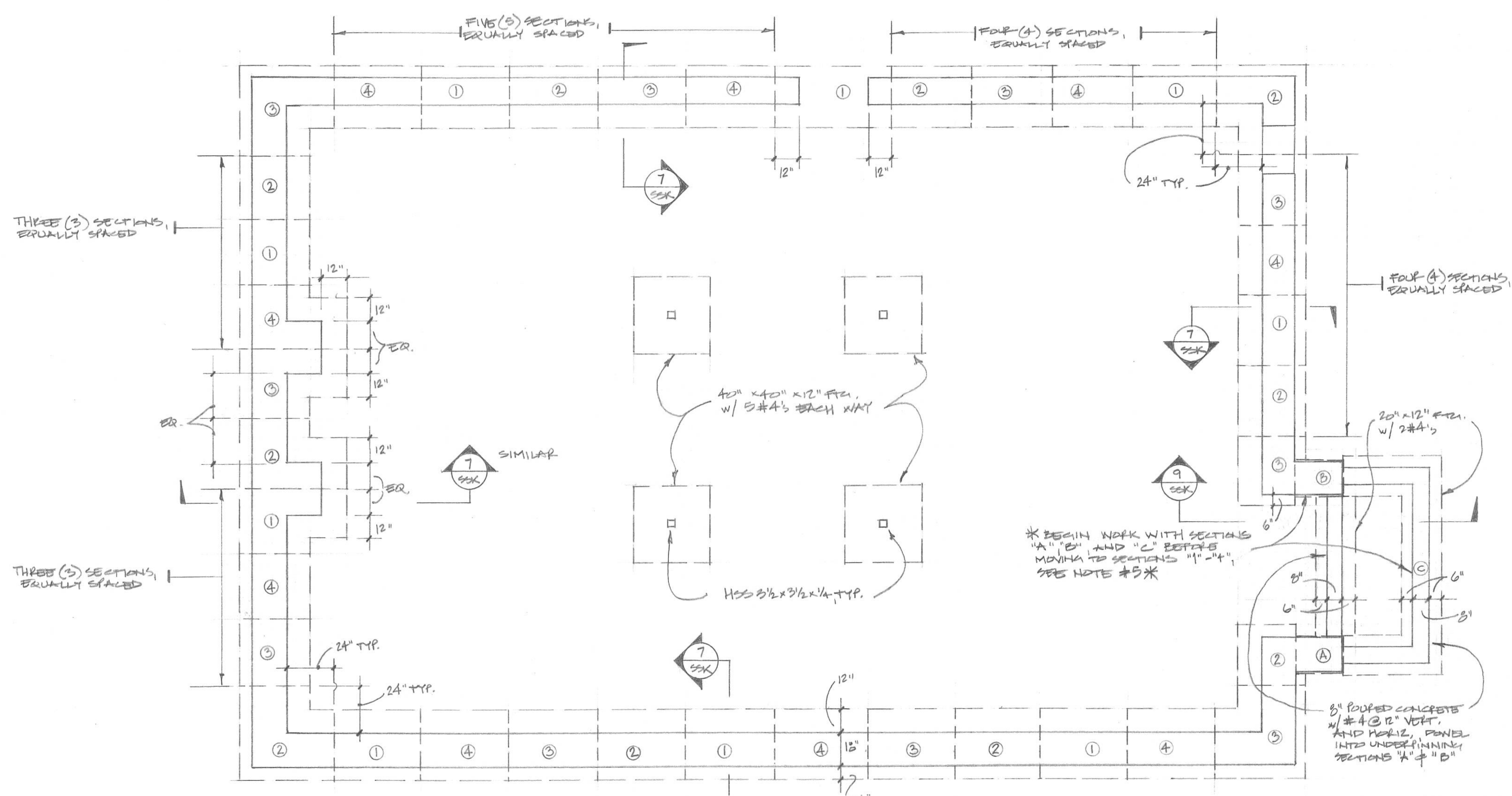
23 PRIMROSE STREET
 CHEVY CHASE, MD 20815

