

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	2701, 2703, 2705 Hume Dr. Silver Spring	Meeting Date:	11/15/17
Resource:	Contributing Resource National Park Seminary Historic District	Report Date:	11/08/17
Review:	HAWP	Public Notice:	11/01/17
Case Number:	36/01-17A	Tax Credit:	Partial
Applicant:	Power Plant at NPS, LLC	Staff:	Dan Bruechert
Proposal:	Building Rehabilitation		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve with the conditions specified by MHT** in the HAWP application.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource to the National Park Seminary Historic District
STYLE: Mission Revival, Greek Revival, & Traditional
DATE: 1907

The applicant is proposing to rehabilitate three buildings at National Park Seminary: the Power Plant, Music Hall, and Fire Station. All three buildings have been abandoned for several years and require extensive work. The Maryland Historic Trust maintains an easement on this complex and has reviewed the work and placed several conditions on the work (see the attached letter). The proposed exterior work involves significant masonry repair, stucco repair, the replacement of missing windows, and roof repair to rehabilitate these three buildings for use as rental housing.

STAFF RECOMMENDATION:

Approval
 Approval with conditions.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site,

or historic resource within an historic district; or

 x 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

Wendi W. Peters, Secretary
Ewing McDowell, Deputy Secretary

October 12, 2017

Karl Voglmayr
4710 Bayard Blvd.
Bethesda, MD 20816

Re: NPS: Power Plant, Practice Hall, Fire Station, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement

Dear Mr. Voglmayr:

We are in receipt of the Historic Preservation Easement Program Change/Alteration Request Application, received in conjunction with the Maryland Heritage Structure Rehabilitation Tax Credit Competitive Commercial Certification Application Part 1 and 2; received on August 28, 2017, in which you summarize the proposed rehabilitation work for the Power Plant, Practice Hall, and Fire Station, buildings located at the National Park Seminary in Montgomery County. The Maryland Historical Trust Easement Committee (Committee) reviewed the information on October 3, 2017.

Based on the review and recommendation of the Committee, I conditionally approve the rehabilitation of the Power Plant, Practice Hall, and Fire Station, provided that the following condition(s) are met:

Practice Hall:

#1 – If any re-stabilization of the portico columns beyond sanding and painting is necessary, a detailed scope of work must be submitted for review and approval prior to undertaking any additional work.

#2 – To make a final determination on the proposed work, please submit the final railing design, specifications and materials for review and approval prior to installation.

#3 – To make a final determination on the proposed work, please submit a window survey indicating the location and number of windows to be retained and repaired and which windows will be replaced. This documentation must include clear interior and exterior photographs of all existing windows proposed for replacement, along with detailed dimensioned elevation and section drawings of the proposed replacement windows for comparison with the existing details provided in the submitted drawings. A mock-up of the proposed replacement windows must also be provided. This information must be submitted for review and approval prior to commencing work on the windows.

#4 – Existing cedar shingles must be replaced in-kind with shingles, not shakes. To ensure compliance with the Secretary's Standards, please submit product specification information on the proposed replacement shingles for review and approval prior to replacement.

#4 – To ensure an appropriate replacement mortar matching the existing, please submit information on the existing and proposed mortar composition for review and approval prior to work. Replacement mortar must match the existing in material, composition, texture, color, tooling and installation, per Standard #6.

#5 – Existing cedar shingles must be replaced in-kind, per Standard #6. To ensure compliance with the Secretary's Standards, please submit product specification information on the proposed replacement

shingles for review and approval prior to replacement. If any additional repairs to the façade or side elevations beyond cedar shingle replacement must be done, a detailed scope of work must be submitted for review and approval prior to undertaking any additional work.

#6 – The existing masonry retaining wall does not appear to be deteriorated beyond repair and must be repaired in-place. The removal of the existing retaining wall is a character-defining feature of this building and would be difficult to recreate the existing stone pattern layout. In addition, the concrete steps do not appear to be deteriorated beyond repair and must be repaired and/or reset in-place. Overall, the front retaining wall, columns, and roof system must be repaired, rather than replaced.

#7 – The existing side elevation walls must be retained and repaired. Any further stabilization beyond repointing must be submitted in detail for review and approval prior to undertaking the additional work.

#8 – The new stucco finish must match the existing in material, installation, texture, composition and tooling, per Standard #6. To ensure compliance with the Standards, please submit the existing and proposed stucco composition for review and approval prior to replacement of the exterior stucco finish.

#9 – To make a final determination on the proposed work, please submit a door survey of all existing interior and exterior doors. This documentation must include product specification information for all proposed replacement and/or new doors, as well as information on any existing doors to be repaired for review and approval prior to work.

#10 – It is MHT's understanding that all roof areas on the Music Practice Hall will be replaced with the proposed EcoStar Majestic Slate in "Federal Grey Blend" and that the existing slate on the dormer sides will be retained. If there are any changes to this work, please submit clarification for review and approval prior to installation.

#11 – To make a final determination on the proposed work, please submit a detailed scope of work for stabilizing the column footing and moving the column back into alignment for review and approval prior to commencing work.

#12 – The submitted drawings do not appear to show an elevator in the Music Practice Hall building. If an elevator is to be installed within this building, please submit revised floor plans and a section drawing for review and approval prior to installation.

#14 – The existing balcony balustrades must be retained and repaired, per Standard #6. If deteriorated beyond repair, please submit documentation showing that this feature requires replacement for review and approval. If replacement is determined appropriate, the replacement features must match the existing in design, size, color, texture, material and other visual qualities, per Standard #6.

#14 – To make a final determination on proposed work, please submit screen and frame material specifications for review and approval prior to installation. The framing, placement, and reflectivity of materials must be considered. The screening and support framing must be installed behind the railing and recede into the opening in order to provide better clarify of the historic rail.

Fire Station:

#16 – The new stucco finish must match the existing in material, installation, texture, composition and tooling, per Standard #6. To ensure compliance with the Standards, please submit the existing and proposed stucco composition for review and approval prior to replacement of the exterior stucco finish.

#17 – The existing rubber roofing must be replaced in-kind, per Standard #6. The existing roofing does not appear to have a pebble pattern texture; therefore, the proposed replacement roofing is not appropriate. Rather, a smooth rubber membrane roof must be installed.

#18 – The proposed metal shingles do not match the appearance of the existing roof shingle and must not be installed, per Standard #6. MHT is aware of companies that still carry similar products to the existing asphalt shingle. Examples of these products to consider include the Sherriff-Goslin Art-Loc Roofing

Shingle and the Pabco Roofing Cascade diamond shaped Open Tooth Laminated Shingle. Once a more appropriate replacement material has been selected, please submit the product information and color for review and approval prior to installation. *Please note that MHT does not endorse or recommend any particular product or brand. These are meant as examples of similar products. You and/or your contractor may propose an alternate similar product.

#19 – To make a final determination on the proposed replacement windows, please submit detailed specification information. This documentation must include dimensioned elevation and section drawings showing the location of the window within the opening and the correct relationship to the wall in which it will be installed. All information must be submitted for review and approval prior to installation.

#20 – The proposed overhead door design on the south elevation are not compatible with the architectural style and character of the building, which does not comply with Standards #2, #5, #6, or #9. In addition, the proposed overhead door design on the west elevation is not compatible with the architectural style or character of the building and was not included in the description of proposed work narrative. Please submit a revised door design for both locations that is more sensitive and compatible with the architectural style of the building, including elevation and section drawings. Both locations should have a similar design for a cohesive appearance to the overall building. All revisions must be submitted for review and approval prior to installation.

#22 – The installation of shelving units on the interior of the stack must be installed in such a manner as to not damage the existing brick masonry. MHT recommends any attachment through the mortar joints or the installation of free-standing units.

Power Plant:

#27 – The existing asphalt shingle roof appears to be a 3-tab style shingle and must be replaced in-kind, per Standard #6. The proposed Zalmag “Pre-Patina II Latge Tile Cupped” shingles do not match the appearance or material of the existing roof and must not be installed. Please submit a revised specification sheet / product information on the proposed replacement roofing material for review and approval prior to installation. Examples of similar appropriate replacement materials include, but are not limited to, GAF Slateline, GAF Weathermax, CertainTeed XT25, and CertainTeed XT30 IR shingles. *Please note that MHT does not endorse or recommend any particular product or brand. These products are meant as examples of similar previously approved materials for a flat asphalt shingle roof. You and/or your contractor may propose an alternate similar product.

#28 – The concrete smoke stack is a significant character-defining feature of this property and must not be shortened as proposed. This would alter the feature, which does not comply with Standard #2 or #5. In addition, no information was provided to justify the removal of the top portion of the stack.

#32 – If repair of the existing roof ventilation is not possible, a detailed scope of work must be submitted for review and approval prior to undertaking the additional work.

#33 – If repairs of the existing lightning rods is not possible, a detailed scope of work must be submitted for review and approval prior to undertaking the additional work.

#34 – To make a final determination on proposed work, please submit a specification for the metal cap on the brick smoke stack. Detailed information on the installation and appearance must also be submitted with the specification sheet.

All buildings and miscellaneous:

#39 – To make a final determination on the proposed work, please submit a detailed site plan showing the location, size, and material of all proposed new walkways and paths connected to any of the three buildings in this project or the surrounding site.

#42 – The existing trusses must be retained to the greatest extent possible. Where replacement features are necessary, the new must match the old in design, size, material and other visual qualities, per Standard #6.

#47 & #49 – To make a final determination on proposed work, please submit clarification on the proposed location of electric and gas meters. If the meters are to be installed on an exterior elevation, please submit an elevation drawing showing the location and size of the meters for review and approval prior to installation.

#48 – Existing radiators are historic features and part of the character of the buildings. Radiators may be disconnected, but must be retained in-place.

#48 – To make a final determination on proposed work, please submit clarification on the vent locations for all units. Venting must be kept to secondary or rear elevations of the building, or appropriate locations on the roof. This information must be submitted for review and approval prior to installation.

#48 – All ductwork and plumbing must be concealed within the Music Practice Hall and Fire Station, as these buildings were historically finished spaces. Ductwork and any new bulkheads or chases must not impact existing window and door openings or trim and molding.

#50 – To make a final determination on proposed work, please submit final designs and material specifications for all proposed new railings at the Music Practice Hall, Fire Station and Power Plant. This information, along with a narrative description of location and installation must be submitted for review and approval prior to installation.

#52 – To make a final determination on proposed work, please submit a detailed scope of work for all proposed insulation in each building. Many insulation methods have the potential to damage historic fabric and must not be used in historic buildings. The use of spray foam insulation can harden and damage historic fabric and is not a reversible or appropriate treatment. Blown-in insulation tends to settle and cause moisture issues inside walls over time, and is generally not an appropriate treatment for vertical installations. Information on the proposed insulation materials, installation method, and installation location must be submitted for all areas of each building for review and approval prior to undertaking this work.

Other:

Other – Please submit a detailed scope of work and description for all proposed interior finishes and their location. This information must include doors, trim, walls, ceilings, flooring and any other proposed interior finishes.

Other – In preparing the exterior wood features for painting, wood features must be cleaned using the gentlest means possible, per Standard #7. Gentle methods using hand-sanding and hand-scraping for paint removal, and a water-based solution with mild detergent and a soft-bristled brush are recommended for historic wood repairs. High-pressure power washing to clean and/or remove paint is not permitted due to the potential for water to become trapped, causing damage to historic materials. An oil-based primer must be applied on prepped surface of materials prior to applying exterior latex paint.

Other – The cleaning of masonry must be accomplished using the gentlest means possible without damaging the surface of the masonry. This work must be accomplished in accordance with the guidance provided in Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. Specification and test samples must be reviewed and approved before proceeding with this work. Good-quality overall and close-up photograph of the masonry both before and after cleaning must be submitted with the Part 3: Request for Certification of Completed Work.

Other – The repointing mortar must match the color, texture, composition, joint width, and joint profile of the existing mortar, per Standard #6. This work must be accomplished in accordance with the guidance provided in Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. Specification information on the existing and proposed mortar must be reviewed and approved prior to proceeding with this work. Good-quality overall and close-up photographs both before and after repointing must be submitted with the Part 3: Request for Certification of Completed Work.

6

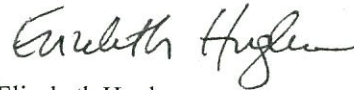
Please note the submitted narrative of proposed work takes precedence over the accompanying drawings. If there is a discrepancy between the narrative and drawings, the narrative description will take precedence. All proposed work shown or noted on the drawings must be included in the narrative to ensure a complete understanding of the project and review. It is the applicant's responsibility to ensure that all proposed work is included in both the narrative and drawings.

This work is consistent with The Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular *General Rehabilitation Standards 2, 5, 6, 7, and 9*. This approval is valid for a period of six months from the date of this letter.

This conditional approval pertains to the Easement program only. As you have indicated in the submission that FY2018 tax credit funding has been sought for the project, please note that this Easement program approval does not substitute or imply approval of the tax credit. Furthermore, initiating any work prior to approval of the Part 2 tax credit would endanger your ability to receive funding. If you have any questions regarding the tax credit process, please contact Collin Ingraham at collin.ingraham@maryland.gov.

Should you have any questions regarding this letter, please contact Kate Bolasky, Easement Administrator, at (410) 697-9537 or by email at kate.bolasky@maryland.gov.

Sincerely,



Elizabeth Hughes
Director
Maryland Historical Trust

EH/KB

cc: Dan Bruechert, M-NCPPC



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: JKAVOGLMAYR@EquiLink.Net Contact Person: J. KARL A. VOGLMAYR
 Daytime Phone No.: 202-439-7701
 Tax Account No.: 03669030
 Name of Property Owner: POWER PLANT AT NPS LLC Daytime Phone No.: 202-439-7701
 Address: 4955 BUTTERWORTH PL. NW WASHINGTON DC 20016
Street Number City State Zip Code
 Contractor: WASHINGTON LANDMARK CONSTRUCTION Phone No.: 202-332-2700
 Contractor Registration No.: MD HIC: 87913
 Agent for Owner: DIANE VOGLMAYR Daytime Phone No.: 813-505-0847

LOCATION OF BUILDING/PREMISE

House Number: 2701, 2703, 2705 Street: HUME DRIVE
 Town/City: Silver Spring Nearest Cross Street: CASSEDY
 Lot: 62 Block: 1 Subdivision: FOREST BLVD PARK
 Liber: 54438 Folio: 0263 Parcel: 62, PLAT REFERENCE 23378

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 350,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J. Karl A. Voglmayr Signature of owner or authorized agent
July 6, 2017 Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

174748

8

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

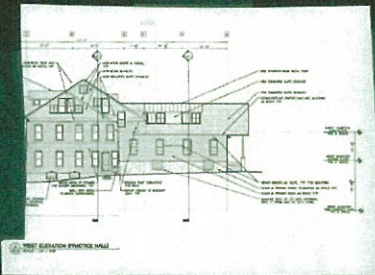
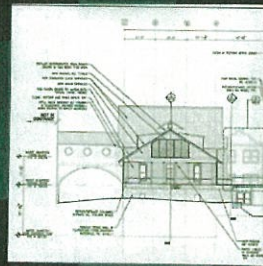
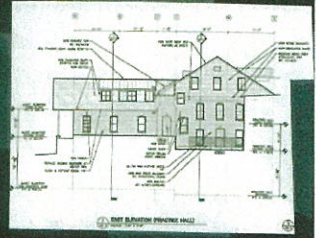
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

