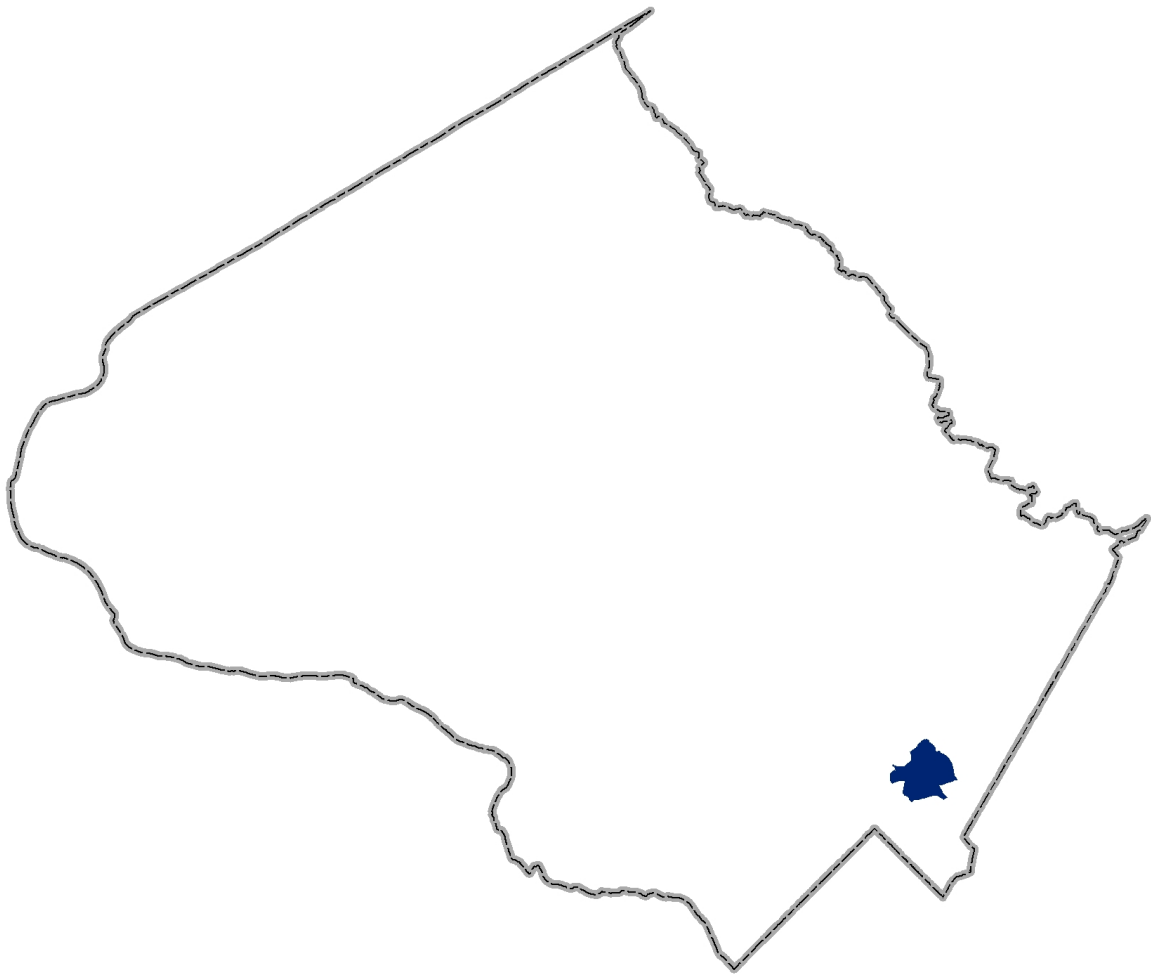


Master Plan Review

FOUR CORNERS

Approved and Adopted
December 1996



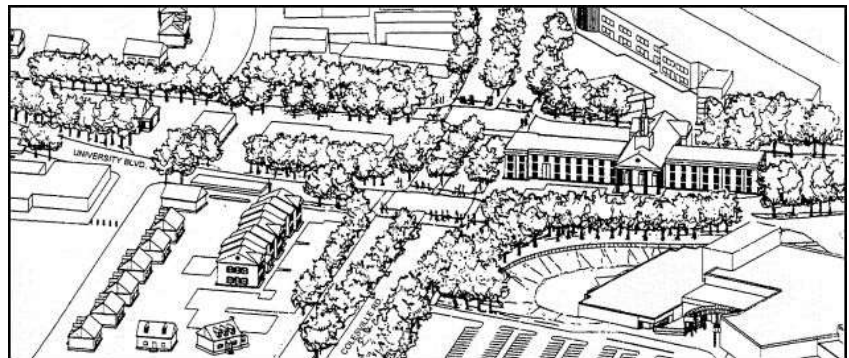
PLAN VISION

The Four Corners Master Plan was approved and adopted in December 1996. The Master Planning Area contains 1.58 square miles in southeastern Montgomery County and includes the neighborhoods of Northwood-Four Corners, Woodmoor-Pinecrest, South Four Corners, Indian Spring, and North Hills of Sligo. The Master Plan vision reinforces Four Corners as a community of neighborhoods and includes recommendations for four concepts: community and center, transportation network, community facilities and linkages, and environment.

PLAN HIGHLIGHTS

Community and Center

- Retain existing residential zoning to protect and reinforce the neighborhood as the foundation of the community.
- Retain the existing commercial district boundaries and encourages clear delineation between residential and non-residential areas through landscaping or other physical barriers.
- Improve the function and appearance of the commercial district with the public projects planned in Four Corners - Blair High School, and the Colesville Road and University Boulevard intersection improvement
- Improve the entire commercial district through a public-private partnership between local owners and County's commercial revitalization program.



Transportation Network

- Support the improvements planned for the intersection of the Colesville Road and University Boulevard, including the pedestrian and streetscape amenities and encourages continued cooperative implementation of the project and coordination with merchants and residents before and during roadway construction.

Four Corners Commercial Center with Pedestrian and Streetscape Improvements

- Develop traffic management plans that are cooperative between the County and the neighborhoods to reduce through traffic on local streets.