LOT: P16 BLOCK: 58

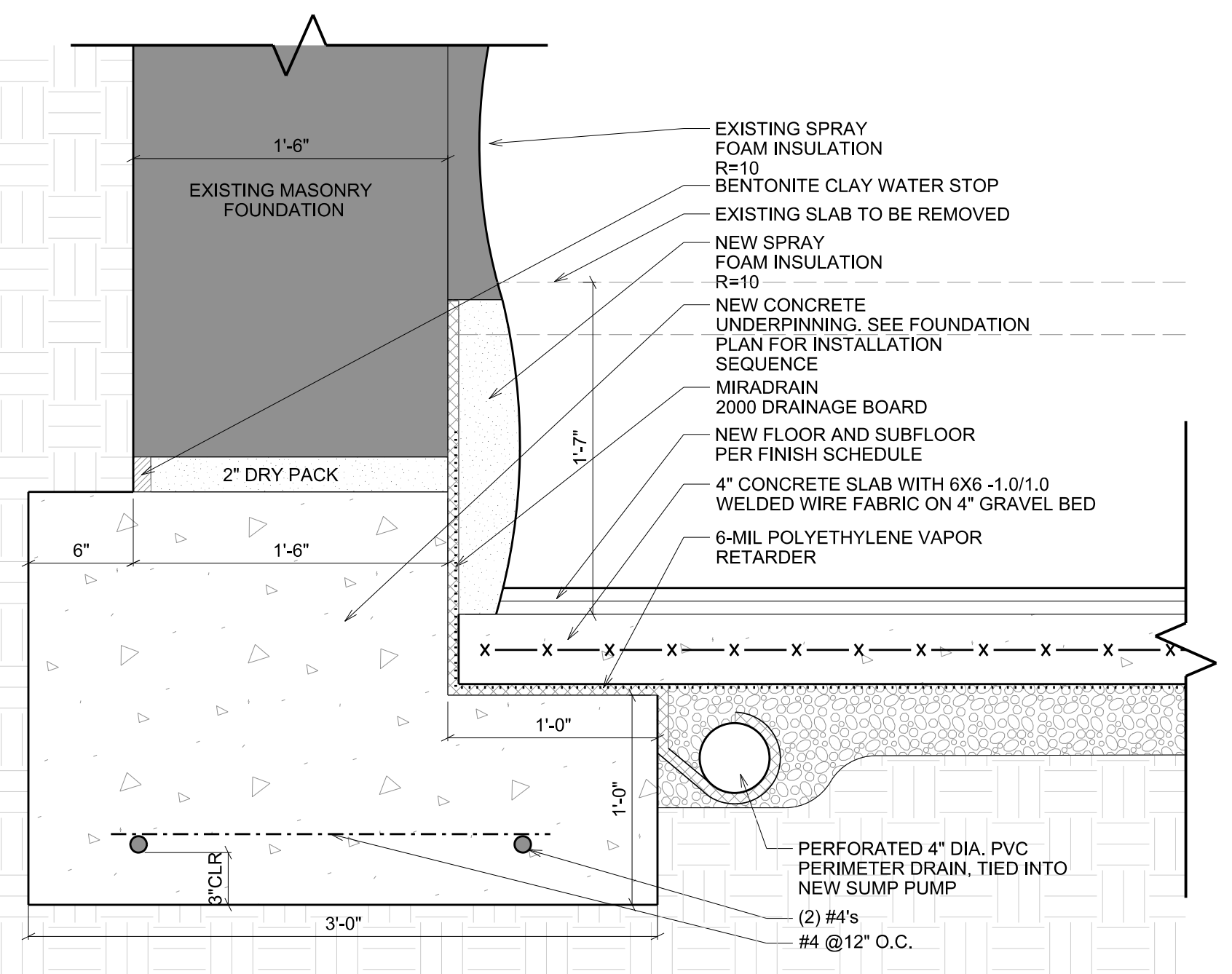
EAST ELEV
 & DETAILS

A004

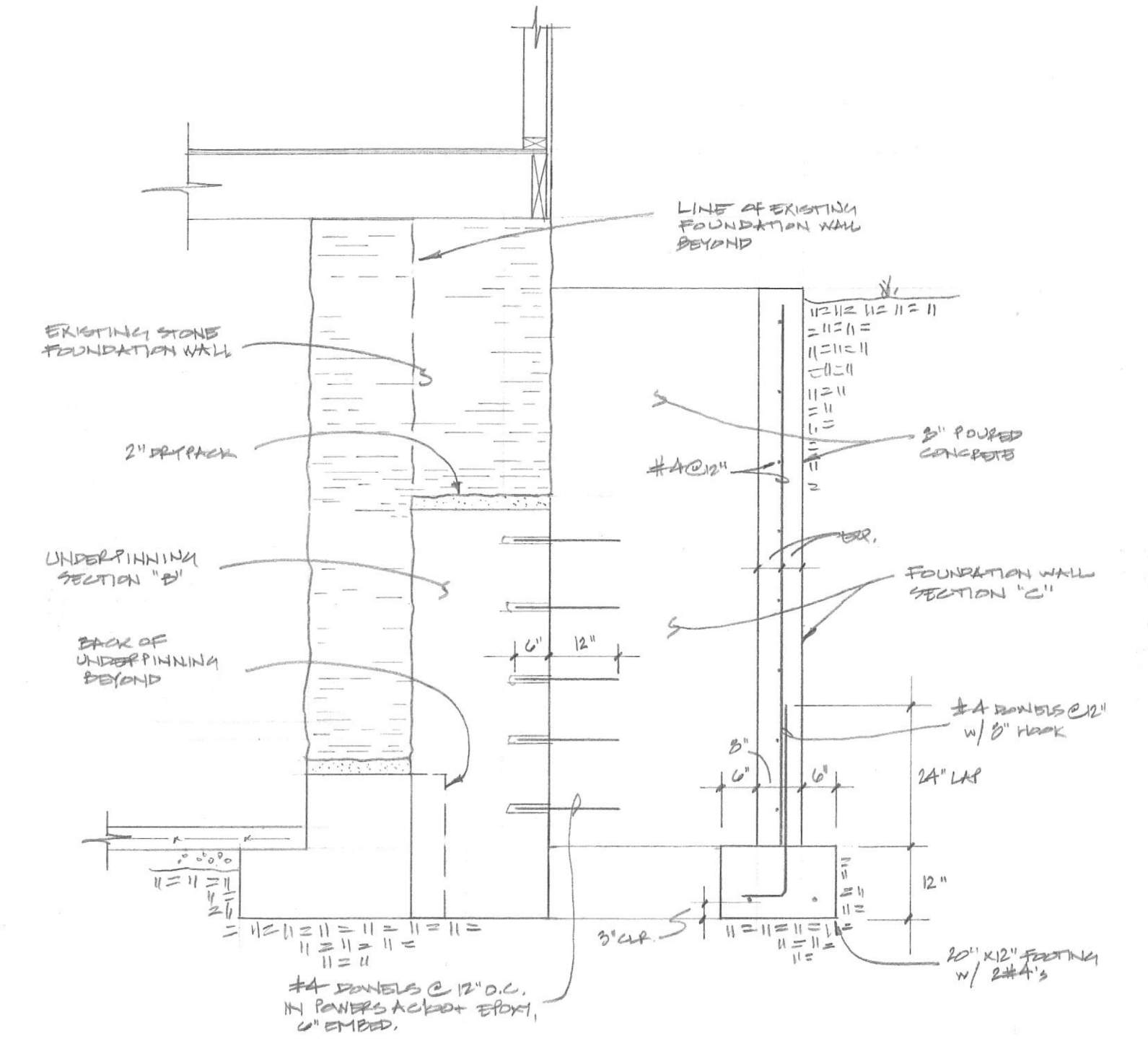