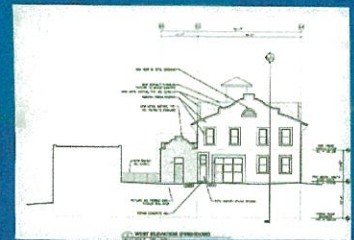
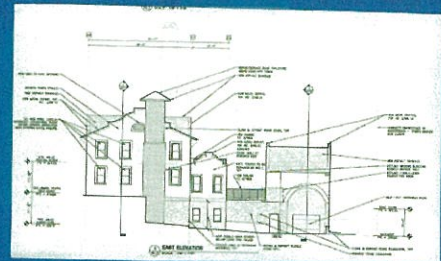
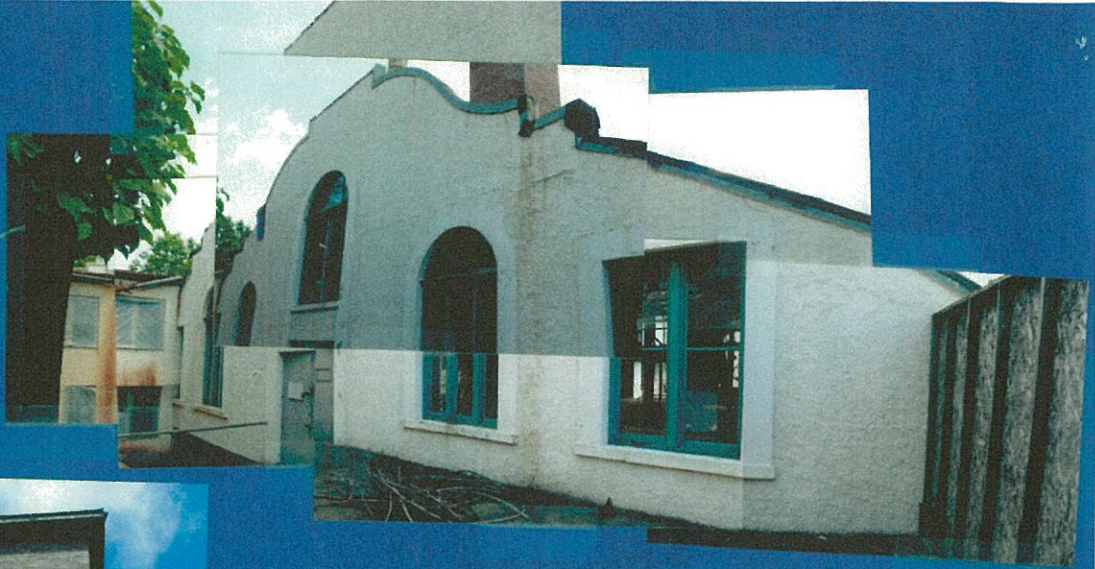
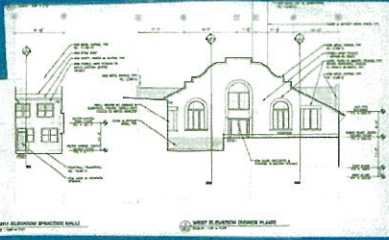
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

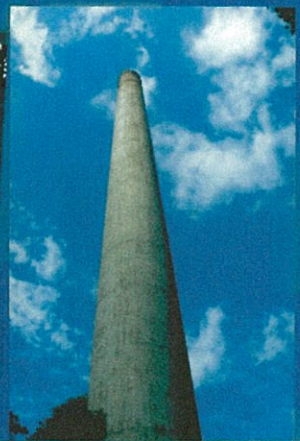
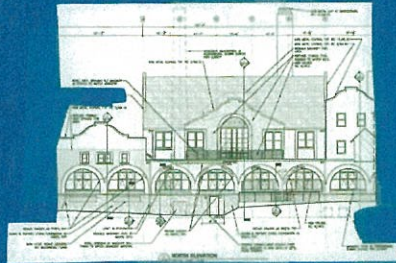
Owner's mailing address	Owner's Agent's mailing address
<p>Power Plant AT NPS LLC c/o: J. Karl A. Voglmayr 4955 Butterworth place, NW WASHINGTON, DC 20016</p>	<p>Power plant AT NPS LLC c/o: Diane J. Voglmayr 4710 Bay and Blvd. Bethesda, MD. 20816</p>
<p>Adjacent and confronting Property Owners mailing addresses</p>	
<p>Megan and Brandon BERMAN 2739 Cassidy St. Silver Spring, MD. 20910</p>	<p>BARBARA DISCKIND 2747 Cassidy St. Silver Spring, MD. 20910</p>
<p>JACKIE and ERIC FONTANA 2735 Cassidy St. Silver Spring, MD. 20910</p>	<p>BARBARA FRANKLIN 2745 Cassidy St. Silver Spring, MD. 20910</p>
<p>Matthew Kinchoff Jessica Tyson 2743 Cassidy St. Silver Spring, MD 20910</p>	<p>Robert & Ellen Lent 2729 Cassidy St. Silver Spring, MD. 20910</p>

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

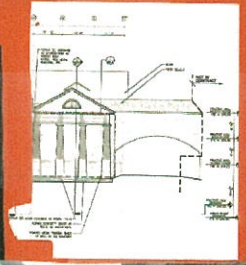
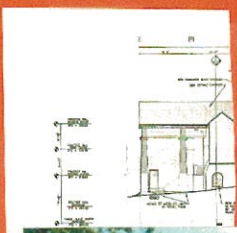
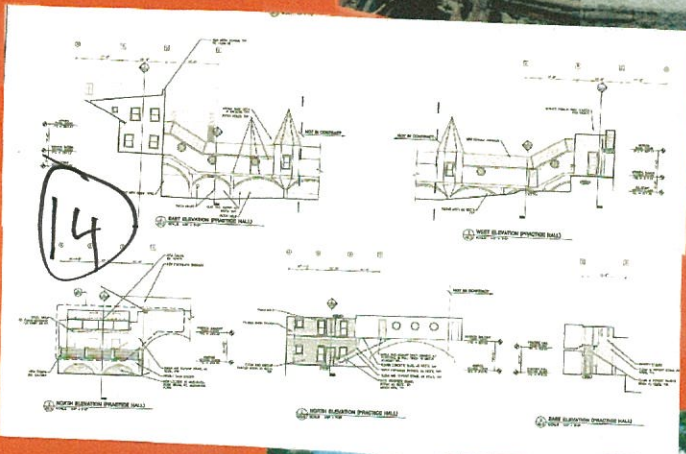
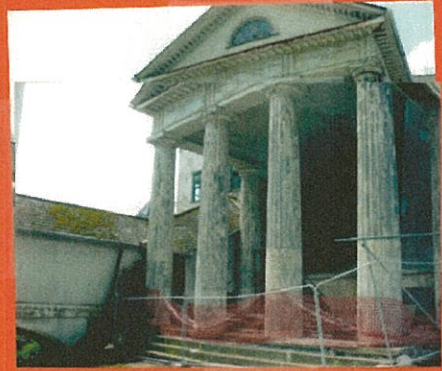
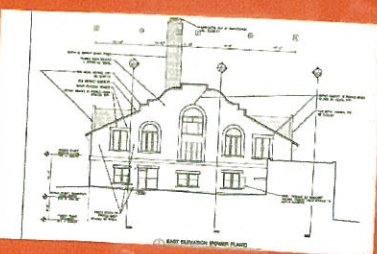
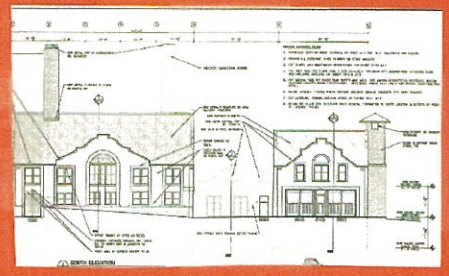
Owner's mailing address	Owner's Agent's mailing address
<p>Power Plant AT NPS LLC c/o: J. KAUL A. VOGLMAYR 4955 BUTTERWORTH PL. NW WASHINGTON, DC 20016</p>	<p>Power Plant AT NPS LLC c/o: DIANE J. VOGLMAYR 4710 BAYARD BOULEVARD BETHESDA, MD. 20816</p>
<p>Adjacent and confronting Property Owners mailing addresses</p>	
<p>Kevin and Catie O'Keefe 2749 CASSELY ST. SILVER SPRING, MD. 20910</p>	<p>John Shea Linh TRAN 2733 CASSELY ST. SILVER SPRING, MD 20910</p>
<p>Lawrence Smith 21 DEWITT COURT SILVER SPRING, MD 20910</p>	<p>THOMAS AND TSION SNIDER 2731 CASSELY ST. SILVER SPRING, MD 20910</p>
<p>Melinda CAMPOS 2737 CASSELY ST. SILVER SPRING, MD. 20910</p>	







15



Exterior & Interior Lists of Preservation Work Items
Power Plant, Music Hall & Fire Station
At National Park Seminary

This first list of work scope items enumerates interior items only, for your record. It is our understanding that all items on this list, although requiring approval from the Maryland Historic Trust, do not require review and approval by your office. Where relevant, I have included the Work Item number from the Detail Description of Proposed Rehabilitation/Preservation work which Karl Voglmayr sent to the Maryland Historic Trust for review and approval.

Interior Work

1. Interior Steel Columns and Beams (Work Item #21)
2. Interior Feature Fire Station; Library (Work Item #22)
3. Interior Feature Fire Station; Existing Stair (Work Item #23)
4. Interior Feature Fire Station; Layout (Work Item #24)
5. Interior Feature Fire Station; Existing Doors (Work Item #25)
6. Interior Structure: Wood Trusses (Work Item #26)
7. Interior Structure: Metal Tension Supports (Work Item #27)
8. Interior Finish: Vinyl Floor tile (Work Item #28)
9. Interior Finish: Plaster (Work Item #29)
10. Interior Finish: Wood Trim (Work Item #30)
11. Interior Service: Electrical (Work Item #31)
12. Interior Service: HVAC (Work Item #32)
13. Interior Service: Plumbing (Work Item #33)
14. Interior Feature: Accessibility (Work Item #34)
15. Interior Finish; Concrete Flooring (Work Item #37)
16. Interior Finish; Wood Flooring (Work Item #38)
17. Interior Structure; Concrete Slab (Work Item #39)
18. Interior Feature Music Hall: Existing Stair (Work Item #43)

This Next List includes items pertaining to the building's exterior or the site. These items include maintenance and repair items, items replacing and replicating in-kind original historic elements due to loss or extreme deterioration, and a few items which are new introductions into the preexisting historic fabric of the building. Where relevant, I have included the Work Item number from the Detail Description of Proposed Rehabilitation/Preservation work which Karl Voglmayr sent to the Maryland Historic Trust for review and approval.

Exterior Work

1. Music Hall Rear Portico (Work Item #1)
2. Music Hall South entrance (Work Item #2)
3. Exterior Window: Wood Original (Work Item #3)
4. External Shingles Music Hall (Work Item #4)
5. Music Hall front & side façade (Work Item #5)
6. Music Hall Front Wall and Concrete (Work Item #6)
7. Music Hall masonry wall (Work Item #7)
8. Music Hall Rear Courtyard (Work Item #8)
9. Music Hall Windows and Door (Work Item #9)
10. Courtyard Between Fire Station and Power Plant (Work Item #10)
11. Exterior Feature: Masonry; Brick, painted or bare (Work Item #11)
12. Exterior Feature; Roof; Rubber (Work Item #12)
13. Exterior Feature; Roof: Asphalt Shingles (Work Item #13)
14. Exterior Feature: Metal copings (Work Item #14)
15. Exterior Overhead Door at Fire Station (Work Item #15)
16. Exterior Asphalt Roof; Music Hall (Work Item #16)
17. Exterior Wooden Greek Columns (Work Item #17)
18. Accessibility (Work Item #18)
19. A/C Condenser Units (Work Item #19)
20. Exterior Feature; Stucco (Work Item #20)
21. Exterior Feature; Concrete Smoke Stack (Work Item #34)
22. Exterior Feature; Chimney (Work Item #35)
23. Exterior Feature: Ridge Ventilation (Work Item #40)
24. Exterior Feature: Lightning Rods (Work Item #41)
25. Exterior Feature: Painted Wood Balustrades (Work Item #42)
26. Exterior Feature: Brick Smoke Stack (Work Item #44)
27. Statues: (Work Item #45)

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: Music Hall Rear Portico	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A6.3 A6.4
The Columns and wooden entablature are in poor condition (Including the bridge and Turret). The columns are leaning outward (Currently reinforced with steel joists) and are damaged	1A,1B	
	Strip, sand, paint and replace the rotted wood with like kind of wood and repaint with Ben Moore paint.	

Work Item # 2

Architectural/Landscape feature: Music Hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A6.3, A6.4,
Concrete deck and balcony are in stable condition Grid mark 1-4 A6.3	2A,2B	(2)A7.2
	Replace pipe rails with mesh or similar including cable rail, paint and repair all surfaces, including masonry repairs, windows, door replacement window submittal to follow	
	Replace rails with mech rail as shown in 3-3 Lower rail to as shown in A6.4 including new louvers.	

Work Item # 3

Architectural/Landscape feature: Exterior Window :Wood original	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 3,- A,B,C,D	Drawing no. A10.1 to A10.5
<p>Majority of the windows are double hung, most are 1over1, 2over 2 and 4over 4</p> <p>All semi-circle fan light windows (or transom) including stained glass will need complete refurbishment.</p> <p>Removal & Strip condition</p>	<p>Original wood windows will be replaced in fair condition will be replaced as attached detail. We want to use Windsor window 7/8" short putty</p> <p>If missing completely or partially all care will be taken to replace or replicate missing components to Historical accuracy for all semi-circle windows, otherwise we will refurbish all semi-circle windows.</p>	

Work Item # 4

Architectural/Landscape feature: External Shingles Music hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 4A,4B	Drawing no.
<p>Wooden shingles are in poor condition</p> <p>Slate shingles are in poor condition</p> <p>Masonry walls are in poor condition</p> <p>Roof Frame are in poor condition</p>	<p>Replace wooden shingles with New Cedar shakes</p> <p>Replace slate shingles with synthetic slate(see ECO star LLC brochure)</p> <p>Gently remove existing masonry mortar, repair with mortar that is appropriate for historic bricks. Additionally, stone masonry shall be cleaned and restored in compliance with attached specification.#4-500</p> <p>Remove and reframe roof with dimensioned lumber for exact reproduction.</p>	

Work Item # 5

Architectural/Landscape feature: Music hall front + side facade	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 5A,5B	Drawing no. A6.1,A6.4
<p>The existing façade are in poor condition and are showing signs of deterioration.</p> <p>Important Note: Old Chimney location to be tuned into Entrance way needs immediate attention and is in a dangerous condition.</p>	<p>Repair or Replace the façade to historical accuracy</p> <p>Remove existing vegetation and restore to historical accuracy.</p>	

Work Item # 6

Architectural/Landscape feature: Music hall front wall and concrete	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 6A,6B	Drawing no. A7.2 & A8.11
<p>Front retaining wall, column and roof system are in poor condition</p>	<p>Remove concrete landing and straighten wall while needle and shoring front roof. See A8.11</p> <p>Replace concrete and rebuild front wall with structural factor.</p>	

Work Item # 7

Architectural/Landscape feature: Music hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A6.1 to A6.4
Side masonry wall of the music hall are in poor condition.	7A,7B	
	Remove, repair and rebuild the masonry wall by repurposing , clean and repoint brick.	

Work Item # 8

Architectural/Landscape feature: Music hall rear wall courtyard	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A6.1
The Stucco on frame wall is in poor condition and discolored due to aging	8A,8B	
	Repair and replace the stucco and add new pebble-dash stucco on the wall	

Work Item # 9

Architectural/Landscape feature: Music hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 9A,9B,9C,9D	Drawing no. A6.1 to A6.4
Windows and doors are in poor condition and are deteriorating.	Replace all windows and doors with simulated divided light windows with matching pattern(to original). Windsor clad or equal.	

Work Item # 10

Architectural/Landscape feature: Courtyard between Power Plant and Fire Station	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A2.0 to A2.4, S1.1
The concrete slab courtyard is overlooked on three sides by the power plant and fire house. Concrete slab is not salvageable or will require substantial replacement	A new concrete slab atop a new structural system will be constructed. Slab shall slope from southwest to northeast.	