- Enhance pedestrian circulation by constructing sidewalks that will connect Four Corners neighborhoods to shops, parks, schools, community facilities, and transit stops.
- Expand the existing bikeway network to support the local and regional systems and to enhance its value as an alternative means of travel.
- Increase the use of transit with bus service that connects Four Corners with Metro stations at Silver Spring and Forest Glen.

Community Facilities and Linkages

- Strengthen and improve the physical connections – sidewalks and bikeways – between the community’s resources and residents.
- Acquire the six-acre property at 315 University Boulevard for parkland.
- Develop a portion of the new Blair High School for community use.
- Preserve and maintain existing parkland and recognize the scenic features of the Northwest Branch as a valuable County resource.
- Establish greenways in the Northwest Branch, Sligo Creek, and Long Branch stream valley parks to protect the scenic features and natural habitats.



Montgomery Blair High School

Environment

- Continue cooperation among government agencies in the restoration of Sligo Creek and Northwest Branch.
- Address the stream bank erosion problems along the edge of the Northwest Branch Park through a combined effort of County agencies and citizens.
- Encourage community participation in Montgomery County Park and County government programs.
- Consider meeting part of the requirements for reforestation of the Blair High School site within the Four Corners Master Plan area.

ZONE IMPLEMENTATION

The Four Corners Planning Area currently has 8 zones: 2 Residential and 6 Commercial.

Existing Commercial:

- C-1: Convenience Commercial
- C-2: General Commercial
- C-4: Limited Commercial
- C-O: Commercial, Office Building
- C-T: Commercial, Transitional

- O-M: Office Building, Moderate Intensity

Existing Residential:

- R-60: Detached Unit, Single-Family.
- R-90: Detached Unit, Single-Family

The existing R-60 and R-90 will remain.