DATE: 06-11-2018



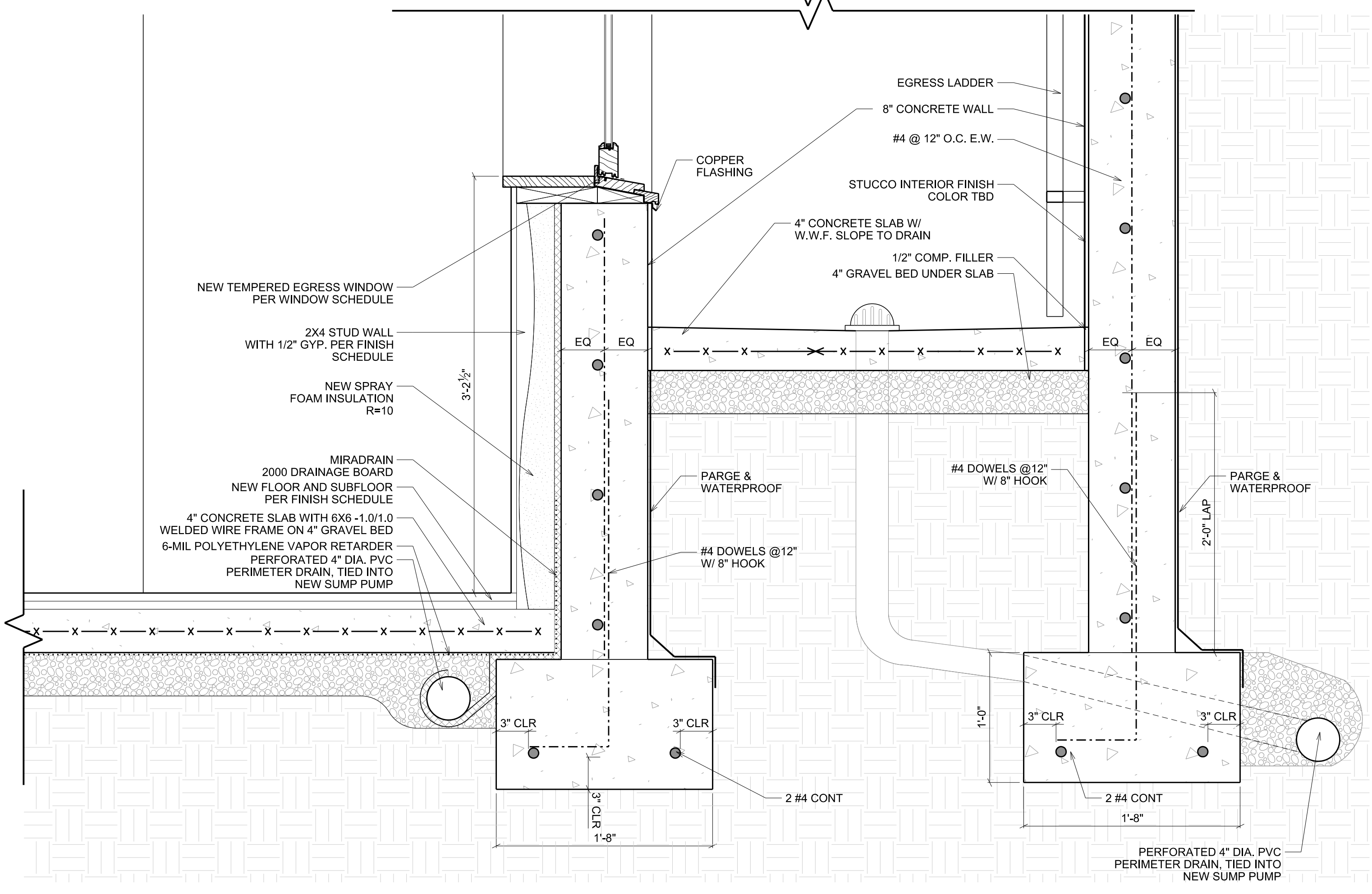
1 S001 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 SCALE: 1/4" = 1'-0"