(2)

Work Item # 11

Architectural/Landscape feature: Exterior, masonry: Brick, painted or bare	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 11A,11B	Drawing no. A6.1 to A6.4
<p>The fire station hose-drying stack is bare brick and in good condition.</p> <p>Basement level of the firehouse and areas of the side and rear of the firehouse were cloaked in pebble-dash stucco.</p> <p>Majority of the exterior walls of the firehouse are covered in smooth stucco different from the pebble-dash stucco along the lower level and rear portion of the fire house</p> <p>Stucco is in overall good condition with some cosmetic cracks</p>	<p>Smooth stucco on brick, or wood stud structure shall be cleaned and restored in compliance with the attached specification #03700 'Stucco Repair' and exterior plaster, restoration and cleaning</p> <p>New paint colors for stucco will co-ordinate with the main building.</p>	

Work Item # 12

Architectural/Landscape feature: Exterior, roofs: Rubber	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 12A,12B	Drawing no. A6.1 to A6.4
<p>Flat and sloping parts of the roof are rubber and in good to fair condition</p>	<p>All rubber roofing on the fire house will be replaced with fully adhered PVC with pebble pattern</p>	

Work Item # 13

Architectural/Landscape feature: Exterior, Roofs: Asphalt singles	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 13A	Drawing no. A6.1 to A6.4
<p>Asphalt shingles at the fire house are in fair condition. Greater than 1% asbestos, A few areas have the asphalt shingles loose or are missing.</p> <p>The shingles are diamond shapes.</p> <p>Asphalt Shingles at the Power plant are in fair condition. Greater than 1% asbestos, A few areas have shingles loose or are missing</p> <p>Roof leaks in a couple of spots</p>	<p>Existing asphalt shingles cannot be found. Closest resemblance with Certain-Teed Carriage Head "Georgian Brick"</p> <p>Replace Asphalt shingles with Certain-Teed Landmark "Silver Birch"</p> <p>Proposal to repair leak ASAP and replace the roof with proposed shingles</p>	

Work Item # 14

Architectural/Landscape feature: Exterior, windows, wood, replacement; Metal Copings	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 14A, 14B	Drawing no. A6.1 to A6.4
<p>Most windows in the fire house are replacement wood windows and are in poor condition.</p> <p>Existing metal coping range from good to poor condition</p>	<p>Replace the wood windows in the firehouse will be sized to the original openings</p> <p>Metal copings that are in good shape shall be sanded and restored. Bad sections shall be replaced with new metal copings and painted to match the building trim.</p>	

23

Work Item # 15

Architectural/Landscape feature: Exterior, Overhead Doors at Fire Station	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 15A	Drawing no. A6.1 to A6.4
<p>Metal and glass overhead door in the fire house south façade are not original.</p> <p>They are in fair condition. The motor on the eastern door stopped working in Nov,2006</p>	<p>Overhead doors are a historic feature distinct to a few buildings, including the fire house.</p> <p>Existing overhead doors will be removed and replaced with new aluminum frame overhead doors with patterned glass infill.</p> <p>The existing passage door in between the two overhead doors will be replaced with a full-view aluminum door coordinating with the new overhead door</p>	

Work Item # 16

Architectural/Landscape feature: Exterior, Asphalt roof: Music Hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 16A,16B	Drawing no. A6.1 to A6.4
<p>The covered entrance of the music hall has deteriorated asphalt shingles which leaks water.</p>	<p>Conduct emergency repair work to stop the leaks and prevent further damage to inside of the structures.</p> <p>Existing asphalt singles cannot be found.</p> <p>Replace with Simulated Slate Shingles Ecostar Majestic Slate "Federal Grey Blend"</p>	

Work Item # 17

Architectural/Landscape feature: Exterior; Wooden Greek Columns-Music Hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 17A	Drawing no. A6.1 to A6.4
The large wooden columns forming the façade of the Music hall is exposed with little or no paint remaining on the surface One of the columns on the far-right closet to the street has slightly shifted	Careful sanding of the remaining paint, restore the wooden columns, patch holes with wood epoxy, and repaint to original white color using exterior paint Move column back into proper alignment and stabilize footing	

Work Item # 18

Architectural/Landscape feature: Accessibility	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A2.1, A3.1
The current concrete loading ramp at the rear portico of the music hall is undesirable	The concrete ramp is to be removed and the edge of the concrete to be repaired and leveled.	

25

Work Item # 19

Architectural/Landscape feature: A/C Condenser units	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A3.1a
The existing water tank at the north entrance of the power plant will is currently overgrown with vegetation.		<p>The vegetation will be cleared from the north entrance of the power plant and a new concrete slab will be constructed over the existing water tank.</p> <p>A new bar grate floor will be erected above the A/C condenser with proposed wood screening</p>

Work Item # 20

Architectural/Landscape feature: Exterior Feature: Stucco	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
<p>Music Hall- The south and north entrance has pebble dash stucco. The stucco is deteriorating and discolored</p> <p>Power Plant- The Power plant has pebble- dash stucco on the exterior. The stucco is discolored and deteriorating</p> <p>Fire Station- The Fire Station has smooth stucco on its exterior apart from the rear side which has pebble dash stucco.</p>		<p>The stucco will be replaced with new pebble dash stucco</p> <p>Replace the stucco with new pebble dash stucco</p> <p>Replace the stucco with new smooth stucco.</p> <p>Stucco shall be removed and applied in compliance with attached specification #</p>

(20)

Work Item # 21

Architectural/Landscape feature: Interior, Structure : Steel Beams and Columns	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. S1.0 to S1.4
Steel beams support the concrete slab floors of the fire house. These beams are in good condition	Steel Beams in the fire station shall remain exposed to the units of the fire house.	

Work Item # 22

Architectural/Landscape feature: Interior Feature	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A3.1 to A3.2
The Fire station contains masonry hose-drying stack at the center of it's eastern façade. This hose-dry has a passage opening to the primarily bare red brick. At the second floor level a patch of concrete is exposed to the interior of the stack. Just beneath the roof in the north and south facades of the stack are two vent openings. These vents currently provide ventilation and some light to the interior of the stack. The stack is in good condition	<p>The stack shall be converted into a library. Library will have shelves on the interior of the eastern wall and a ladder to the south.</p> <p>The second floor shall have a passage opening cut into the western wall to provide access at this level.</p> <p>The red brick in the hose-dry stack is unpainted and will remain as such. It shall be cleaned and restored in compliance with attached specification #04500'Masonry Restoration and Cleaning'.</p> <p>Any repointing if necessary will match color and texture of existing mortar.</p>	

Work Item # 23

Architectural/Landscape feature: Interior Feature Fire Station: Existing Stairs	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A3.1
Existing stairwell connects first floor and second floor and are wood-frame runs of stairs	The existing stair-runs shall be protected and reused in the proposed plan	

Work Item # 24

Architectural/Landscape feature: Interior Fire Station: Layout and number of units	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A3.0 to A3.2
Existing space consists of basement level with walkout entrance. Main Floor divided by drywall into main area with the overhead doors. Adjacent room, followed by kitchen in the back	All three levels of the fire house will be reconfigured and partitioned to create three units each having 2 bedrooms. Each of the three units shall have entrance from the main level. Two additional stairways will be installed. One connecting main to basement, and another to connect the main and 2 nd floor, in addition to the existing stairwell	

Work Item # 25

Architectural/Landscape feature: Interior Feature Fire Station: Existing Door	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A3.0 to A3.4
A historic door with transoms will remain in the fire house. It is in fair condition	The historic door with transom will remain in its original location on the second floor leading to the existing bathroom.	

Work Item # 26

Architectural/Landscape feature: Interior Structure: Wood Trusses	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
Wood Trusses span the width of the building in the area above the power plant , music hall and fire station floor. These trusses support the roof as well as the balcony structures. The trusses are in good condition	Wood trusses in the Power plant, Music hall and fire will be uncovered and exposed to the units that should occupy what was the Power plant office. Any damaged trusses uncovered during demo shall be repaired and replaced.	

Work Item # 27

Architectural/Landscape feature: Interior Structure : Metal Tensions supports		Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907		<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:		Photo no.	Drawing no.
<p>Metal tension rods suspend from trusses in the area above the limits of the current day balcony provide structure for the balcony and it's associated live load.</p> <p>The tensions rods are in good condition</p>		The remaining metal tension rods shall be repaired in place and painted.	

Work Item # 28

Architectural/Landscape feature: Interior Finish: Vinyl Floor tile		Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907		<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:		Photo no.	Drawing no. A4.1 to A4.17
<p>At unknown dates, Vinyl composite tile was installed in many areas of the Music hall, Fire station</p> <p>Most of the tiles are in poor condition</p>		<p>Most of the tiles contains greater than 1% asbestos and or is in damaged condition</p> <p>All vinyl tile will be removed from the building</p>	

Work Item # 29

Architectural/Landscape feature: Interior Finish: Plaster	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A6.1 to A6.4
<p>A majority of the interior wall and ceilings of the music hall and fire station are constructed of wood studs and joists with lath and plaster finish</p> <p>All plaster is unsalvageable</p>	<p>Deteriorated wood lath and plaster through the music hall and fire station shall be removed from walls to remain and shall be replaced with gypsum board</p>	

Work Item # 30

Architectural/Landscape feature: Interior Finish: Wood trim	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A3.0 to A3.4
<p>Wood base trim, window trim and casing are present throughout and are in good to poor condition</p>	<p>Wood trim in good condition shall be salvaged and from walls schedules for demolition</p>	

Work Item # 31

Architectural/Landscape feature: Interior service: Electrical	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. E2.1 to E8.3
All electrical fixtures, wiring and service are unsalvageable. No fixtures have been characterized as historic	All existing electrical fixture, wiring and services shall be removed. New electrical fixtures, wiring and services shall be provided throughout the gymnasium	

Work Item # 32

Architectural/Landscape feature: Interior Service: HVAC	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. M2.1 to M6.1
Heat was originally provided via steam fed radiators that line the perimeter of the Music hall, Power plant and fire station. At an unknown date a forced air system with exposed and concealed duct was added to many portions of the Music hall and fire station	All steam pipe, ductwork, condensate lines and equipment will be removed. New forced air heating and cooling shall be installed. Concealed ductwork thru out. Bathroom fans for 2 nd floor units shall exit the building through penetrations in the roof. First floor through the exterior wall at the level of the 2 nd floor joist space.	

Work Item # 33

Architectural/Landscape feature: Interior Service: Plumbing	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. P2.1 to P6.1
All existing waste water and vent piping is unsalvageable	<p>All existing waste water and venting piping system will be removed.</p> <p>New plumbing, fixtures, equipment, and piping shall be provided throughout the gymnasium. Hot water will be provided via water heater in each unit. Plumbing vents shall penetrate the roof.</p> <p>New gas meter shall be installed</p>	

Work Item # 34

Architectural/Landscape feature: Accessibility	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. LS1.0 to LS1.4
Currently the Power plant, Music hall and fire station is not universally accessible. There is not universally acceptable ramp or elevator system other than stairs.	<p>A new external ramp shall be providing universal access to power plant and music hall.</p> <p>An internal elevator shall provide access to all floors</p>	

Work Item # 35

Architectural/Landscape feature: Exterior: Smoke Stack	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A5.1,10/A8.10
<p>The existing concrete smoke stack is filled with ash and other debris.</p> <p>The smoke stack is still in good condition.</p>	35A,35B	<p>The smoke stack will be cleaned and shortened.</p> <p>22' 8" from the top of the stack will be cut and capped with a metal cap.</p>

Work Item # 36

Architectural/Landscape feature: Exterior Feature; Music hall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no. A6.1 to A6.4
<p>The Chimney at the east elevation of the Music hall has vegetation growing through it and has left the chimney in a deteriorated state.</p> <p>The chimney has shown signs of failure and is in very poor condition</p>	36A,36B	<p>The chimney will be stabilized and the vegetation removed. The brick will be replaced and repoint.</p> <p>Masonry openings will be created in the chimney for a door.</p> <p>The chimney will be closed of using a metal cap.</p>

34

Work Item # 37

Architectural/Landscape feature: Interior Finish: Concrete Flooring	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
The Floors of the Power plant are made of concrete and are in good condition	The floors will be cleaned and new concrete will be poured in accordance to the plans. The floor will be polished and reused as flooring for the power plant units in accordance to the specification #3-300	

Work Item # 38

Architectural/Landscape feature: Interior Finish: Wood Flooring	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
The existing wood flooring of the power plant is in good condition and is salvageable. This wood flooring might have been a later addition to the power plant evidence being the concrete floor beneath the wood and the windows being cutoff at above it's sill.	The wood floor will be removed carefully and stored for use later. The wood will be cleaned and reused as flooring for the power plant units.	

Work Item # 39

Architectural/Landscape feature: Interior Structure: Concrete Slab	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
<p>The lower level of the Power plant and music hall are uneven and are in fair condition</p> <p>The Boilers and domestic tanks are placed on a concrete slab 1'0" above the floor of the lower level.</p>		<p>The lower level of the Power plant will be cleaned and new concrete will be poured.</p> <p>The new concrete will match the existing concrete bed in the lower level of the Power plant</p>

Work Item # 40

Architectural/Landscape feature: Ventilation	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 40A	Drawing no. A6.1
<p>The roof of the power plant have turbine vents on it and are in poor condition</p>		<p>The roof ventilators will be repaired or replaced in its original location.</p> <p>If repair is not possible detailed report will be provided to the MHT, and specifications will be provided for review and approval for replacement ventilators</p>

Work Item # 41

Architectural/Landscape feature: Lightning Rods	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 41A	Drawing no. A6.1
The current lighting rods are in poor condition	<p>The lightning rods will be repaired or replaced in its original location.</p> <p>If repair is not possible detail report will be provided to MHT, specifications will be provided for review and approval</p>	

Work Item # 42

Architectural/Landscape feature: Interior Feature Music Hall: Existing Stair	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 42A	Drawing no. A6.1
The wood balustrades on the balcony of the music hall are in fair condition and are salvageable.	<p>The wood balustrades will be removed carefully and replicated to original historic accuracy.</p> <p>The balustrades will be repaired and replaced with like kind of wood and painted.</p>	

Work Item # 43

Architectural/Landscape feature: Interior feature Music Hall: Existing Stair	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 43A	Drawing no. A6.1,2A7.2 A3.1
Existing stairwell connects first floor and second floor of the music hall and are wood-frame runs of stairs	The existing stair-runs shall be protected and reused in the proposed plan	

Work Item # 44

Architectural/Landscape feature: Exterior feature Music Hall: Smoke Stack	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1907	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 44A	Drawing no. A6.1,10A8.1
The brick Smoke stack at the power plant is in good condition. The condition inside the smoke stack is unknown	The smoke stack needs to be cleaned and repointed. A metal cap will be placed on top of the smoke stack.	



1A

(1)

1B



(59)



2A

②

2B



④



3A



3B

(4)

(3)



3C

④



3D

④

W



4A

(5)

4B



43

(5)



5A

6



5B

6

44



6A

7

6B



45

7



7A

8



7B

8*

46



8A

⑨



8B

⑨

④7



9A

10



9B

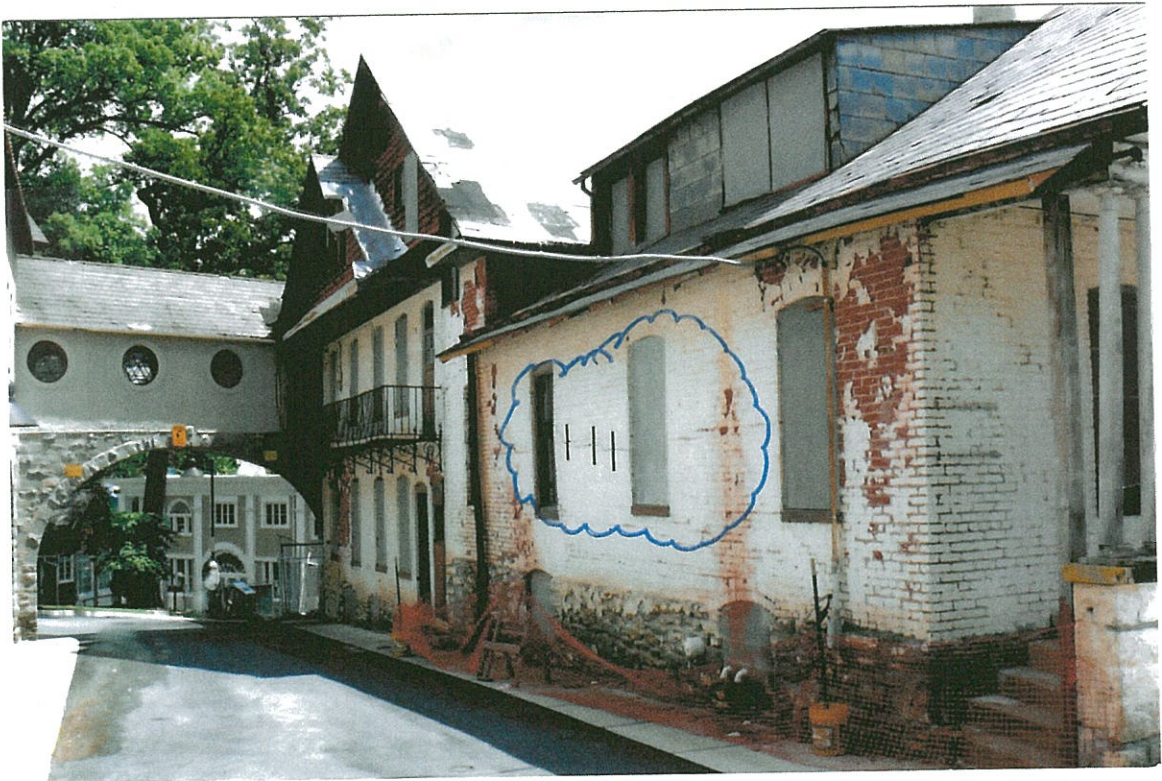
10.5

48



9C

⑪



9E

⑪*

49

12

50

12



11 A

13



11 E

13 G

51

11C

14



11D

57



12 A

15



12 B

53

15*

13A

CertainTeed
SAINT-GOBAIN



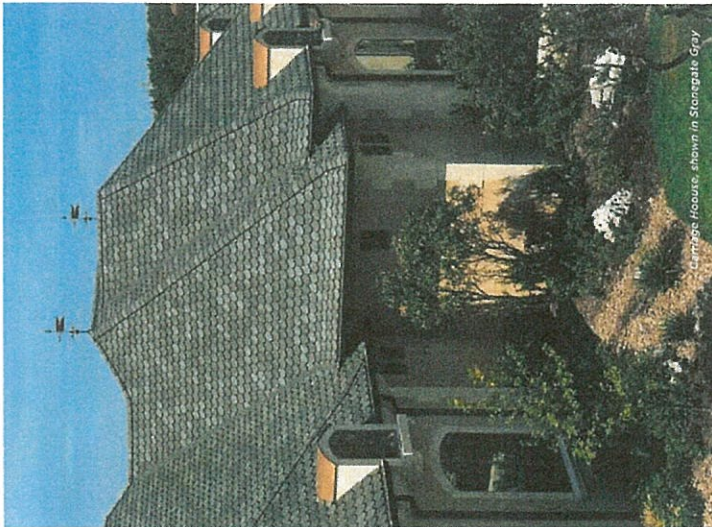
CARRIAGE HOUSE[®]