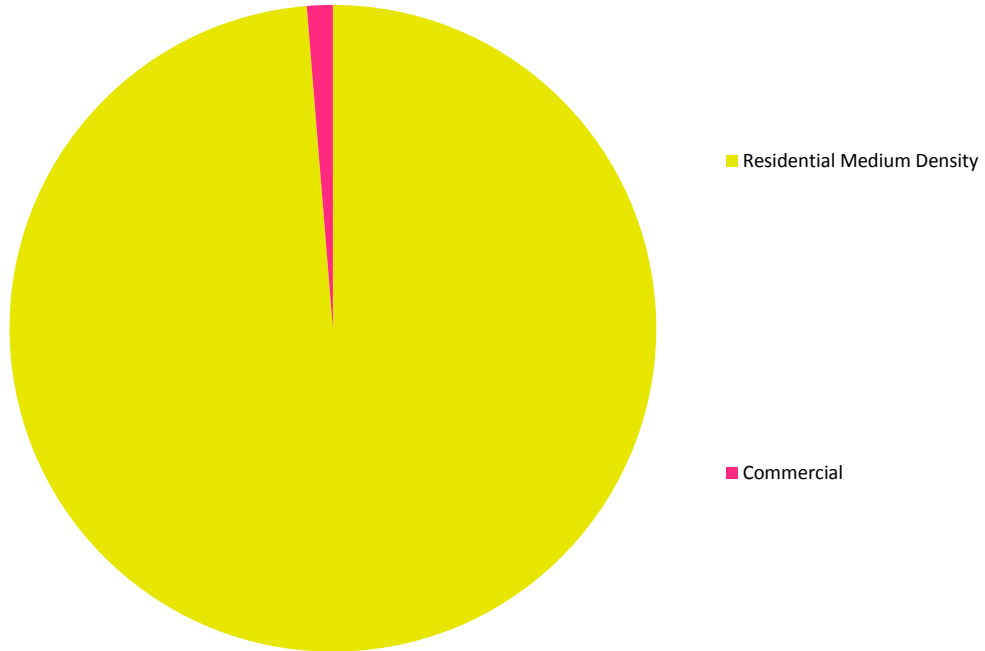
The existing C-1, C-2, and C-4 zones translate to the proposed zone CRT (Commercial Residential Town). These conversions are each based on the location and context for each of the parcels and their surroundings. Each parcel was translated using the standardized translation, with the overall goal to retain currently allowed heights and densities and maintain context sensitivity.

The C-O zone will translate to a proposed EOF (Employment Office) zone and the O-M will translate to a proposed EOF (Employment Office) zone. The existing C-T zone will translate to the proposed CRN (Commercial Residential Neighborhood) zone.

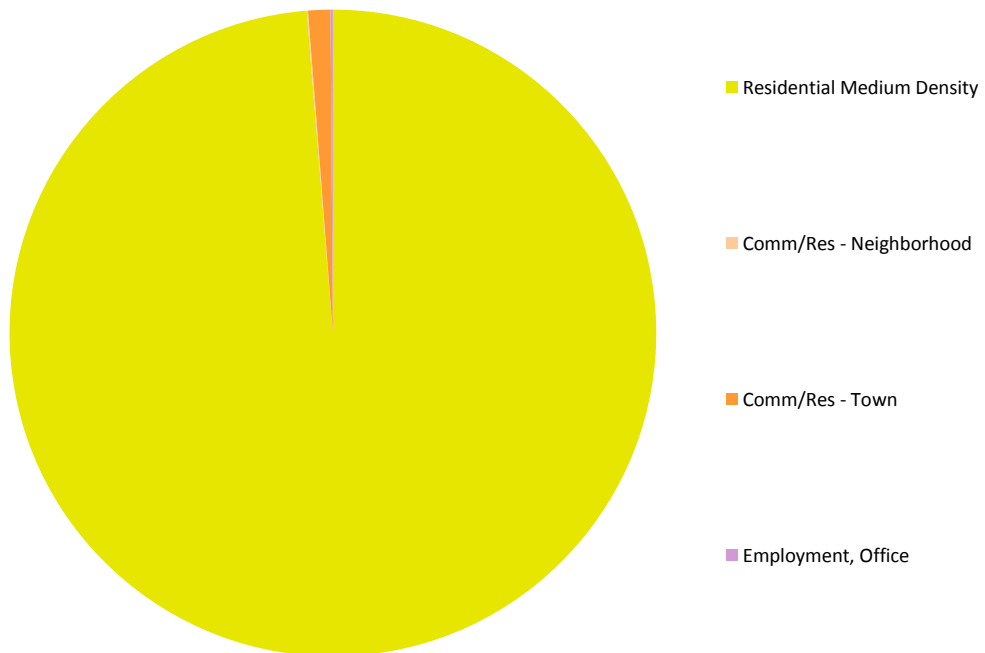
Four Corners					
Existing			Proposed		
Zone	Acres	Percent	Zone	Acres	Percent
R-60	1,009.56	98.11	R-60	1,009.56	98.11
R-90	6.15	0.60	R-90	6.15	0.60
C-1	0.58	0.06	CRT-0.75 C-0.75 R-0.25 H-45	0.58	0.06
C-2	6.16	0.60	CRT-1.5 C-1.5 R-0.5 H-45	2.91	0.28
			CRT-2.25 C-1.5 R-0.75 H-45	3.25	0.32
C-4	4.67	0.45	CRT-0.25 C-0.25 R-0.25 H-35	0.99	0.11
			CRT-0.75 C-0.75 R-0.5 H-40	3.67	0.39
C-O	0.88	0.09	EOF-3.0 H-100	0.88	0.09
C-T	0.65	0.06	CRN-0.5 C-0.5 R-0.25 H-35	0.65	0.06
O-M	0.34	0.03	EOF-1.5 H-60	0.34	0.03
Grand Total		1,029.00	Grand Total		1,029.00