7 UNDER PINNING DETAIL
 SCALE: 1 1/2" = 1'-0"



9 DETAIL
 SCALE: 1/2" = 1'-0"



3 WINDOW WELL DETAILS
 SCALE: 1 1/2" = 1'-0"

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DRAWING REVISIONS

GENERAL UNDERPINNING NOTES

- All footings to bear on undisturbed soil. Allowable soil bearing capacity 2000 psf per geotechnical report.
- Underpinning pits shall not be longer than 4feet.
- Do not lower grade below existing foundation prior to underpinning except at sections being installed at that time.
- Install underpinning prior to making new openings in foundation wall.
- Install underpinning/window well foundation, labeled "A", "B", "C" prior to commencing work on main foundation of house. Execute work in sequence, beginning with section "A", then "B", then "C" following steps 7-9.
- Install underpinning in sequence noted on foundation plan beginning with sections labeled "1".
- Excavate for sections labeled "1" only. Form and pour concrete underpinning/footing and allow to cure 24 hours before installing drypack/ laying masonry. Allow 2"-3" gap between top of underpinning or masonry and bottom of existing foundation for drypack.
- In instances where underpinning consists of concrete block or clay masonry, lay masonry as shown on plans and details and allow to cure 24 hours before installing drypack. Top course of masonry shall be solid.
- Drypack using stiff mix of Portland cement mortar or non-shrink grout. Ram drypack into gap between so that void is filled completely. Allow to cure 24 hours prior to proceeding to next step.
- Repeat steps 7 thru 9 for sections labeled "2".
- Repeat steps 7 thru 9 for sections labeled "3".
- Repeat steps 7 thru 9 for sections labeled "4".
- Existing masonry shall not remain unsupported for longer than 24 hours.
- Concrete to be 3000 psi hard rock at 28 days.
- Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code.
- Structural steel to be ASTM A36 fabricated in accordance with AISC Standards supplied and installed with one coat of red-oxide primer.
- Assumed equivalent fluid pressure of soil: 45 psf/ft
- Masonry mortar to conform to ASTM C270.
- Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1500 psi.
- Brick manufacture to conform to ASTM C62.
- Contractor to alert engineer as to any discrepancies between plans and field conditions prior to the commencement of work.