LUXURY ROOFING SHINGLES

54



Carriage House, shown in Georgian Brick



Luxury House, shown in Stonegate Gray

CARRIAGE HOUSE®
LUXURY SHINGLE

Perfect
Pitch in
the Grand
Style

The super-heavyweight shingle that offers premium performance and the pride and prestige of scalloped slate is a perfect solution for a steeply-pitched roof. A most unique shingle for a one-of-a-kind home.

Unique, scalloped edges that give the appearance of hand craftsmanship. Beautiful shadow lines provide unparalleled depth and richness.

SPECIFICATIONS

- Two full-size, fiber glass base shingles
- Unique chamfered cut for scalloped appearance
- Four-layer coverage when applied
- 350 lbs. per square

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

- Fire Resistance:**
- UL Class A
 - UL certified to meet ASTM D3018 Type 1
- Wind Resistance:**
- UL certified to meet ASTM D3018 Type 1
 - ASTM D3161 Class F
- Tear Resistance:**
- UL certified to meet ASTM D3462
 - CSA standard A123.5

- Wind Driven Rain Resistance:**
- Miami-Dade Product Control Acceptance: Please reference www.certainteed.com to determine approved products by manufacturing location.
- Quality Standards:**
- ICC-ES-ESR-1389 & ESR-3537

WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 15-year StreakFighter™ STREAK FIGHTER algae-resistance warranty
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required.

See actual warranty for specific details and limitations.

CARRIAGE HOUSE® COLOR PALETTE



Black Pearl



Brownstone



Colonial Slate



Gatehouse Slate



Georgian Brick



Sherwood Forest



Stonegate Gray



Victorian Blue



16

50



15A

57

~~17~~



16 A

18



16 B

58

~~18*~~

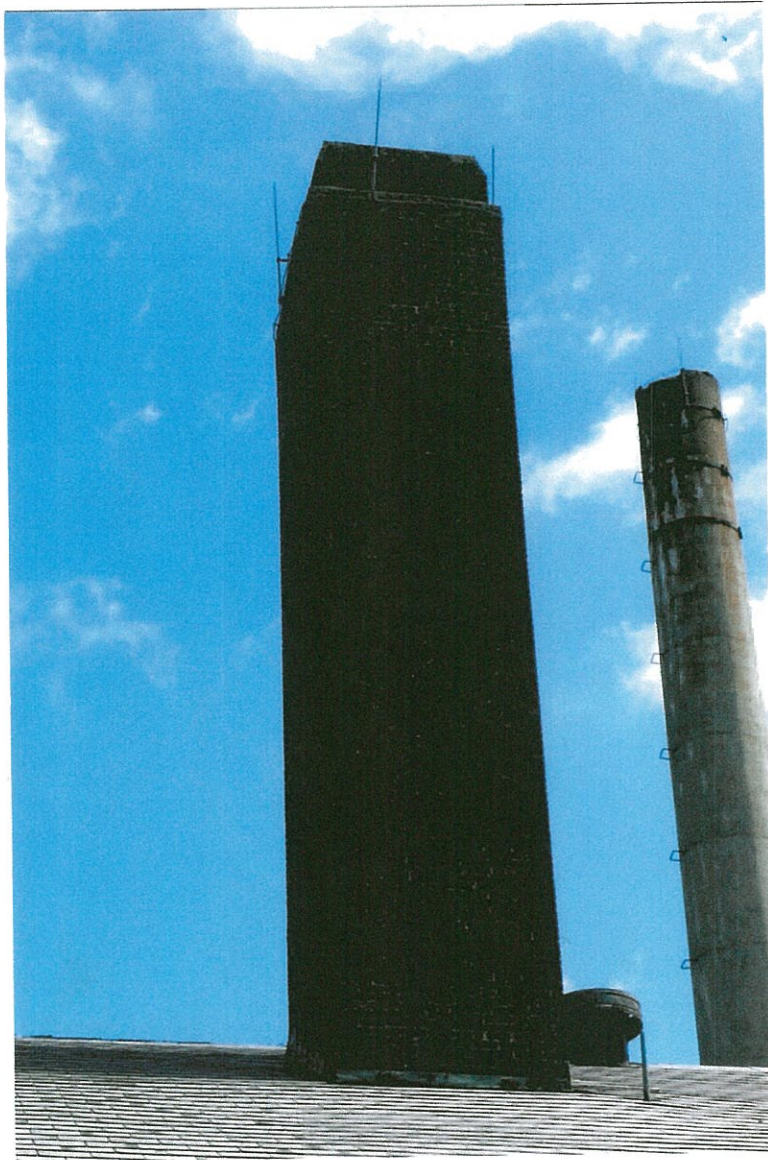


19

17A

59

~~19~~



35A



35B

68



36A



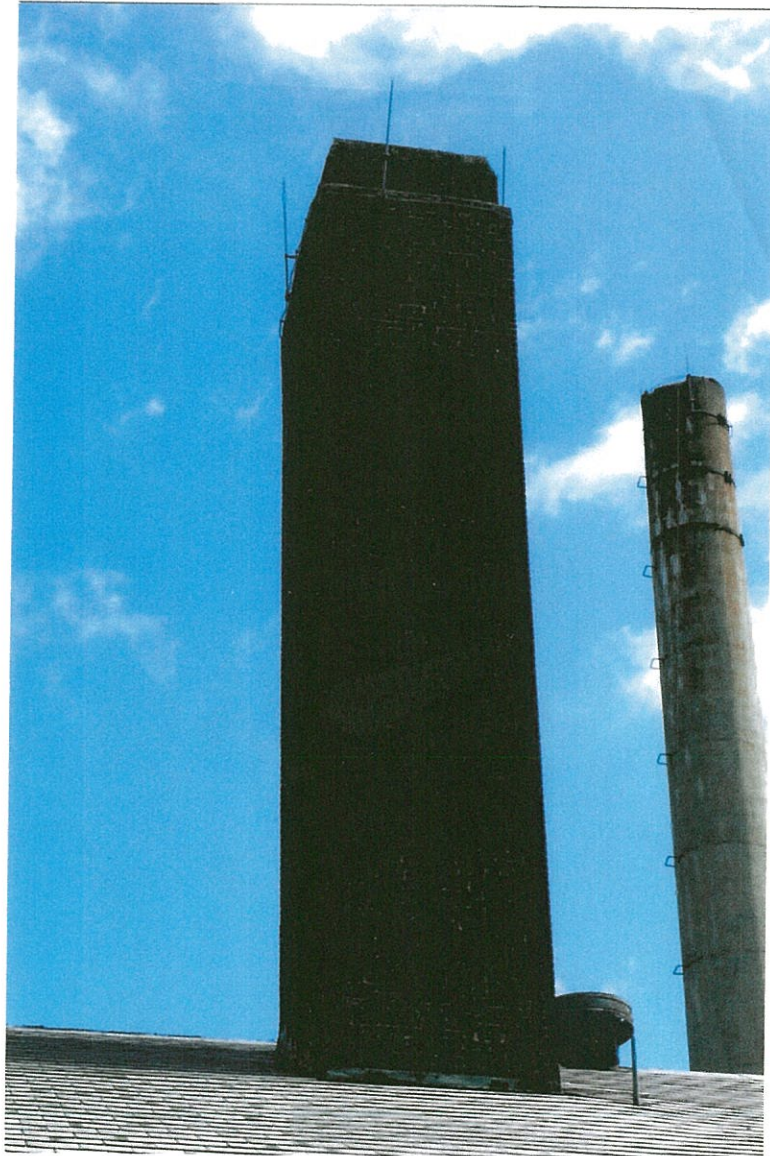
36B

(61)



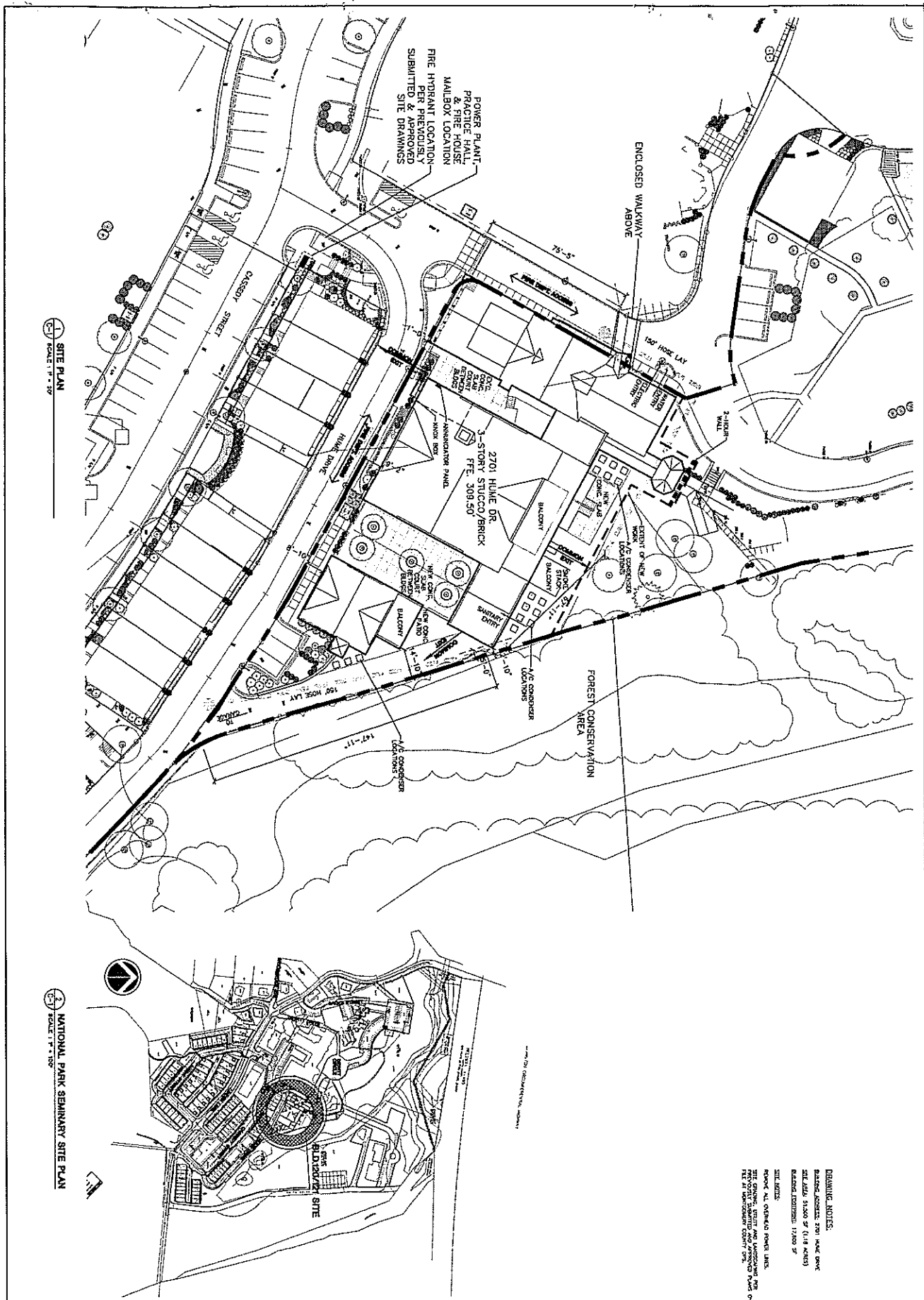
40A

82



44 A

63



1 SITE PLAN
SCALE: 1" = 20'

2 NATIONAL PARK SEMINARY SITE PLAN
SCALE: 1" = 100'

DRAWING NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

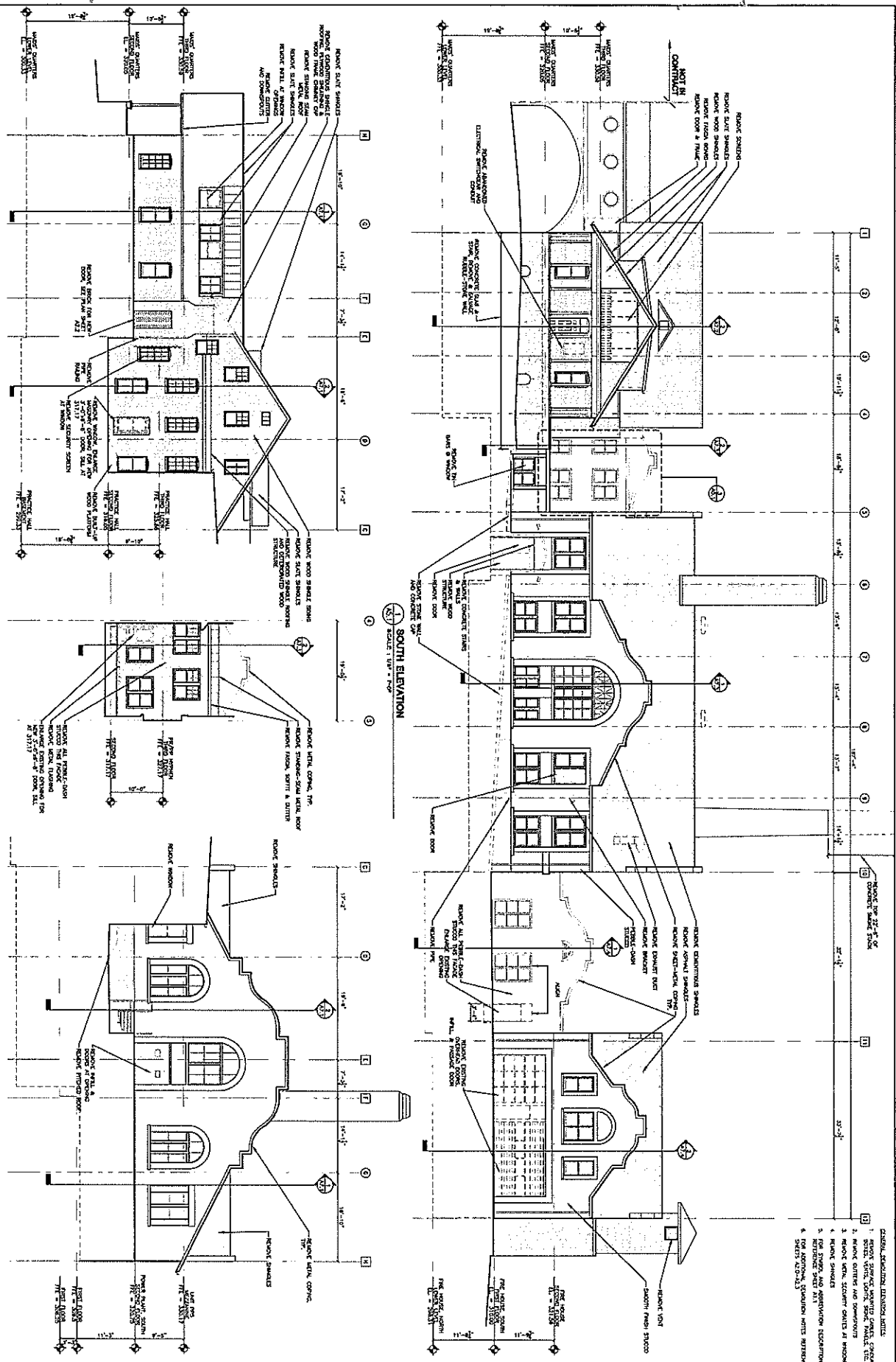
C1
 SHEET NO.
 PROJECT NO. 04-579

SITE PLAN	
DRAWN/ASK	APPR.
MEASURED DRAWINGS	
SCHEMATIC DESIGN	
CONCEPT DEVELOPMENT	
CONST. DOC. DEVELOPMENT	
CONTRACT DOCUMENTS SET	04-12-17