ZONE IMPLEMENTATION

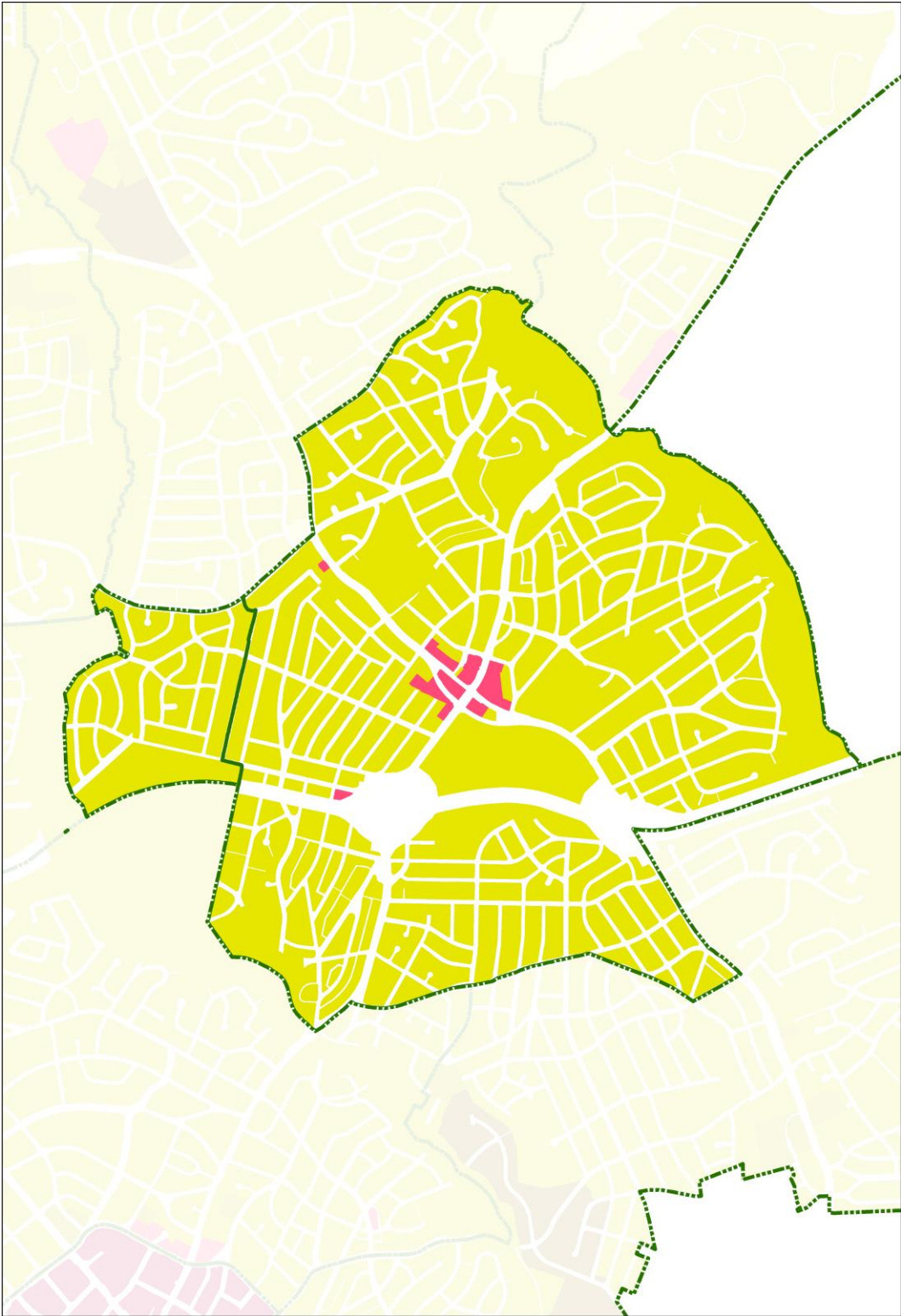
Four Corners: Existing Zoning



Four Corners: Proposed Zoning



EXISTING ZONING MAP



Existing Zones

- Residential Medium Density**
 - R-60
 - R-90

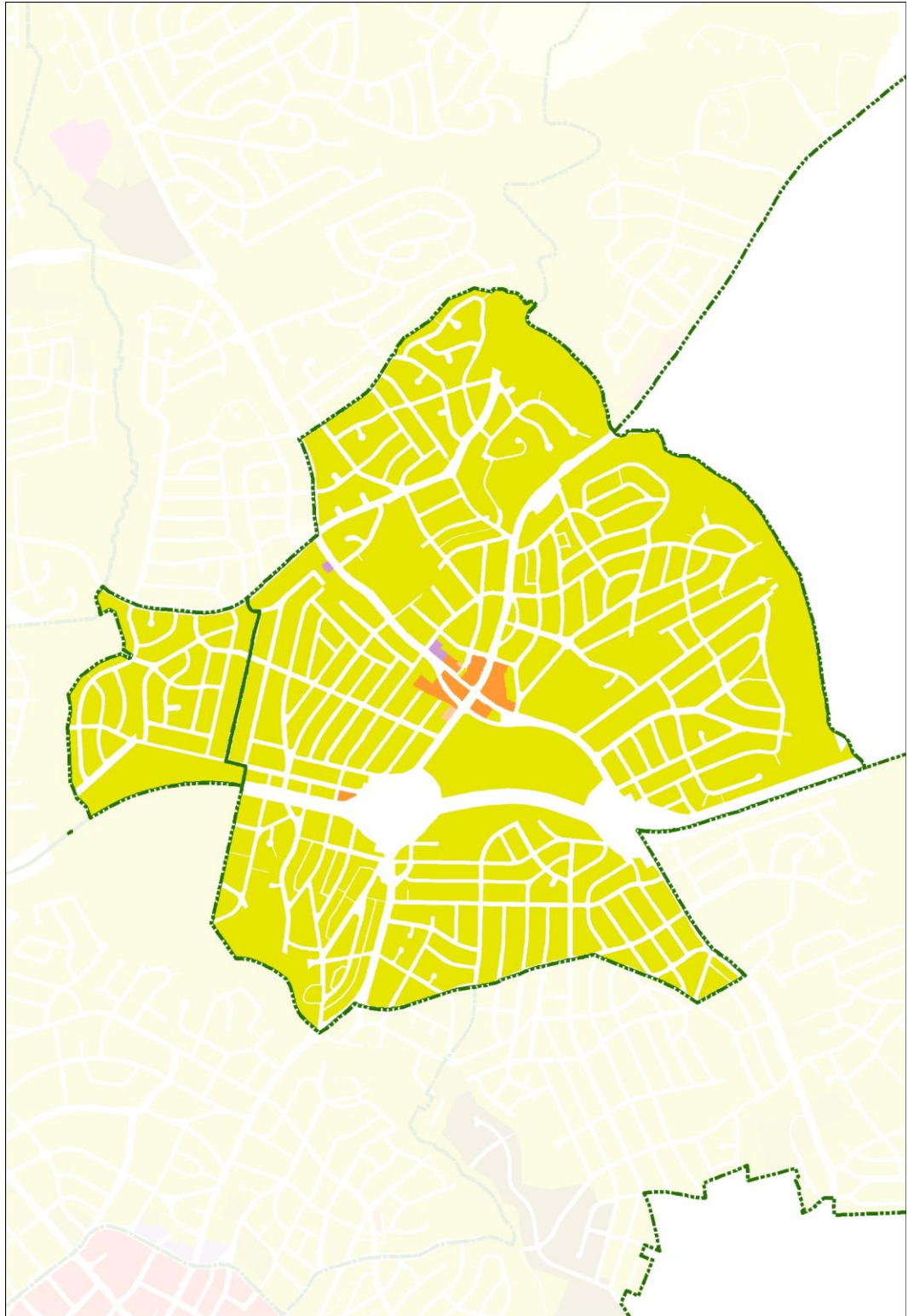
- Commercial**
 - C-1
 - C-2
 - C-4
 - C-O
 - C-T
 - O-M

PROPOSED ZONING MAP

Proposed Zones

- Residential
Medium Density**
R-60
R-90

- Comm/Res-
Neighborhood**
CRN
- Comm/Res-
Town**
CRT
- Employment,
Office**
EOF



PLANNING AREA CONTEXT