RENOVATION TO THE McGRANN RESIDENCE

23 PRIMROSE STREET
 CHEVY CHASE, MD 20815
 LOT: P16 BLOCK: 58

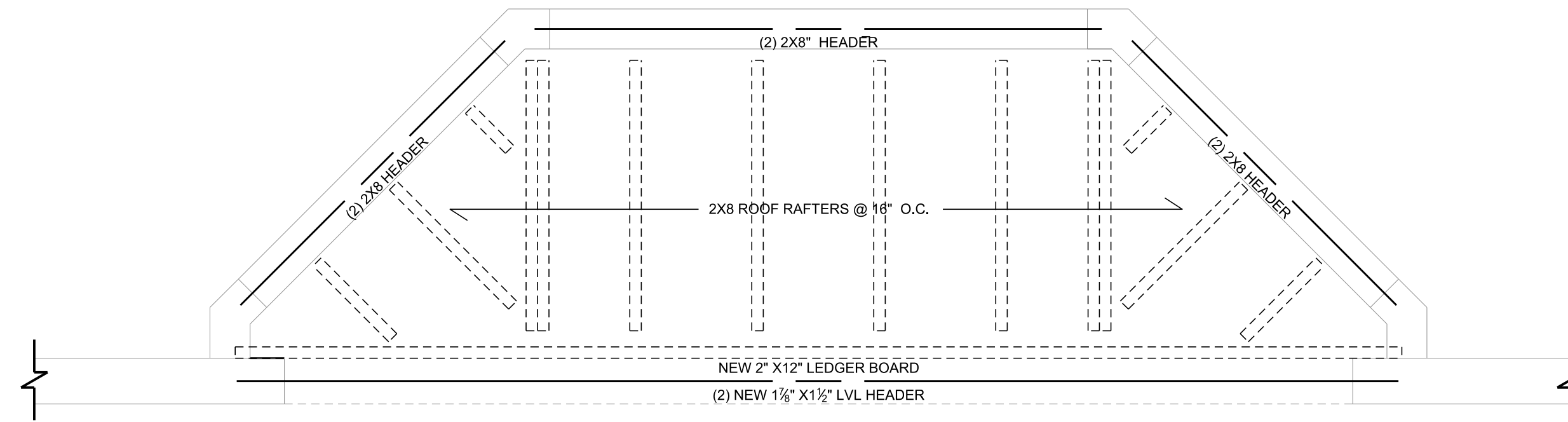
BASEMENT STRUCTURE

S001

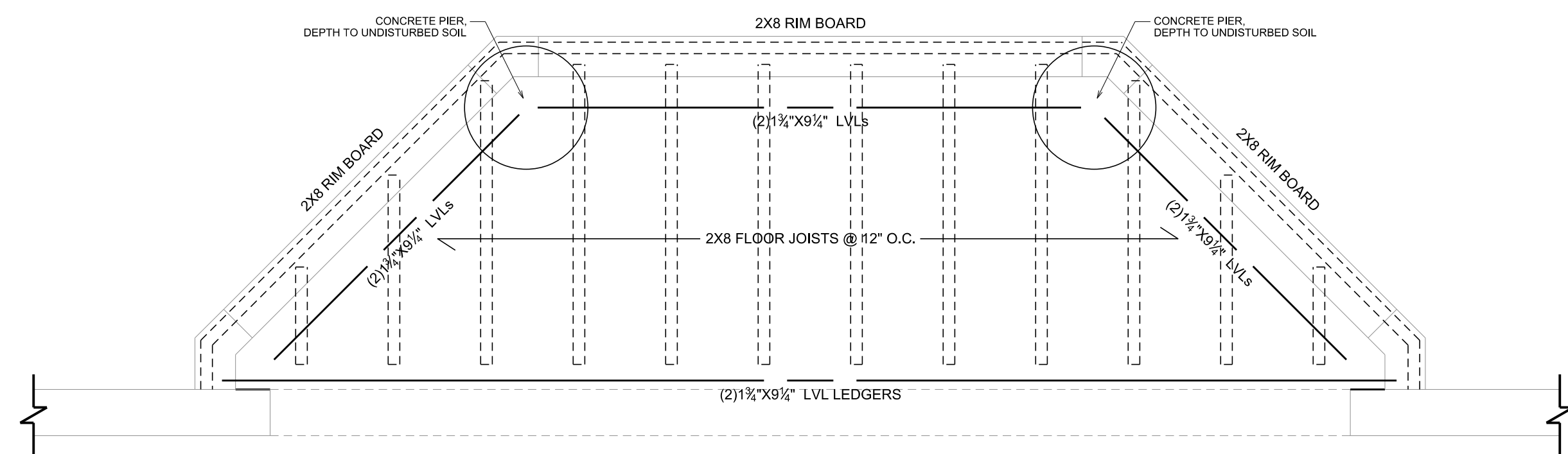
DATE: 06-11-2018

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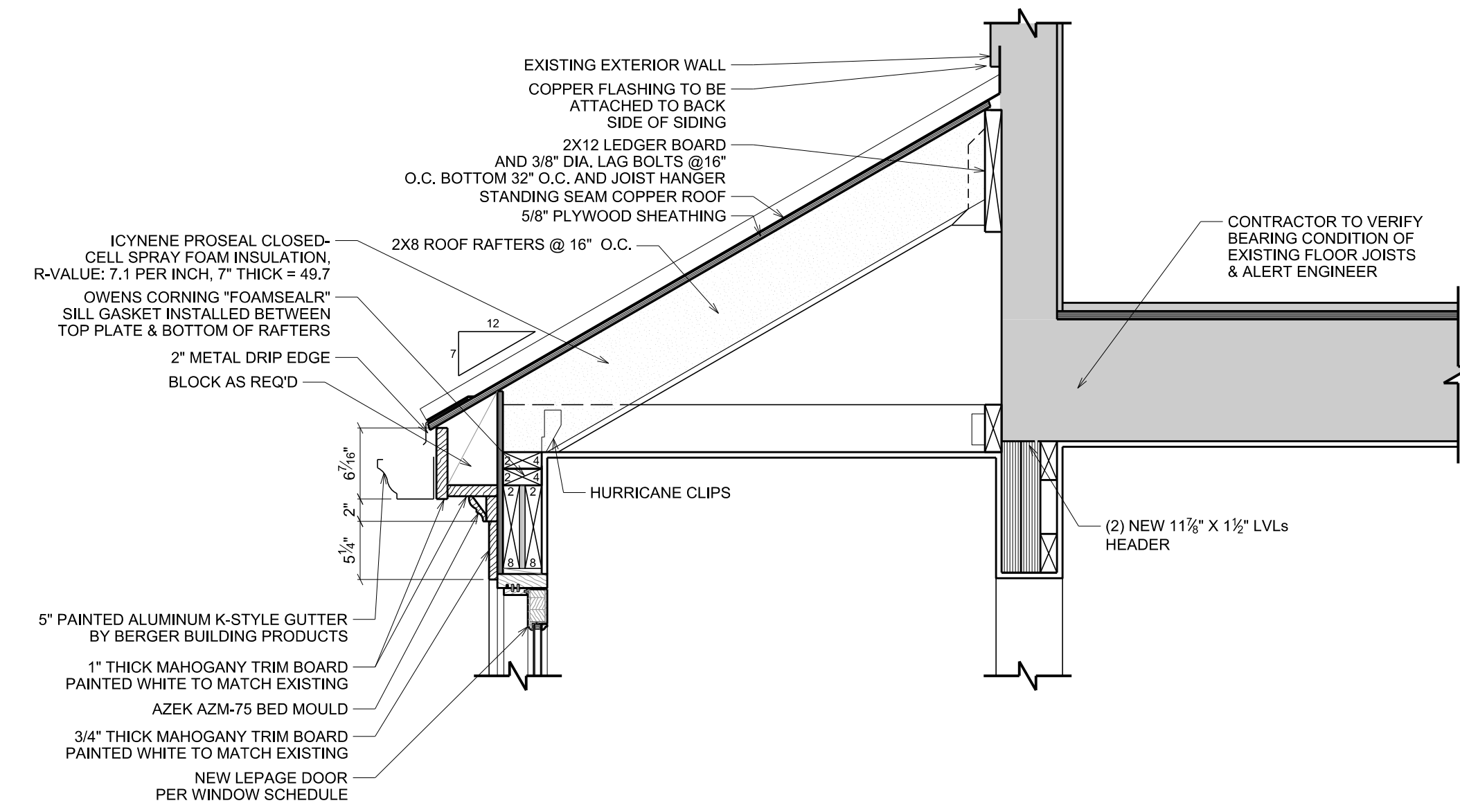
DRAWING REVISIONS