**NATIONAL PARK SEMINARY
 POWER PLANT, PRACTICE
 HALL, AND FIREHOUSE
 BUILDINGS #120 & #121
 2701 HUME DRIVE
 SILVER SPRING, MARYLAND**

Architecture, Planning, & Construction
POWER PLANT AT NPS LLC
 4710 BAYARD BOULEVARD
 BETHESDA, MARYLAND 20816
 TELEPHONE: 202-439-7701
 FAX: 301-320-0701

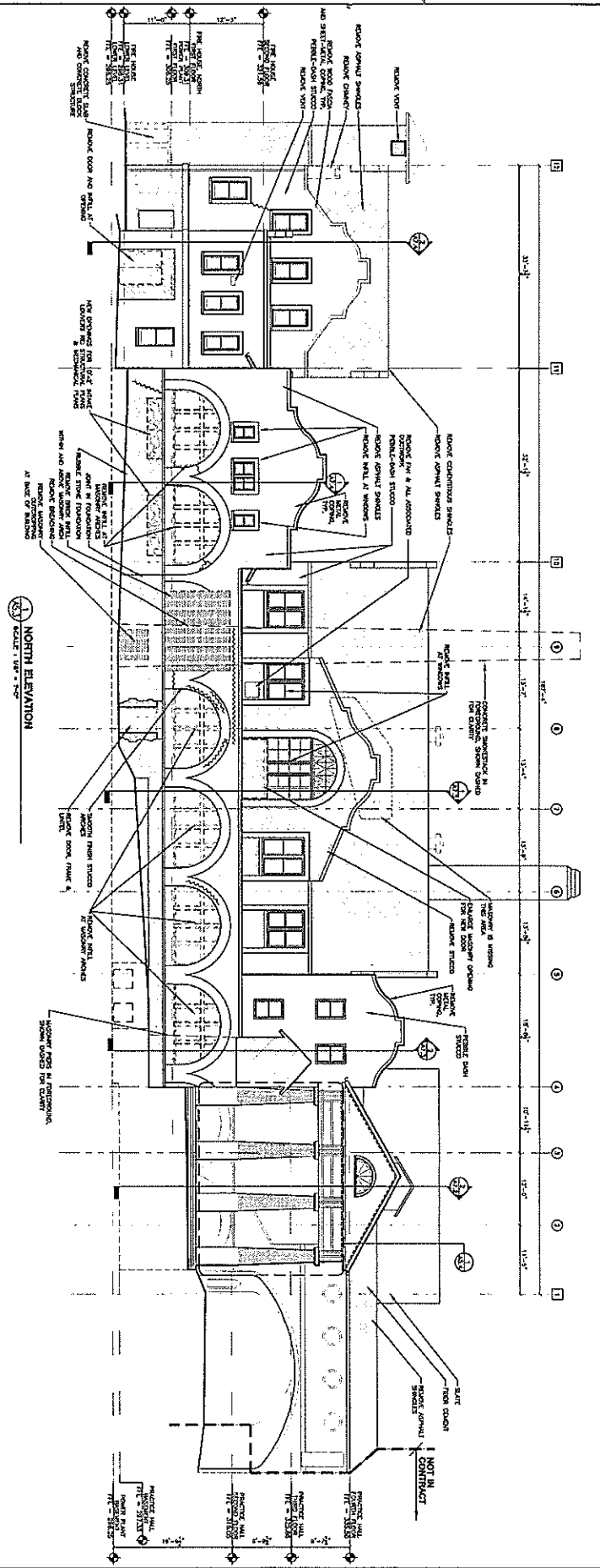
59



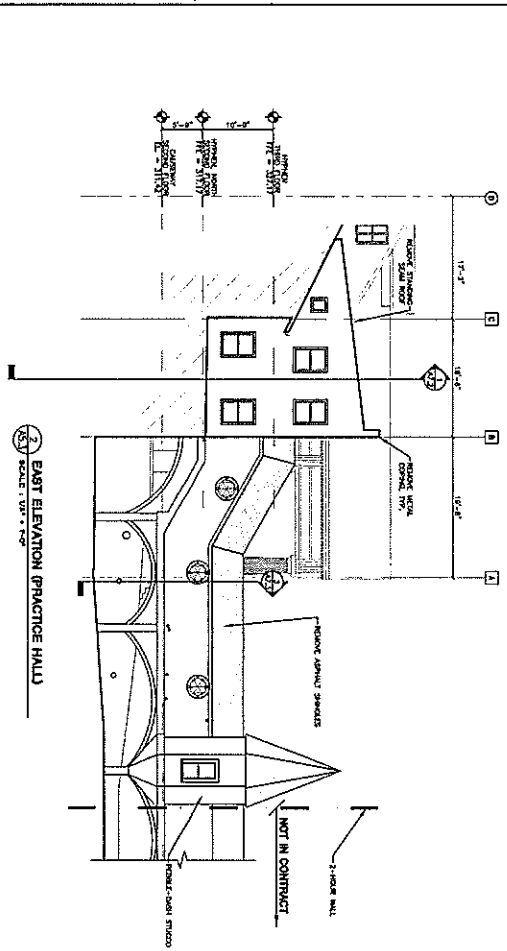
- DATE: DEMOLITION ELEVATION LISTS
1. REMOVE SPECIFIC WINDOW CASES, CORNICES, SIZES, VENTS, LOOPS, STAIR, BALUST, ETC.
 2. REMOVE CORNICES AND CORNERPIECES
 3. REMOVE BRICK SCREENER CORNICES & WINDOWS
 4. REMOVE SHINGLES (REPAIR/REPLACE EXISTING)
 5. REMOVE/REPLACE SILL AT ALL WINDOWS
 6. FOR APPROVAL, SUBMIT WITH MATERIALS SHEETS (20-21)

Handwritten initials/signature

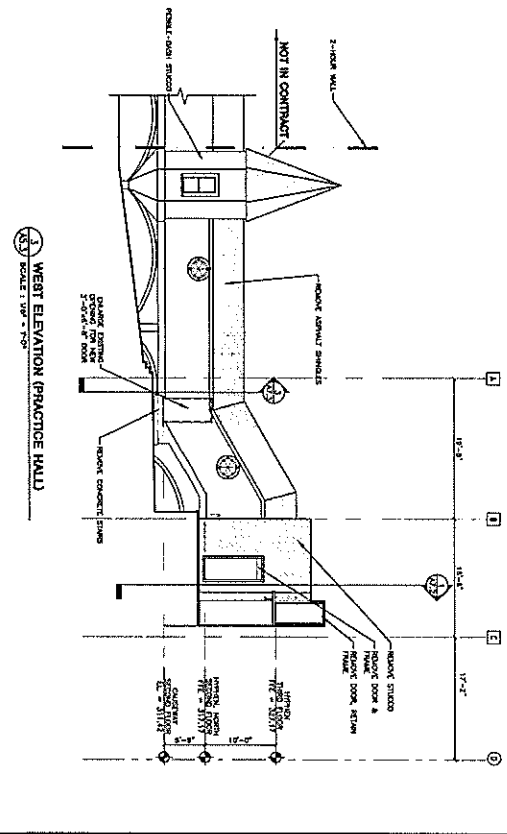
A5.1	PROJECT NO. 04-579	NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND	Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	SHEET NO.		



21 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



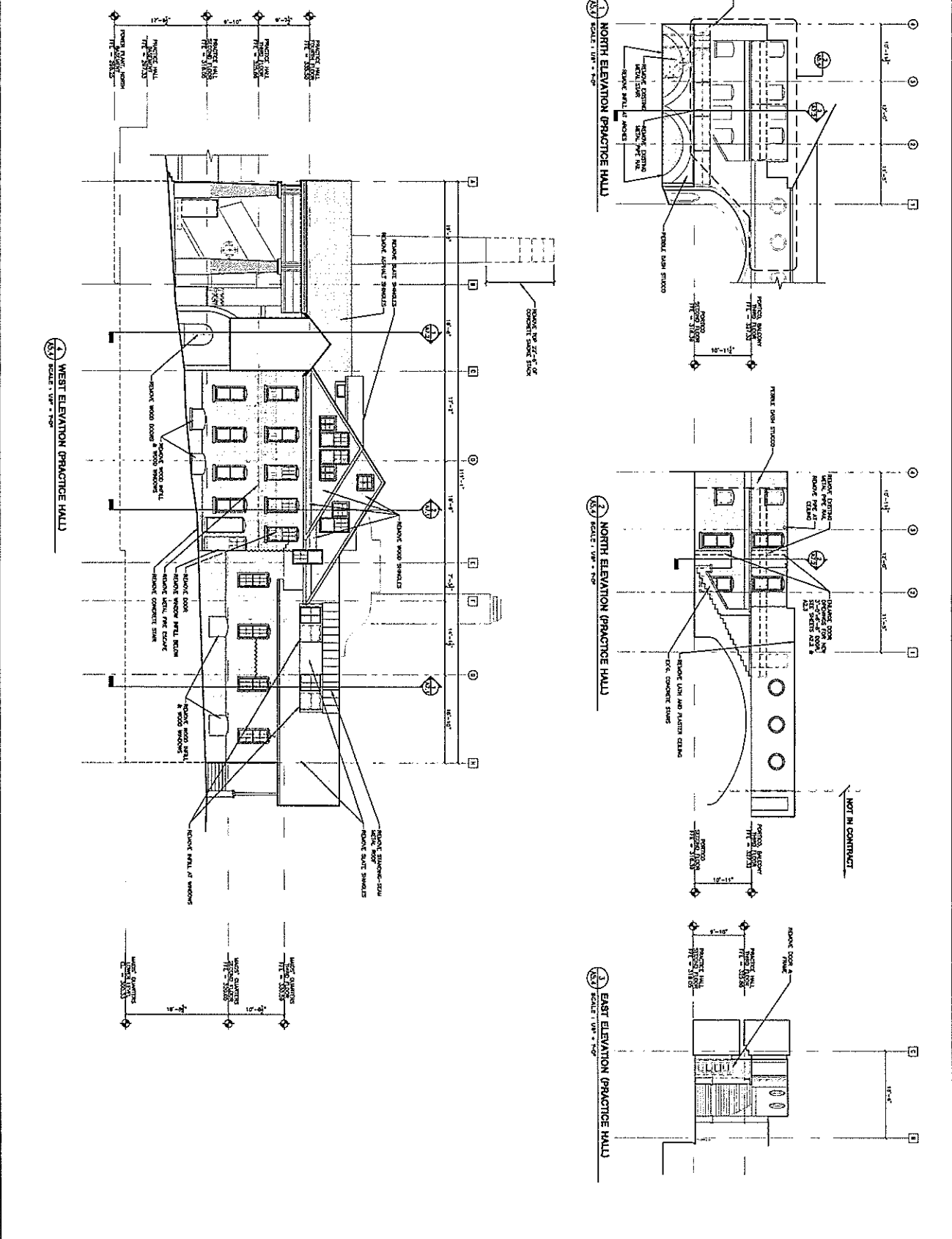
22 EAST ELEVATION (PRACTICE HALL)
SCALE: 1/8" = 1'-0"



23 WEST ELEVATION (PRACTICE HALL)
SCALE: 1/8" = 1'-0"

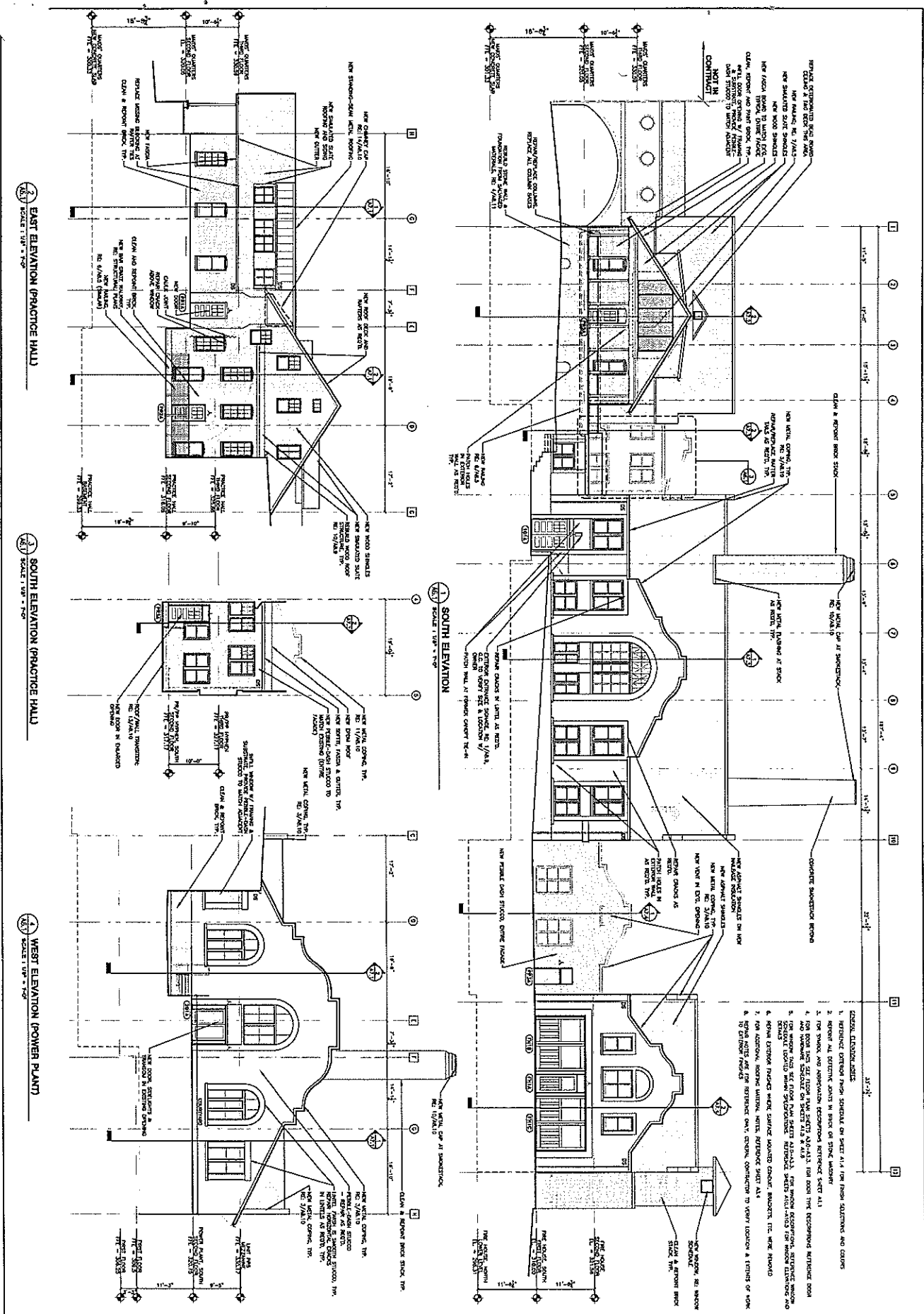
<p>A5.3</p>	<p>PROJECT NO. 04-579</p>	<p>NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND</p>	<p>Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701</p>
	<p>DEMO/BLASK LAPPRL</p>		
	<p>MEASURED DRAWINGS</p>		
	<p>CONTRACT DOCUMENTS SET</p>		

7



A5.4 SHEET NO.	DEMOLITION ELEVATIONS DRAWN: ASK APPR: [] DESIGNED: [] CHECKED: [] CONTRACT DOCUMENTS SET		NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND	Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	PROJECT NO. 04-579	DATE: 04-11-17		

72



6.1 EAST ELEVATION (PRACTICE HALL)
SCALE: 1/8" = 1'-0"

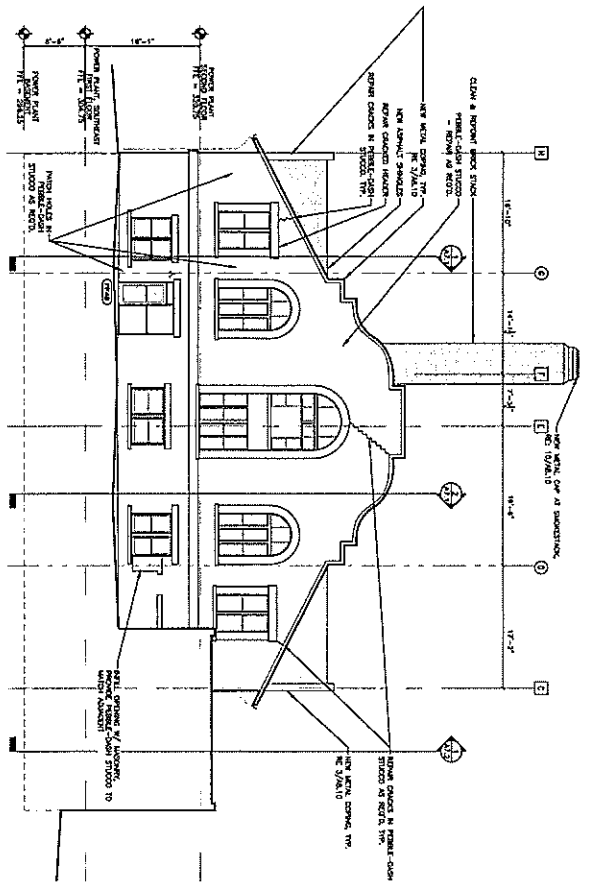
6.2 SOUTH ELEVATION (PRACTICE HALL)
SCALE: 1/8" = 1'-0"

6.3 WEST ELEVATION (POWER PLANT)
SCALE: 1/8" = 1'-0"

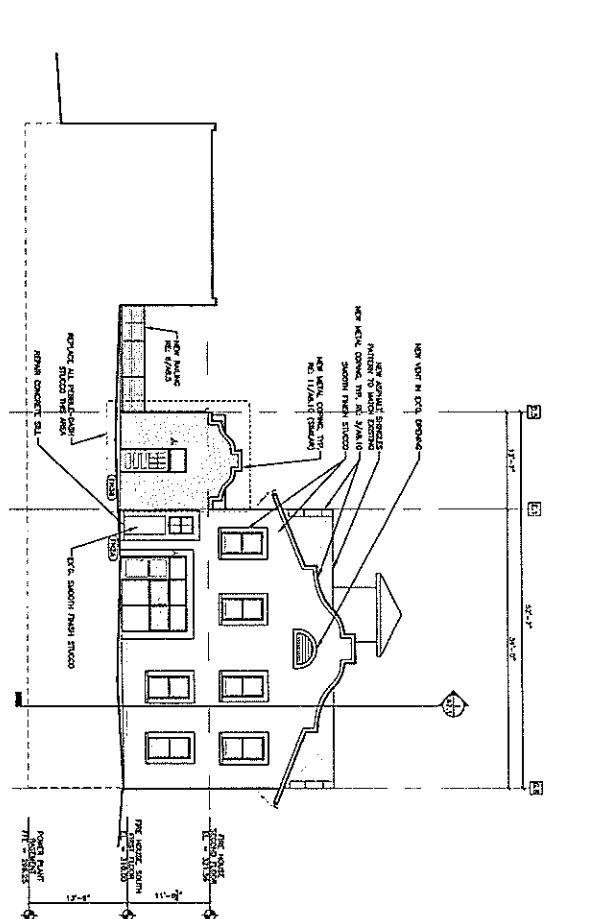
- GENERAL ELEVATION NOTES**
1. REFERENCED ELEVATION FROM SHEET A-1.1 FOR FINISH SCHEDULE AND COLORS
 2. REFER TO DETAILING SHEET IN BOOK OF SPECIFICATIONS
 3. FOR SYMBOLS AND ABBREVIATIONS REFER TO SHEET A-1.1
 4. FOR ROOM AND SET POINTS REFER TO SHEET A-1.1 FOR ROOM SCHEDULES, STRUCTURE ROOM
 5. FOR WINDOW TYPES REFER TO SHEET A-1.1 FOR WINDOW SCHEDULES
 6. REFER TO SHEET A-1.1 FOR WINDOW SCHEDULES
 7. FOR WINDOW TYPES REFER TO SHEET A-1.1 FOR WINDOW SCHEDULES
 8. REFER TO SHEET A-1.1 FOR WINDOW SCHEDULES
 9. REFER TO SHEET A-1.1 FOR WINDOW SCHEDULES
 10. REFER TO SHEET A-1.1 FOR WINDOW SCHEDULES

73

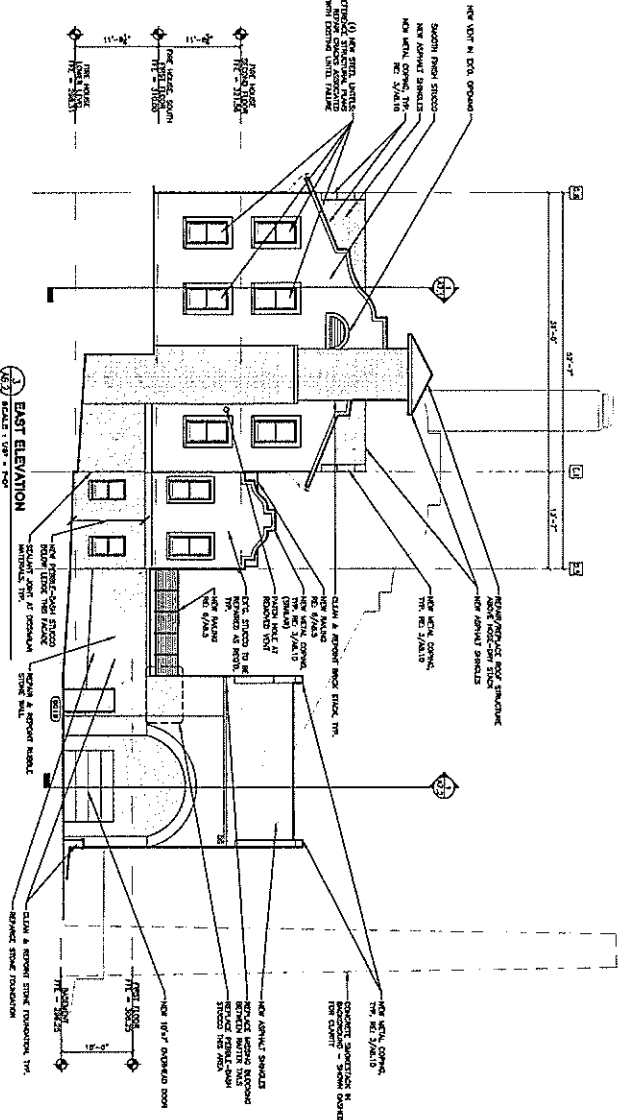
A6.1 SHEET NO.	BUILDING ELEVATIONS DRAWN: [] APPR: [] UNENLARGED DRAWINGS SCHEMATIC DESIGN RECORD DOCUMENT SET CONST. DOC. SET/OFF SET CONTRACT DOCUMENTS SET	NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND	Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	PROJECT NO. 04-579		



1 EAST ELEVATION (POWER PLANT)
SCALE: 1/8" = 1'-0"



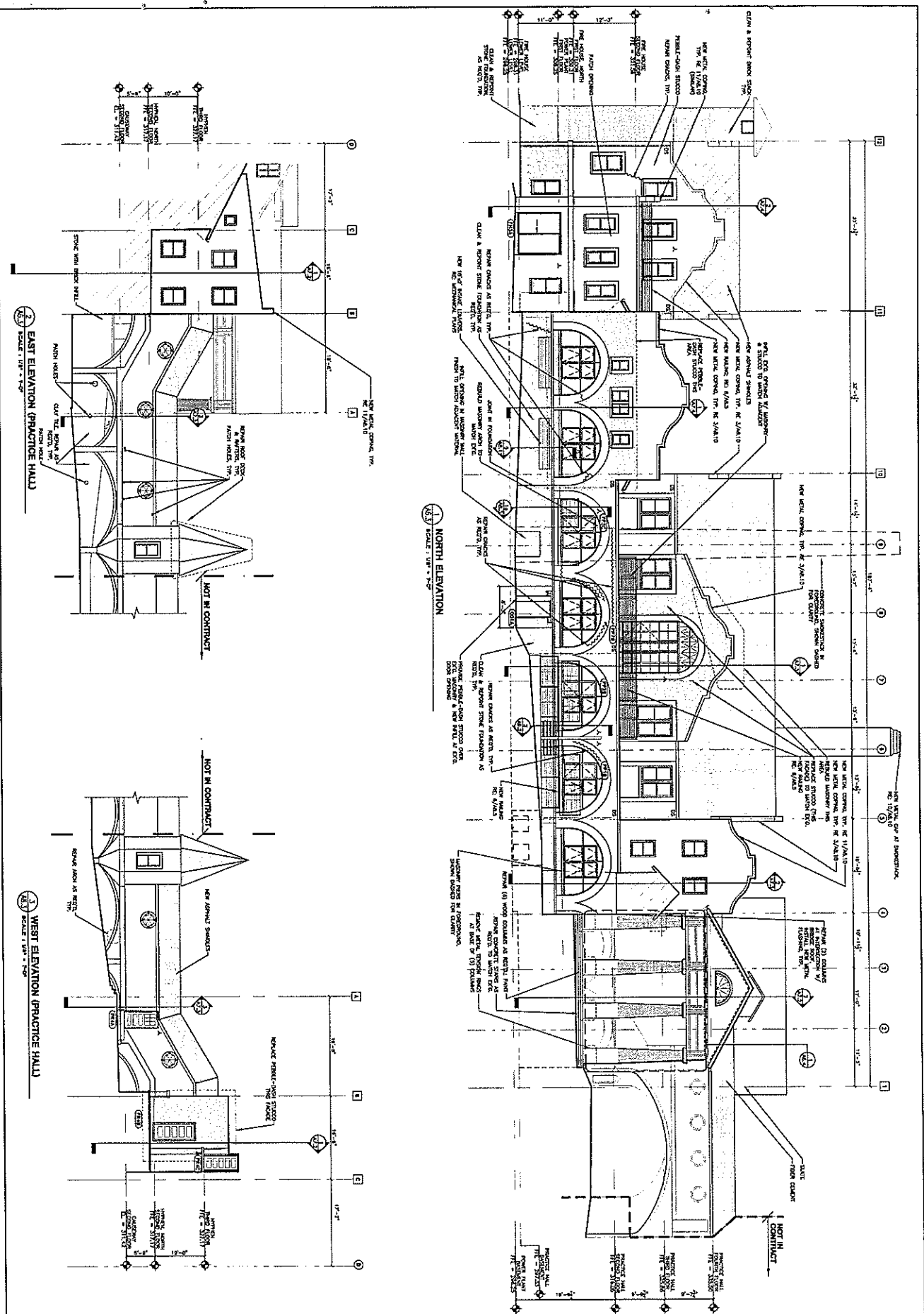
2 WEST ELEVATION (FIREHOUSE)
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

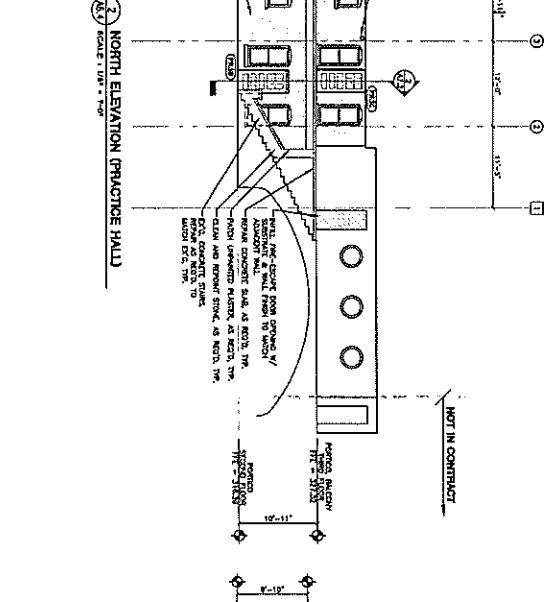
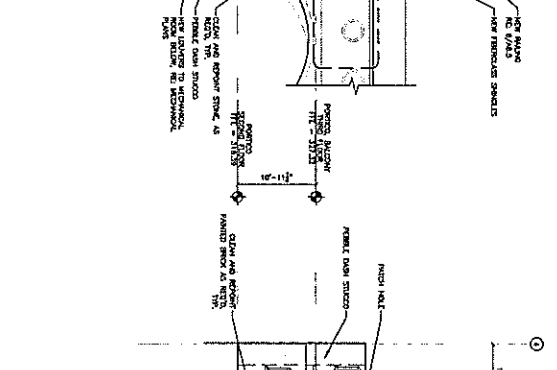
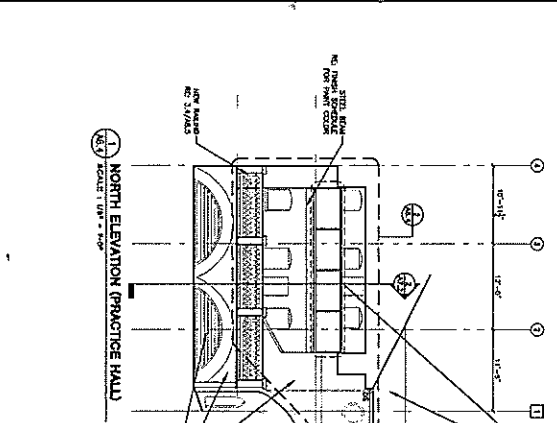
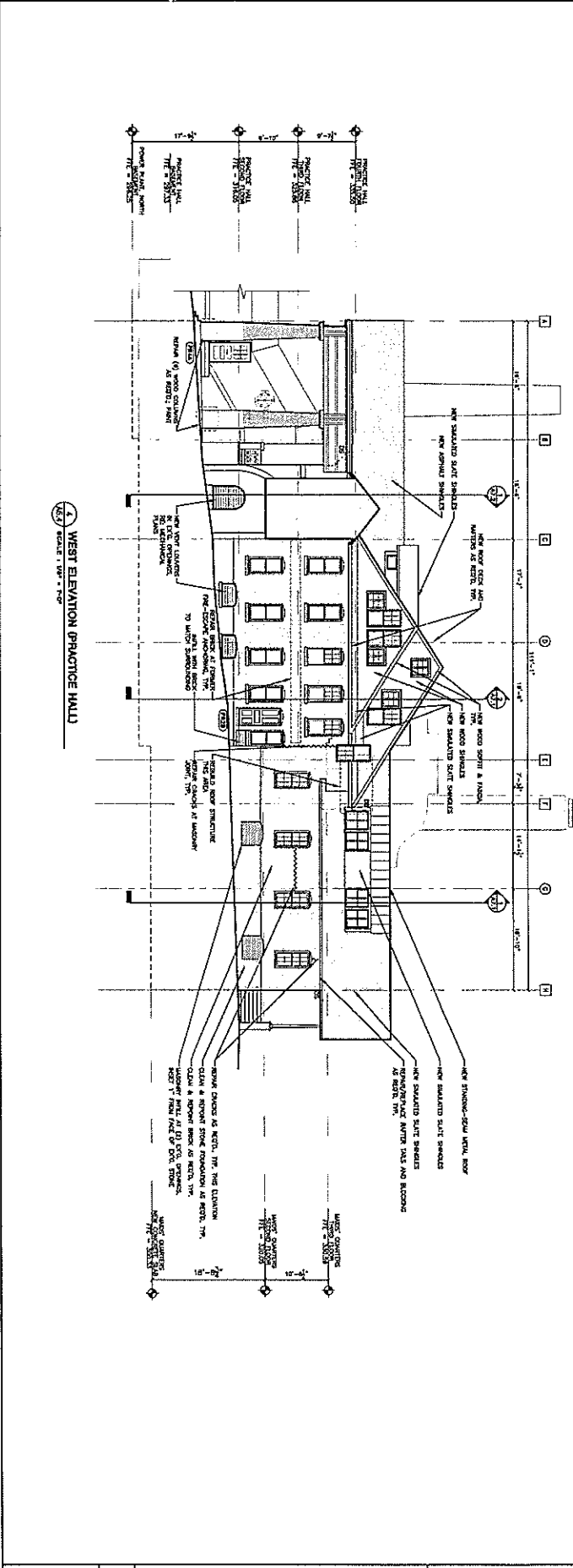
<h1 style="margin: 0;">A6.2</h1>	BUILDING ELEVATIONS	NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND	Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	DRAWN: ASK APPR.:		
	MEASURED DRAWINGS		
	SCHEMATIC DESIGN		
	DESIGN DEVELOPMENT		
CONCEPT DOC. SET/CDP. SET	04-10-17		
CONTRACT DOCUMENTS SET			
PROJECT NO. 04-579			
SHEET NO.			