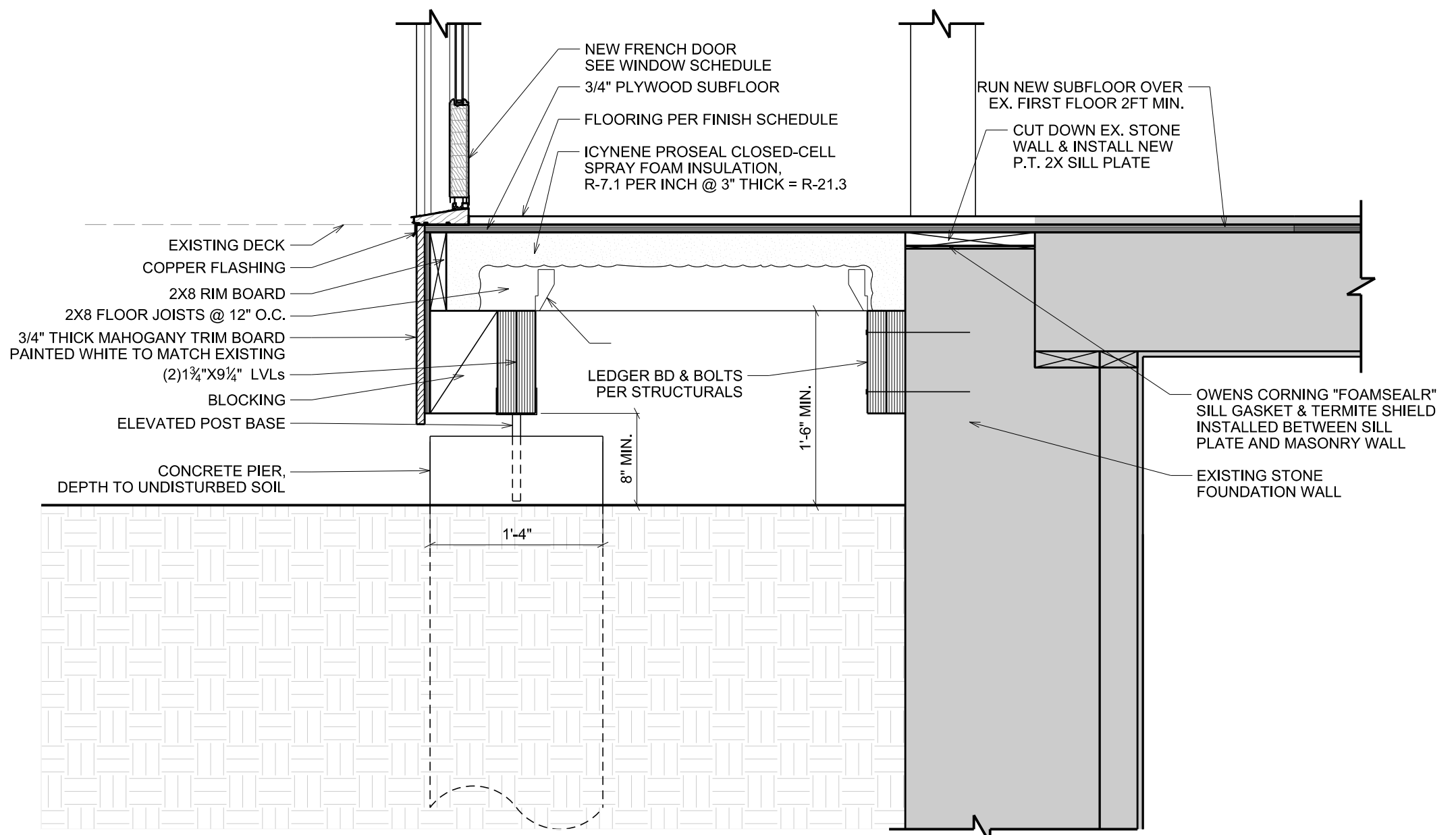
1
S002 BAY WINDOW HEADER PLAN
SCALE: 1 1/2" = 1'-0"