74



A6.3	BUILDING ELEVATIONS	NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND	Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	DRAWN: ASK		
	MEASURED DRAWINGS		
	SCHEMATIC DESIGN		
	CLIENT DEVELOPMENT		
PROJECT NO. 04-579			
SHEET NO.			

75



AG.4

BUILDING ELEVATIONS	
DRAWN: ASK	APPR.: [Blank]
MEASURED DRAWINGS	
SCHEMATIC DESIGN	
LOCATION DEVELOPMENT	
CONST. DOC. DEVELOPMENT	
CONTRACT DOCUMENTS SET	04-13-17
CONTRACT DOCUMENTS GET	

**NATIONAL PARK SEMINARY
POWER PLANT, PRACTICE
HALL, AND FIREHOUSE
BUILDINGS #120 & #121
2701 HUME DRIVE
SILVER SPRING, MARYLAND**

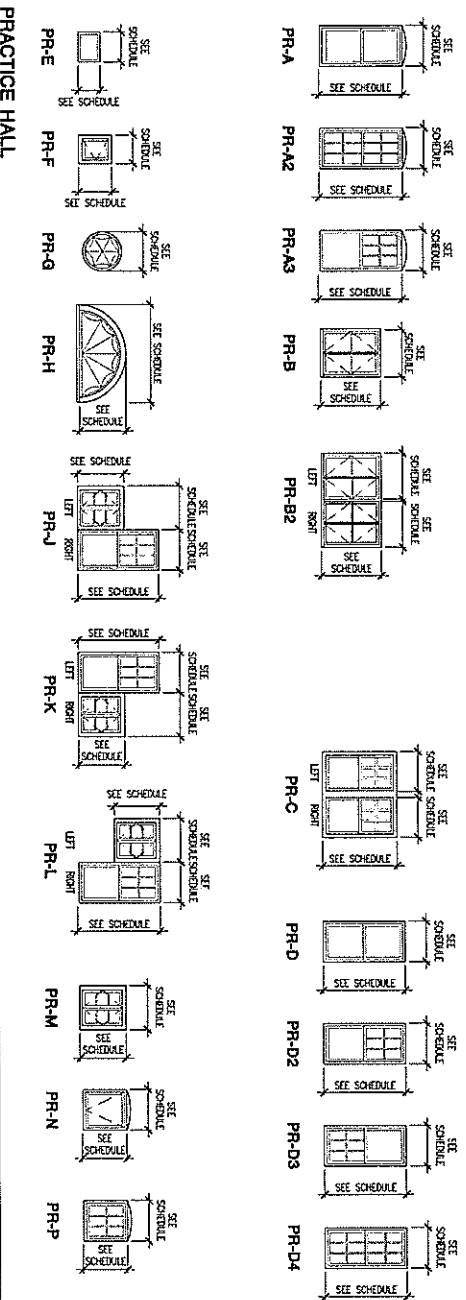
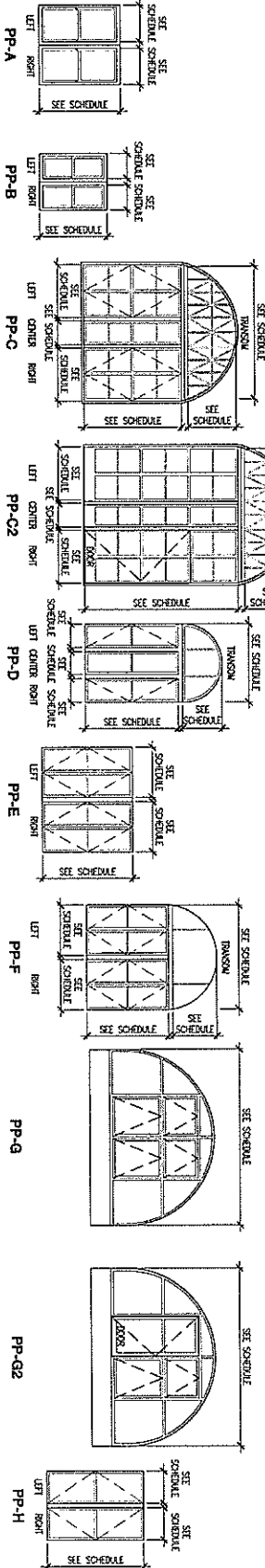
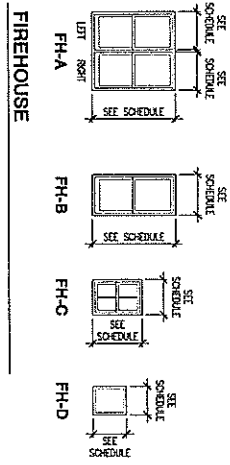
Architecture, Planning, & Construction
POWER PLANT AT NPS LLC
4710 BAYARD BOULEVARD
BETHESDA, MARYLAND 20816
TELEPHONE: 202-439-7701
FAX: 301-320-0701

SHEET NO.

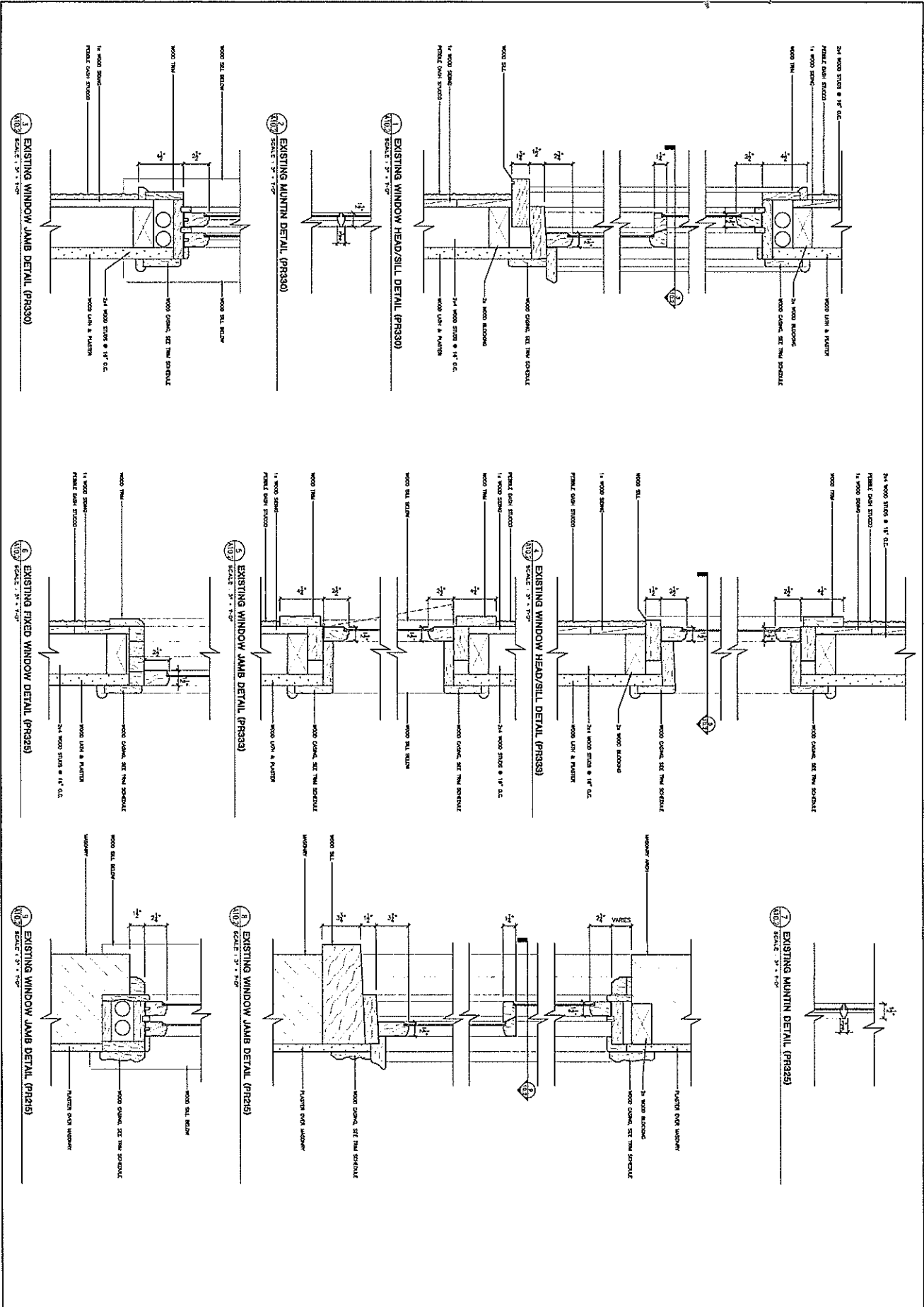
(80)

18

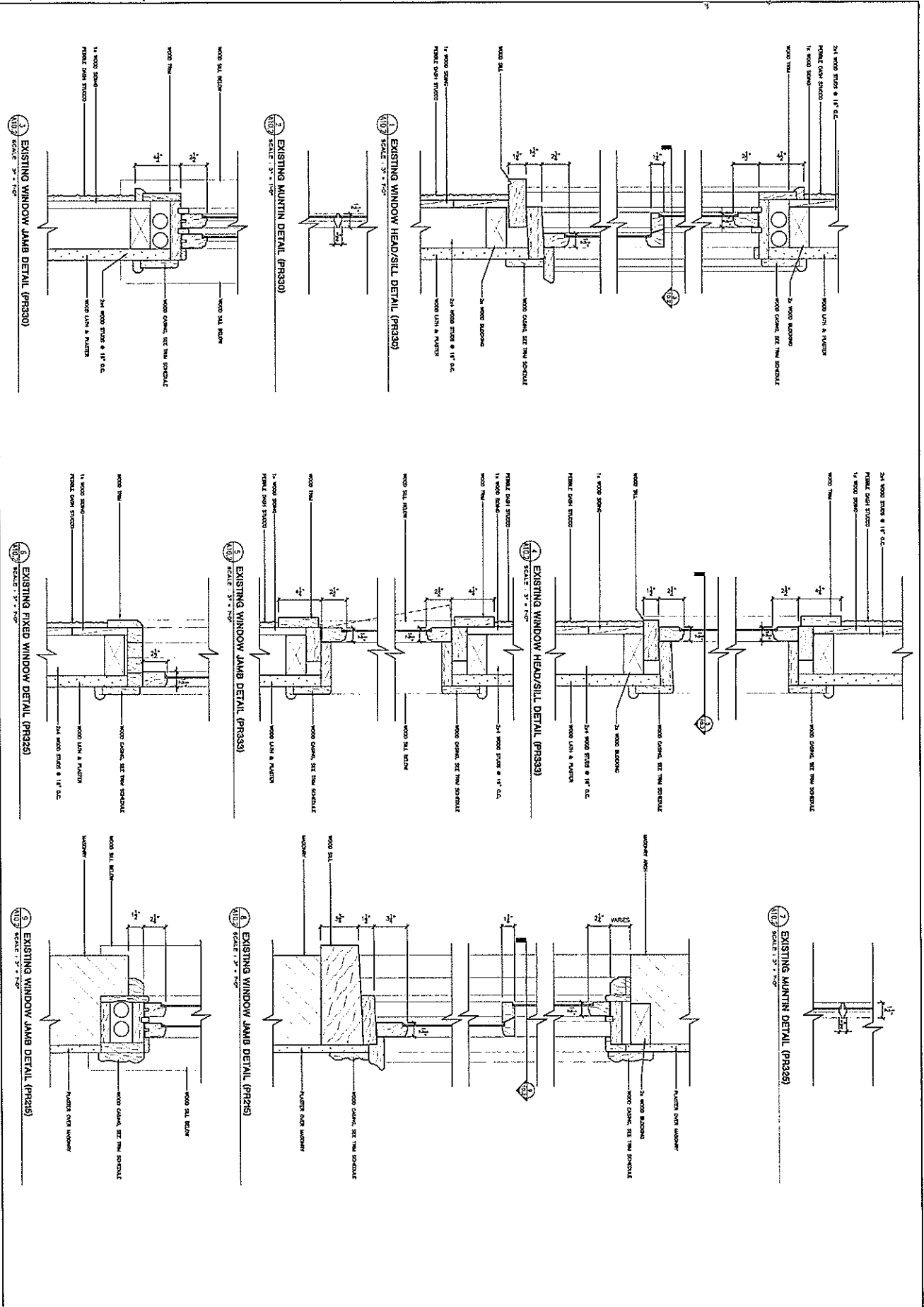
GENERAL NOTES
1. GENERAL REPRESENTATION ENTIRE VIEW OF
WORKING



SHEET NO. 04-579	WINDOW ELEVATIONS	NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND	Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	DRAWN: DZ APPR.: JFB		
PROJECT NO. A10.1	MEASURED DRAWINGS	CONTRACT DOCUMENTS SET	DATE: 04-17-11
	SCHMATING DESIGN		
	DESIGN DEVELOPMENT SET		
	CONST. DOC. DEVELOPMENT SET		
	CONTRACT DOCUMENTS SET		

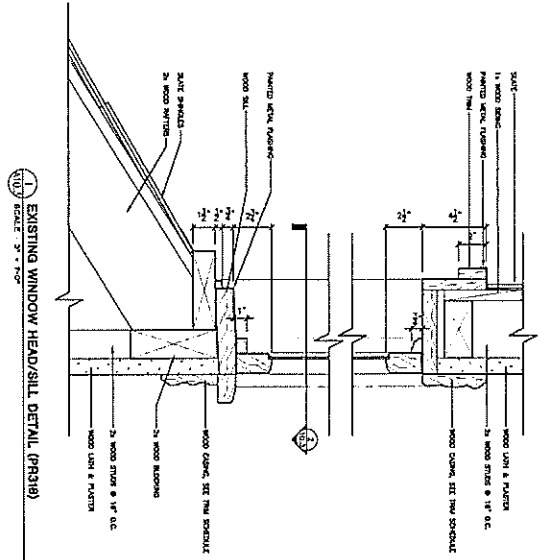


<p>A10.2</p> <p>SHEET NO.</p> <p>PROJECT NO. 04-579</p>	<p>WINDOW DETAILS</p>		<p>NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND</p>	<p>Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701</p>
	<p>DRAWN: GZ</p>	<p>APPR.:</p>		
	<p>MEASURED DRAWING</p>	<p>SCHEMATIC DESIGN</p>		
	<p>CONTRACT DOCUMENTS SET</p>	<p>CONTRACT DOCUMENTS SET</p>		
	<p>DATE: 04-11-97</p>	<p>DATE: 04-11-97</p>		