2
S002 BAY WINDOW FRAMING PLAN
SCALE: 1 1/2" = 1'-0"



3
S002 BAY WINDOW HEADER SECTION
SCALE: 1" = 1'-0"



3
S002 BAY WINDOW FOUNDATION SECTION
SCALE: 1" = 1'-0"

RENOVATION TO THE
McGRANN
RESIDENCE

23 PRIMROSE STREET
CHEVY CHASE, MD 20815






































LOT: P16 BLOCK: 58

BAY WINDOW
STRUCTURE

S002

DATE: 06-11-2018

ELECTRICAL SYMBOLS

-  LIGHTOLIER "LYTECASTER" 2013 SPECULAR CLEAR LOW VOLTAGE 3-3/4" RECESSED APERTURE CONE W/ 50W PAR16 LAMP OR LED EQUIVALENT (NON-ADJUSTABLE)
-  LIGHTOLIER "LYTECASTER" 2029 SPECULAR CLEAR LOW VOLTAGE 3-3/4" RECESSED ADJUSTABLE APERTURE CONE W/ 50W PAR16 LAMP OR LED EQUIVALENT
-  WALL SCONCE BY OWNER, INSTALLED BY CONTRACTOR
-  PENDANT LIGHT BY OWNER, INSTALLED BY CONTRACTOR
-  LIGHTOLIER "LYTEPOINTS" 377WHX FROSTED GLASS WET LOCATION TRIM IN CHROME W/ 80 W PAR16 LAMP OR LED EQUIVALENT
-  WAC LIGHTING LEDme 18" WHITE 2700K HIGH OUTPUT LED LIGHT BAR, MODEL #BA-LED6-27-WT 8.5 WATT, 445 LUMENS, 52 LUMENS/WATT. MOUNT ON WALL ABOVE DOOR.
-  GFI VALENT PREMIUM LED STRIP LIGHTS, 12V, 2700K, DIMMABLE, #D1-12V-2VAZ7-90, FROM WWW.ELEMENTALLED.COM WITH REQUIRED ACCESSORIES AND TRANSFORMERS. CONTRACTOR MAY PROVIDE EQUIVALENT PRODUCT FOR APPROVAL
-  EXISTING LIGHT FIXTURE TO REMAIN
-  EXTERIOR WALL SCONCE BY OWNER, INSTALLED BY CONTRACTOR
-  LIGHT SWITCH
-  LIGHT SWITCH WITH DIMMER
-  3-WAY LIGHT SWITCH
-  3-WAY LIGHT SWITCH WITH DIMMER
-  4-WAY LIGHT SWITCH
-  4-WAY LIGHT SWITCH WITH DIMMER
-  DECK-MOUNTED SWITCH FOR GARBAGE DISPOSAL (FINISH TO MATCH FAUCET)
-  JAMB SWITCH
-  FAN CONTROL
-  DUPLEX WALL OUTLET. PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER IRC E3902.12.
-  QUAD WALL OUTLET. PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER IRC E3902.12.
-  EXTERIOR DUPLEX RECEPTACLE. WEATHER-PROOF. GROUND-FAULT INTERRUPTED, FITTED W/ IN-JUSE WEATHER COVER
-  GFCI
-  GROUND FAULT INTERRUPTED DUPLEX OUTLET
-  DUPLEX WALL OUTLET WITH INTEGRATED DUAL USB OUTLETS
-  DUPLEX OUTLET TO BE INSTALLED ABOVE COUNTERTOP
-  EXISTING DUPLEX OUTLET TO REMAIN
-  SPLIT-WIRED DUPLEX RECEPTACLE W/ HALF CONTROLLED BY SWITCH
-  SPECIAL PURPOSE OUTLET AS REQUIRED BY MANUFACTURER
-  WIREMOLD/LEGGRAND WMFB SERIES 15 AMP RECTANGULAR COVER 2-OUTLET RESIDENTIAL AC FLOOR BOX, BRASS (OR EQUIVALENT). PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER IRC E3902.12.
-  PLUG MOULD RECEPTACLE STRIP IN IVORY
-  PANASONIC WHISPER CEILING FAN FV-11VQ5, 110 CFM
-  COMBINATION TELEPHONE / TV / ETHERNET OUTLET
-  THERMOSTAT LOCATION
-  SMOKE / CARBON MONOXIDE DETECTOR HARD-WIRED AND INTER-CONNECTED WITH BATTERY BACKUP
-  CEILING FAN AND CONTROL PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
-  NEST CAMERA LOCATION
-  EXISTING DUPLEX WALL OUTLET.

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DRAWING REVISIONS

GENERAL NOTES

1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED
2. ALL WALLS TO BE 2X4 STUDS UNLESS NOTED

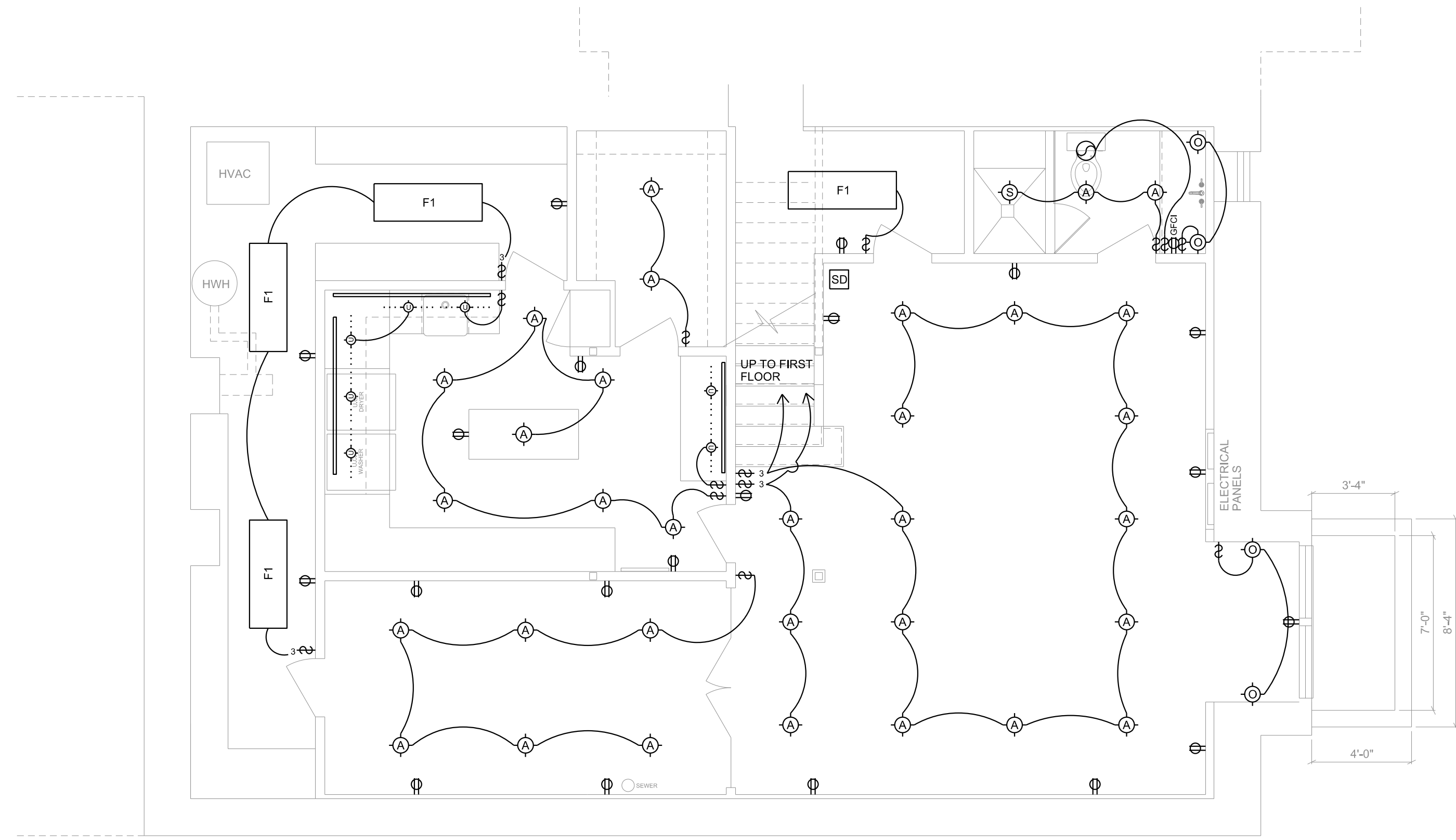
RENOVATION TO THE McGRANN RESIDENCE

23 PRIMROSE STREET
CHEVY CHASE, MD 20815
LOT: P16 BLOCK: 58

BASEMENT ELECTRICAL

E001

DATE: 06-11-2018



1 BASEMENT ELECTRICAL PLAN
E001 SCALE: 1/4" = 1'-0"

ELECTRICAL SPECS

- 16001 Electrical contractor to furnish and install all labor and materials for complete installation as shown on drawings, specified herein, or required by local codes. All new materials to be used are to bear the approval of "The Underwriters Laboratories, Inc."
- 16002 Coordinate with HVAC contractor and kitchen equipment to provide necessary power and panel box size.
- 16003 Provide required electric service and wiring for all wall outlets, light fixtures, switches, fans, HVAC, and kitchen equipment.
- 16004 Power and light circuits shall be kept separate and each 240 volt outlet wired separately to panel.
- 16005 Switches, receptacles, and dimmers shall match existing.
- 16006 Security, smoke detectors, computer, television, sound and elevator systems to be provided and installed by Owner's contractor/consultant. Coordinate and provide power for systems as required.
- 16007 Cover plates for switches and receptacles in mirrors shall also be mirrored. Cover plates for switches and receptacles on tile shall be clear glass by Arnev.
- 16008 All new receptacles shall be located in the baseboard.
- 16009 All new switch locations shall be mounted at a height of 34" to the center.