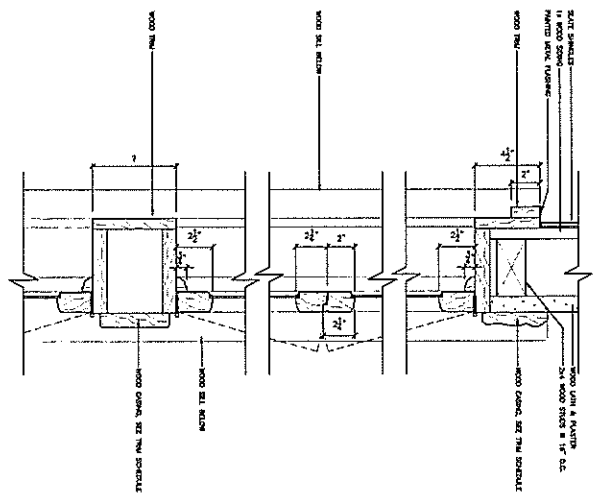


83

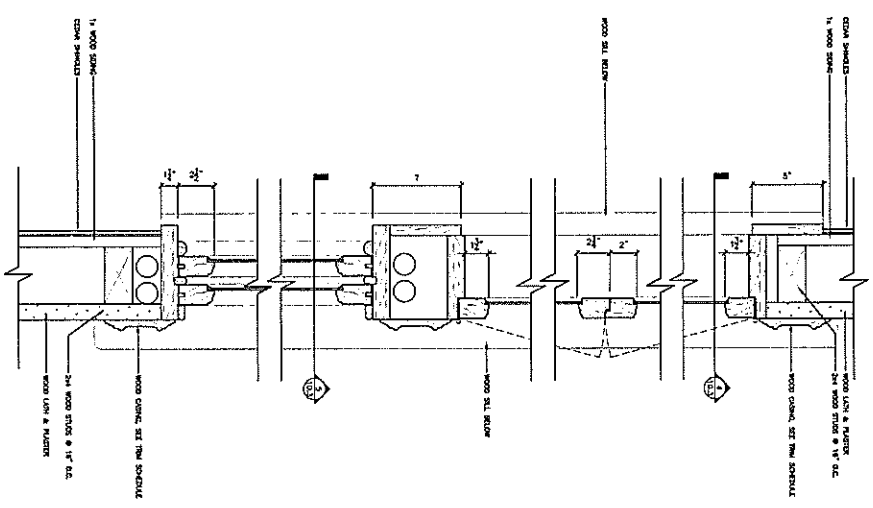
<p>A102</p> <p>SHEET NO.</p> <p>PROJECT NO. 04-579</p>	<p>WINDOW DETAILS</p>		<p>NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND</p>	<p>Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701</p>	
	<p>DRAWN: DZ</p>	<p>APPR.:</p>			<p>MEASURED DRAWINGS</p>
	<p>SCHEMATIC DESIGN</p>	<p>DESIGN DEVELOPMENT</p>			<p>CONCEPT DEVELOPMENT SET</p>
	<p>CONTRACT DOCUMENTS SET</p>	<p>04-12-97</p>			<p>04-12-97</p>
	<p>04-12-97</p>	<p>04-12-97</p>			<p>04-12-97</p>



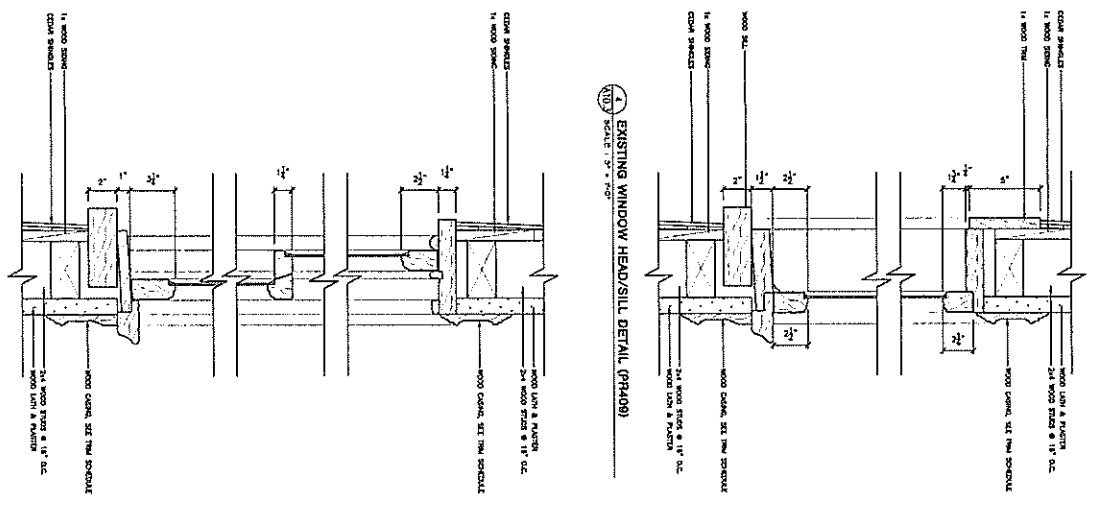
EXISTING WINDOW HEAD/SILL DETAIL (PR318)
SCALE: 3/4" = 1'-0"



EXISTING WINDOW JAMB DETAIL (PR318)
SCALE: 3/4" = 1'-0"



EXISTING WINDOW JAMB DETAIL (PR408, PR409)
SCALE: 3/4" = 1'-0"



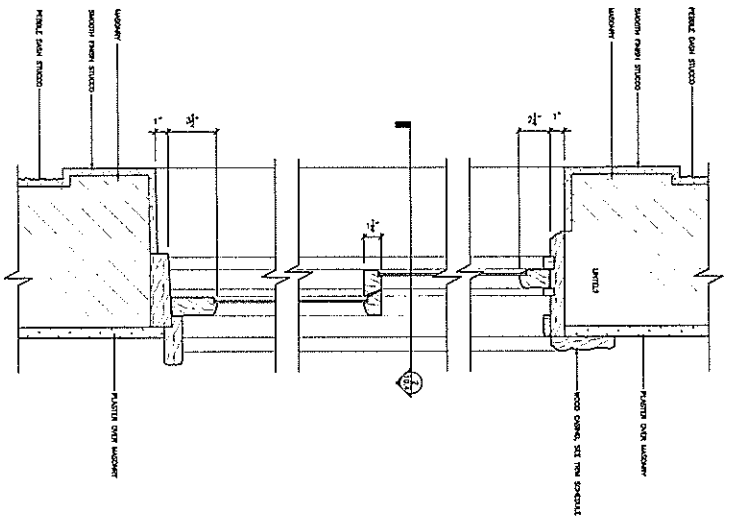
EXISTING WINDOW HEAD/SILL DETAIL (PR408)
SCALE: 3/4" = 1'-0"

EXISTING WINDOW HEAD/SILL DETAIL (PR409)
SCALE: 3/4" = 1'-0"

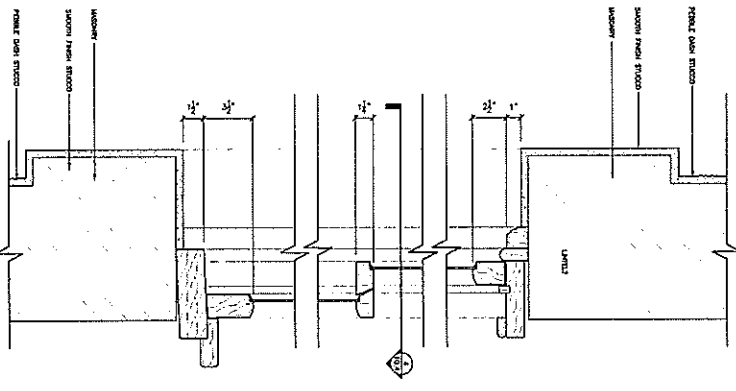
58

A10.3	WINDOW DETAILS	NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND		Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701
	DRAWN BY	APPR.		
	MEASURED DRAWINGS			
	SCHEMATIC DESIGN			
	DESIGN DEVELOPMENT			
CONTRACT DOCUMENT SET				
PROJECT NO.	04-579			
SHEET NO.				

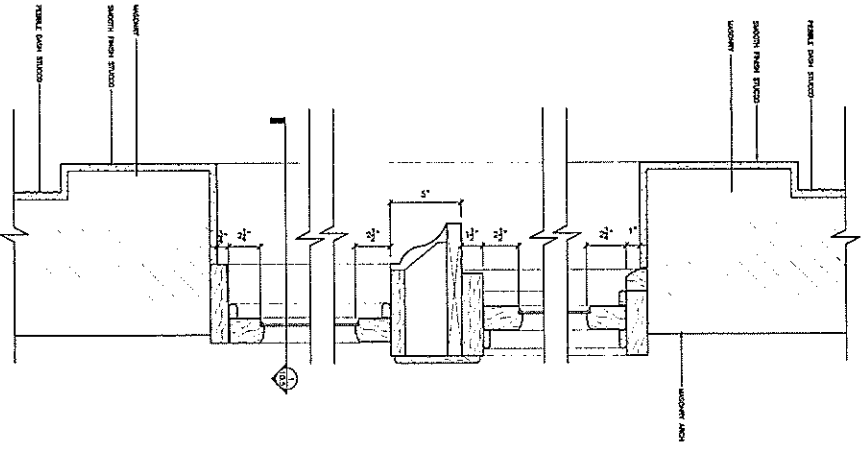
85



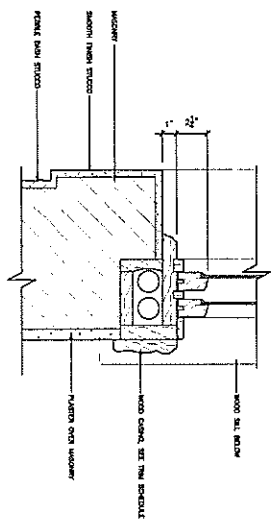
109 EXISTING WINDOW HEAD/SILL DETAIL (FIREHOUSE)
SCALE: 3/4" = 1'-0"



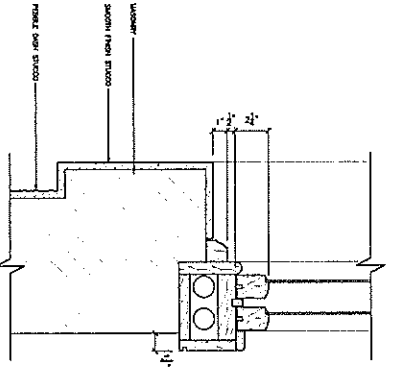
110 EXISTING WINDOW HEAD/SILL DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"



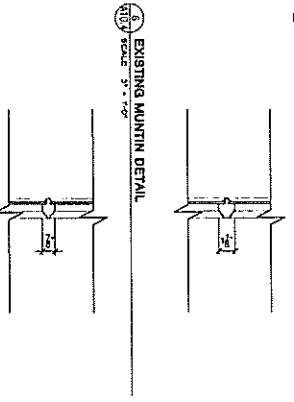
111 EXISTING WINDOW HEAD/SILL DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"



112 EXISTING WINDOW JAMB DETAIL (FIREHOUSE)
SCALE: 3/4" = 1'-0"

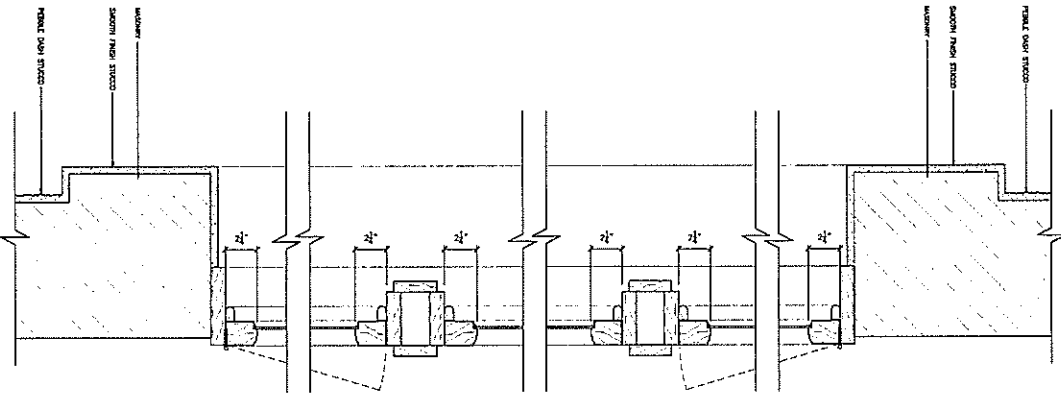


113 EXISTING WINDOW JAMB DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"

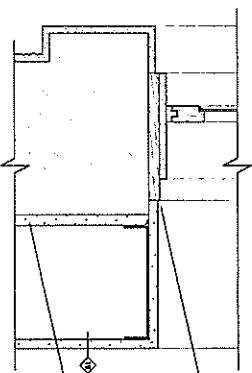


114 EXISTING MUNTIN DETAIL
SCALE: 3/4" = 1'-0"

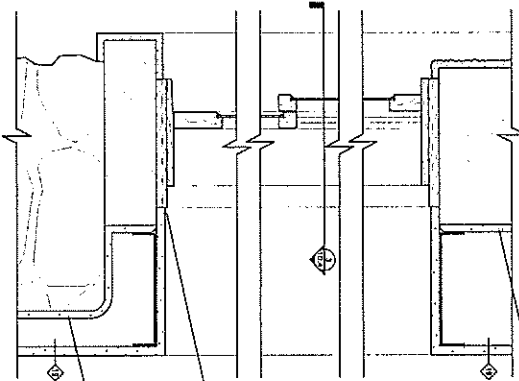
<p>A10.4</p>	<p>WINDOW DETAILS</p>	<p>NATIONAL PARK SEMINARY POWER PLANT, PRACTICE HALL, AND FIREHOUSE BUILDINGS #120 & #121 2701 HUME DRIVE SILVER SPRING, MARYLAND</p>	<p>Architecture, Planning, & Construction POWER PLANT AT NPS LLC 4710 BAYARD BOULEVARD BETHESDA, MARYLAND 20816 TELEPHONE: 202-439-7701 FAX: 301-320-0701</p>
	<p>DRAWN: DZ [APPR.:</p>		
	<p>UNREVIEWED DRAWINGS</p>		
	<p>• SCHEMATIC DESIGN</p>		
	<p>• DESIGN DEVELOPMENT</p>		
<p>PROJECT NO. 04-579</p>	<p>CONTRACT DOCUMENTS SET 14-12-11</p>		
<p>SHEET NO.</p>			



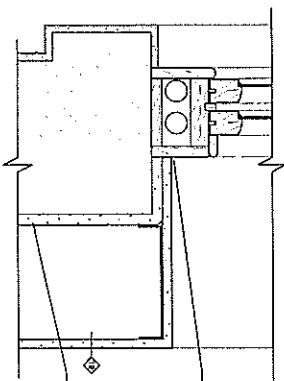
1 EXISTING WINDOW JAMB DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"



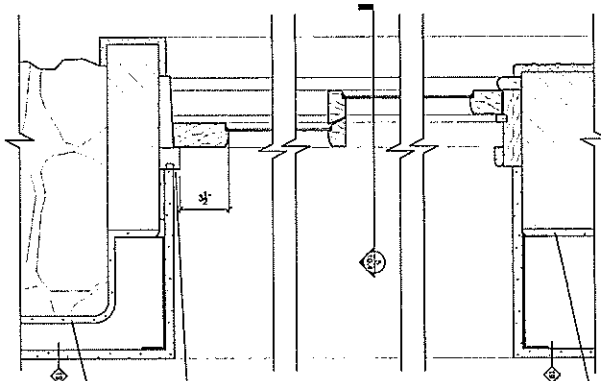
2 EXISTING WINDOW JAMB DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"



3 EXISTING WINDOW HEAD/SILL DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"



5 EXISTING WINDOW JAMB DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"



4 EXISTING WINDOW HEAD/SILL DETAIL (POWERPLANT)
SCALE: 3/4" = 1'-0"

98

A10.5	WINDOW DETAILS	
	DRAWING: 02	APPR.: []
	[]	[]
	[]	[]
	[]	[]
PROJECT NO. 04-579		
SHEET NO. []		

NATIONAL PARK SEMINARY
POWER PLANT, PRACTICE
HALL, AND FIREHOUSE
BUILDINGS #120 & #121
2701 HUME DRIVE
SILVER SPRING, MARYLAND

Architecture, Planning, & Construction
POWER PLANT AT NPS LLC
4710 BAYARD BOULEVARD
BETHESDA, MARYLAND 20816
TELEPHONE: 202-439-7701
FAX: 301-320-0701